



NOTICE OF PUBLIC MEETING AND EXECUTIVE SESSION
PINAL COUNTY BOARD OF ADJUSTMENTS AND APPEALS
SUMMARY OF AGENDA FOR MEETING
Thursday, February 27, 2025

9:30 AM - CALL TO ORDER

PINAL COUNTY ADMINISTRATIVE COMPLEX
EMERGENCY OPERATIONS CENTER
85 N. FLORENCE ST
FLORENCE, AZ 85132

Action means discussion, approval, disapproval on the following Planning Cases. (Numbers are shown for administrative convenience only. All interested persons should be aware that the cases may be heard in an order different than that shown on the agenda).

A work session is not a public hearing. For matters that are not listed as "public hearings" the public may attend and listen to the proceedings, but may only address the Board with its permission. Some members may participate telephonically.

(1) Call to Public

Consideration and discussion of comments from the public. Those wishing to address the Pinal County Board of Adjustments and Appeals need not request permission in advance. Action taken as a result of public comment will be limited to directing staff to study the matter or rescheduling the matter for further consideration and decision at a later date.

(2) **CALL TO ORDER AND ROLL CALL OF BOARD MEMBERS**

- () **KENNEDY, Chairman**
- () **MARSH, Vice Chairman**
- () **BEGEMAN, Member**
- () **MAULLER, Member**
- () **SANCHEZ, Member**

(3) PLANNING MANAGER REPORT (INFORMATION ITEM)

(4) New Cases

- A. **BA-054-24** – **PUBLIC HEARING/ACTION:** David Romero, landowner/applicant, requesting a variance to **Section 2.40.020 and 2.40.030** of the Pinal County Development Services Code, to allow a reduction in minimum required lot area from 54,450 square feet (1.25 acres) to 37,897± square feet (0.87 acres) and applicable development standards to allow a single family residence on a 0.87 acres parcel in the (GR) General Rural zoning district, 210-36-008A (legal on file), situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.

Kendall Riley/Brent Billingsley

- B. **ZO24-0059 - CIVIL HEARING OFFICE APPEAL/ACTION:** Hearing, Review, and Action on Appeal of Hearing Officer's decision on ZO24-0059, Jessica and Anthony Filograsso, Tax Parcel No., 206190220, Complaint No. CC-0083-22, Count 1: Outside Storage and Parking- Accessory Use and Count 2: Outside Storage and Parking- Recreational Vehicle Storage.

Ian Daranyi/Brent Billingsley

- C. **BA-058-24 – PUBLIC HEARING/ACTION:** Matt Rettig, applicant, on behalf of landowners Cindy and Samuel L Honea II, is requesting a **variance** to **Section 2.40.020** and **Section 2.40.030** of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to ±43,995 square feet (1.01 acres) for a parcel in the (GR) General Rural Zoning District; situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file), located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge. Supervisor District - 3.

Monika Smriti/Brent Billingsley

- D. **BA-059-24 – PUBLIC HEARING/ACTION:** Marion Memmott landowner/applicant, requesting a variance to Section 2.30.020 (B&D) of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from ±87,120 square feet (2 acres) to ±78,408 square feet (1.8 acres) for a ±1.8 acre parcel in the Suburban Homestead Zoning District (SH), to allow for development of a single family residence; Tax parcel 401-62-0410 (legal on file); situated in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, located on the north side of E Stallion Dr. and 1,730 feet west of S US Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal County, Arizona.

Patrick Zaia-Roberts/Brent Billingsley

ADJOURNMENT

Support documents for the above-listed matters are available at the Pinal County Community Development Office for the public inspection at least 48 hours prior to the meeting at the Pinal County Community Development Department, Pinal County Complex, 85 N. Florence Street, Florence, Arizona, Monday through Thursday between the hours of 7:00 a.m. and 5:30 p.m.

NOTE: One or more members of the Board may participate in this meeting by telephonic conference call.

The Board may go into Executive Session for the purpose of obtaining legal advice from the County's Attorney(s) on any of the above agenda items pursuant to A.R.S. 38-431.03(A)(3).

In accordance with the requirement of Title II of the Americans with Disabilities Act (ADA), the Pinal County Board of Adjustment and Appeals does not discriminate against qualified individuals with disabilities admission to public meetings. If you need accommodation for a meeting, please contact the Community Development Department at (520) 866-6442, at least (5) five business days prior to the meeting (not including weekends or holidays) so that your request may be accommodated.

Pursuant to A.R.S. 38-431.02, NOTICE IS HEREBY GIVEN, that the public will have physical access to the meeting room at 9:15 AM. Posted this 20th day of February before 5:30 P.M. by Harvey Krauss.



PINAL COUNTY

WIDE OPEN OPPORTUNITY

AGENDA ITEM

February 27, 2025 ADMINISTRATION BUILDING A
FLORENCE, ARIZONA

REQUESTED BY: Kendall Riley/Brent Billingsley

Funds #:

Dept. #:

Dept. Name:

Director:

BRIEF DESCRIPTION OF AGENDA ITEM AND REQUESTED BOARD ACTION:

BA-054-24 – PUBLIC HEARING/ACTION: David Romero, landowner/applicant, requesting a variance to **Section 2.40.020 and 2.40.030** of the Pinal County Development Services Code, to allow a reduction in minimum required lot area from 54,450 square feet (1.25 acres) to 37,897± square feet (0.87 acres) and applicable development standards to allow a single family residence on a 0.87 acres parcel in the (GR) General Rural zoning district, 210-36-008A (legal on file), situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.

BRIEF DESCRIPTION OF THE FISCAL CONSIDERATIONS AND/OR EXPECTED FISCAL IMPACT OF THIS AGENDA ITEM:

BRIEF DESCRIPTION OF THE EXPECTED PERFORMANCE IMPACT OF THIS AGENDA ITEM:

MOTION:

History

Time

Who

Approval

ATTACHMENTS:

Click to download

[Staff report](#)

TO: PINAL COUNTY BOARD OF ADJUSTMENT AND APPEALS

MEETING DATE: FEBRUARY 27, 2025

CASE NUMBER: BA-054-24

CASE COORDINATOR: KENDALL RILEY, PLANNER

SUPERVISOR DISTRICT: SERDY, DISTRICT 5

Executive Summary:

This case is a variance request submitted by David Romero, landowner, to reduce the minimum lot size from 54,450 square feet (1.25 acres) to 37,897 square feet (0.87± acres) in the General Rural (GR) zoning district on Parcel # 210-36-008Z, generally located in at the southeast corner of N. Felix Road and E. Ashbury Avenue within San Tan Valley. In 1974, the Pinal County Zoning Ordinance (the "Zoning Ordinance") was amended to increase the minimum lot area for the General Rural (GR) zoning district from 0.275 acres (12,000 square feet) to 1.25 acres (54,450 square feet) across the County. The property is currently vacant and the lot is considered non-conforming and fails to meet the criteria for a variance since it was created after the zoning code was amended creating the minimum lot size of 1.25 acres in the GR District.

If This Request is approved:

This variance will allow applicant to maintain and pull permits for their parcel in GR zone at its current size without additional variance requests.

Staff Recommendation/Issues for Consideration/Concern:

Staff recommends denial since this variance case is the result of a self-imposed creation of a lot which does not meet the GR District minimum lot size requirement.

BA-054-24 – PUBLIC HEARING/ACTION: David Romero, landowner/applicant, requesting a variance to **Section 2.40.020 and 2.40.030** of the Pinal County Development Services Code, to allow a reduction in minimum required lot area from 54,450 square feet (1.25 acres) to 37,897± square feet (0.87 acres) and apply the R-35 site development standards in developing a single family residence on a 0.87 acres parcel in the (GR) General Rural zoning district, specifically Parcel # 210-36-008A (legal on file), situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, and generally located in the southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, in unincorporated Pinal County.

LEGAL DESCRIPTION: Section 17, Township 03S, Range 09E, Tax Parcel 210-36-008A, zoned GR on a total of 0.87 acres (legal on file)

TAX PARCELS: 210-36-008A

LANDOWNER/APPLICANT: David Romero, Land-owner

REQUESTED ACTION AND PURPOSE: Requesting a variance to Section 2.40.020 and Section 2.40.030 of the PCDSC, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 ac) to 27,878 ± square feet (0.64 ± acres) and apply the R-35 site development standards in allowing development of a single family residence.

LOCATION: Located at the southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley area of unincorporated Pinal County.

SIZE: 0.87 ± acres

EXISTING ZONING AND LAND USE: The property is zoned General Rural (GR) and the comprehensive plan designation is Major Open Space.

SURROUNDING ZONING AND LAND USE:

North: General Rural Zoning (GR) - Residential

South: General Rural Zoning (GR) – Vacant

East: General Rural Zoning (GR) - Vacant

West: General Rural Zoning (GR) – Residential

SITE DATA:

- The site is a narrow lot running along E Ashbury Ave. Topography is relatively flat in the area
- Flood Zone X, an area of minimal flood hazard
- Subject parcel is located in an area in which the sewage disposal method is identified as the landowner’s responsibility. If a septic permit is applied for any structures, the system must meet requirements per Arizona Administrative Code R18-9-A312.C

HISTORY: On January 4, 1954 Pinal County adopted a zoning ordinance in response to the 1949 County Planning and Zoning Act. This ordinance was the first in Pinal County to provide for the creation of zoning districts and associated zoning regulation and enforcement within Pinal County. The 1954 zoning ordinance was repealed and replaced by the ordinance adopted by the Board of Supervisors on June 18, 1962. In 1974, the Zoning Ordinance was amended to increase the minimum lot area for the GR zoning district from 12,000 square feet (0.275 acres) to 54,450 square feet (1.25 acres).

The subject parcel is non-conforming. The current owners took possession of subject site in 2024 via a Quick Claim deed recorded on August 30, 2024 fee number 2024-066274. Per the Pinal County Assessor records, the parent parcel was split in 1983 to become the parcels 210-36-008A and 210-36-008B. The subject lot was illegally split as it resulted in each lot becoming less than what is required for the lots to be buildable.

In December 2006, Pinal County adopted the Minor Land Division (MLD) process wherein lot splits in this situation is not allowed to proceed if the split results in an undersized parcel. As mentioned, the lot was split prior to this MLD process being in place, and building permits have been issued for this parcel. Development services would have no notification of this undersized lot.

To date, no comments have been received.

Staff’s public participation and notification of the cases include:

Newspaper publish dates:	2/6/25
Mail-outs:	2/5/25
Site Posting:	2/10/24
Website:	2/3/25

THE APPLICANT MUST SATISFY THE BOARD OF ADJUSTMENT AND APPEALS THAT THIS REQUEST MEETS THE NECESSARY CRITERIA TO QUALIFY FOR A VARIANCE AS STATED IN SECTION 2.155.040 (C)

EVIDENCE REQUIRED FOR VARIANCE:

- a. There are special circumstances or conditions applicable to the property which is the subject of the variance which do not prevail on other property in that zoning district.
- b. That the strict application of the regulations would work an unnecessary nonfinancial hardship and that the granting of the application is necessary for the preservation and enjoyment of substantial existing property rights.
- c. The granting of such variance will not materially affect the health or safety of persons residing or working within the subject area and adjacent properties and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.
- d. That the special circumstances or conditions referred to in subsection (C)(4)(a) of this section are not self-imposed and are not a matter of mere inconvenience or personal preference.
- e. That the variance will not allow a use that is not permitted in the zoning district where the property is located.

FINDINGS: Under Section 2.155.040(C) of the Pinal County Development Service Code (Zoning Ordinance), the Board of Adjustment and Appeals shall hear and consider all evidence relating to the request and make findings as to the conformity of the request to the above Section.

THE BOARD OF ADJUSTMENT AND APPEALS shall consider the following criteria in conditionally approving or denying a variance.

- a. There are special circumstances or conditions applicable to the property which is the subject of the variance which do not prevail on other property in that zoning district.

ANALYSIS: The subject parcel was created in 1983 through an unregulated lot split. Prior to this, the parent parcel size was unknown. The date the parent parcel was created is not known, as data going that far back is not available.

FINDING: There does not appear to be special circumstances/conditions applicable to the property which do not prevail on other property in that zoning district, as the lot that may have met the minimum area requirement prior to 1974; however the lot was split in 1983, thus negating any claim of legal-nonconforming status.

- b. That the strict application of the regulations would work an unnecessary nonfinancial hardship and that the granting of the application is necessary for the preservation and enjoyment of substantial existing property rights.

ANALYSIS: The owner/applicant intends to build a single family residence with detached structures. As per zoning requirements, the parcel size is non-conforming, and by the lot split in 1983 that reduced the subject parcel to its current size.

FINDING: The zoning ordinance in 1974 increased the minimum lot size for lots in the General Rural (GR) Zoning District from 12,000 square feet to 1.25 acres (54,450 sf). Prior to having been split, the parent parcel could have meet these standards. From available records, it appears plausible that prior to the lot being split, it would have been considered legal nonconforming in that the parent parcel was created prior to 1974. Undue hardship, means a problem created by some feature of the land rather than a misunderstanding of the zoning ordinance by the applicant.

- c. The granting of such variance will not materially affect the health or safety of persons residing or working within the subject area and adjacent properties and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

ANALYSIS: The subject property is approximately 37,897 square feet (0.87± acres) in size. The lot size is not consistent with other properties in the area. If approved with the attached stipulations the future residential use would have to be in compliance with all applicable construction codes. If the variance is approved, staff recommends that the development standards in the R-35 zoning district apply to development of this lot since these standards are consistent with other developed lots of this size.

FINDING: The granting of this variance will not affect the health or safety of persons residing or working within the subject area and adjacent properties, and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- d. That the special circumstances or conditions referred to in subsection (C)(4)(a) of this section are not self-imposed and are not a matter of mere inconvenience or personal preference.

ANALYSIS: The “Hardship” must be related to the physical aspects of the land and not a personal or self-imposed hardship.

FINDING: The special circumstances referred to in subsection (C) (4) (a) were self-imposed per the Pinal County Assessor, since the parent parcel was split in 1983 to become the subject current parcel: 21036008A.

- e. The variance will not allow a use that is not permitted in the zoning district where the property is located.

ANALYSIS: The General Rural zoning district permits residential use which will be the primary use for the subject property. The owners plan on building a home on subject property.

FINDING: Granting of the variance will not allow a use that is not permitted in the subject property’s zoning district.

STAFF SUMMARY AND RECOMMENDATION: All submittals, evidence presented, written documentation, public testimony, and Planning Case Staff Report (BA-054-24) are considered part of the record in this variance case. If the Board of Adjustments and Appeals can find sufficient evidence based upon the record, staff recommends the Board adopt the staff report and record as presented and approve the requested variance with the following recommended motion. If the Board cannot find sufficient evidence to approve the request, staff recommends denying the request with the following motion.

BOARD MOTION

Staff Recommendation – Denial

To Deny:

I move to deny the variance case BA-054-24, a variance to Section 2.40.020 and Section 2.40.03 of the PCDC, findings(s)/special circumstances referred to in the subsection (C)(4)(a) of 2.155.040 in the PCDC since the hardship created was self-imposed.

To Approve:

** (Staff recommends please cite a minimum of three findings)

*** (Suggested finding)

I move to approve case BA-054-24, Section 2.40.020 and Section 2.40.030 of the PCDC, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 ac) to 37,897± square feet (0.87 ± acres) and applicable development standards (R-35 standards) to bring into compliance a single family home on a 0.87 acre parcel in the General Rural Zone (GR), and to approve findings (s) (please cite a minimum of three findings in a-e) as set forth in the staff report. Subject to the following 3 stipulations:

1. Development Standards for the parcel shall be as follows:
 - A. Minimum lot area: 35,000 square feet.
 - B. Minimum lot width: 50 feet.
 - C. Minimum front setback: 30 feet.
 - D. Minimum side setbacks: Ten feet each.
 - E. Minimum rear setback: 25 feet.
 - F. Maximum building height: 30 feet.
 - G. Detached accessory buildings.
 1. Permitted coverage: 33 percent of the total area of the rear and side setbacks;
 2. Maximum height: 20 feet;


3. Minimum distance to main building: Seven feet;
 4. Minimum distance to front lot line: 60 feet; and
 5. Minimum distance to side and rear lot lines: Four feet.
-
2. All State and County regulations shall be adhered to and all required approvals, plans, submittal documents and permits be submitted and obtained, including but not limited to, planning clearance, building, sewage disposal, right-of-way use permit, handling and disposal of waste water, air quality permit, security lighting, fire protection, etc.
-
3. All livestock, horses, and dairy uses are not allowed.

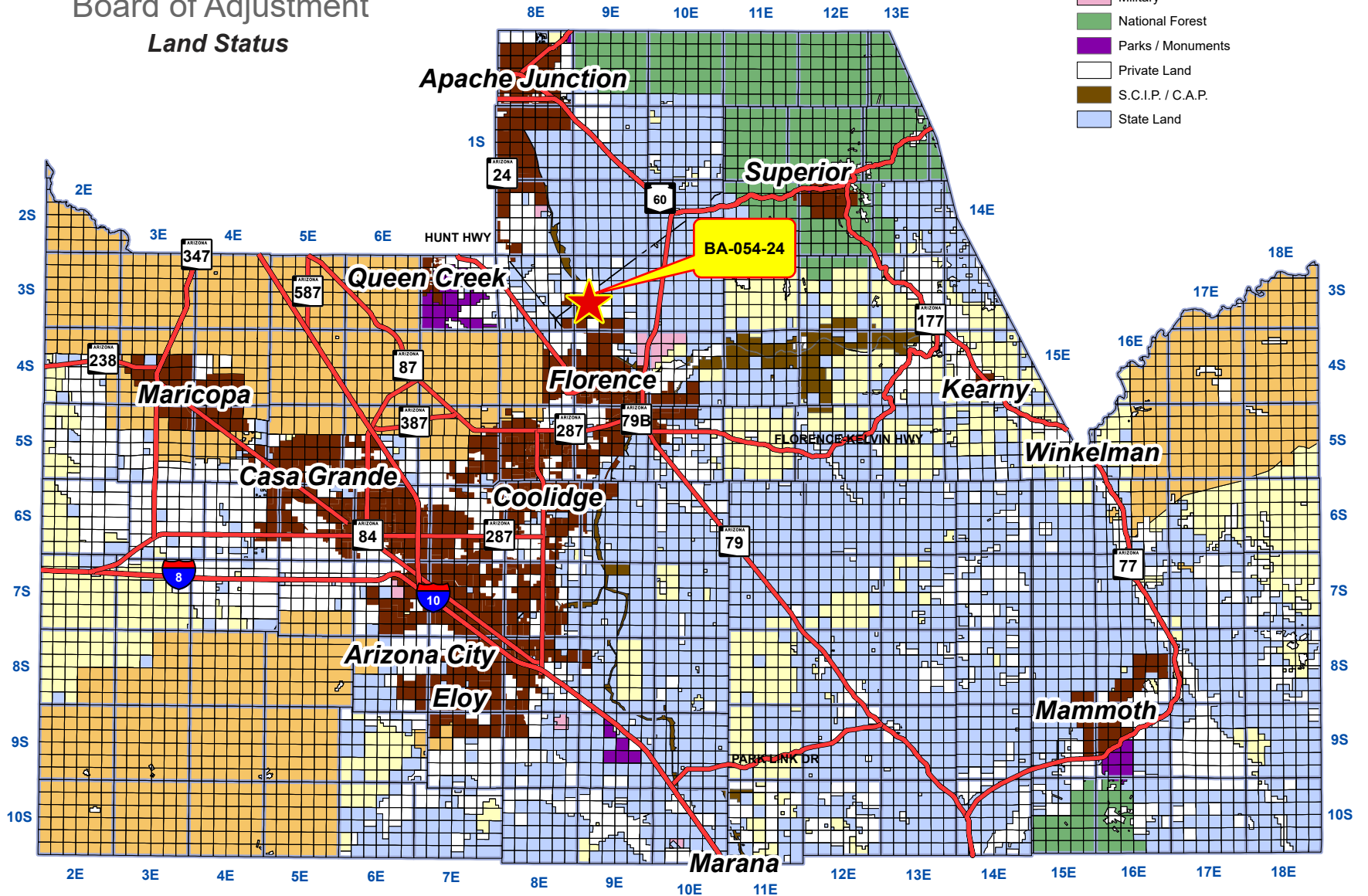
DATE PREPARED: 2/6/25 KR

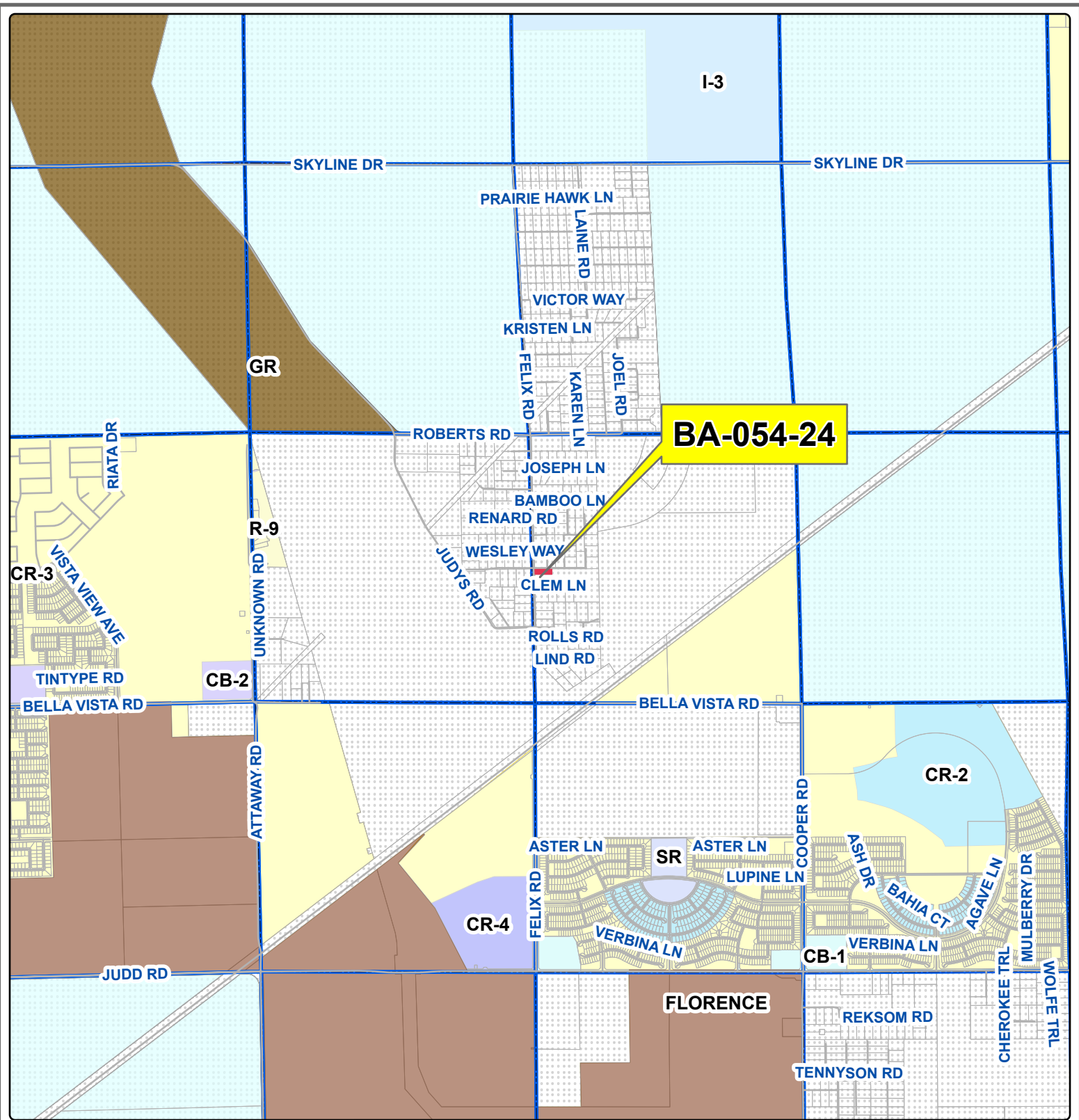
REVISED:

Board of Adjustment
Land Status

Legend

-  B.L.M.
-  Indian Community
-  Military
-  National Forest
-  Parks / Monuments
-  Private Land
-  S.C.I.P. / C.A.P.
-  State Land





Board of Adjustment
Community Development



Legal Description:

In Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.



Owner/Applicant:

DAVID ROMERO

Drawn By:

GIS / IT / LJT

Date:

01/29/2025

Sheet No.

1 of 1

Section

17

Township

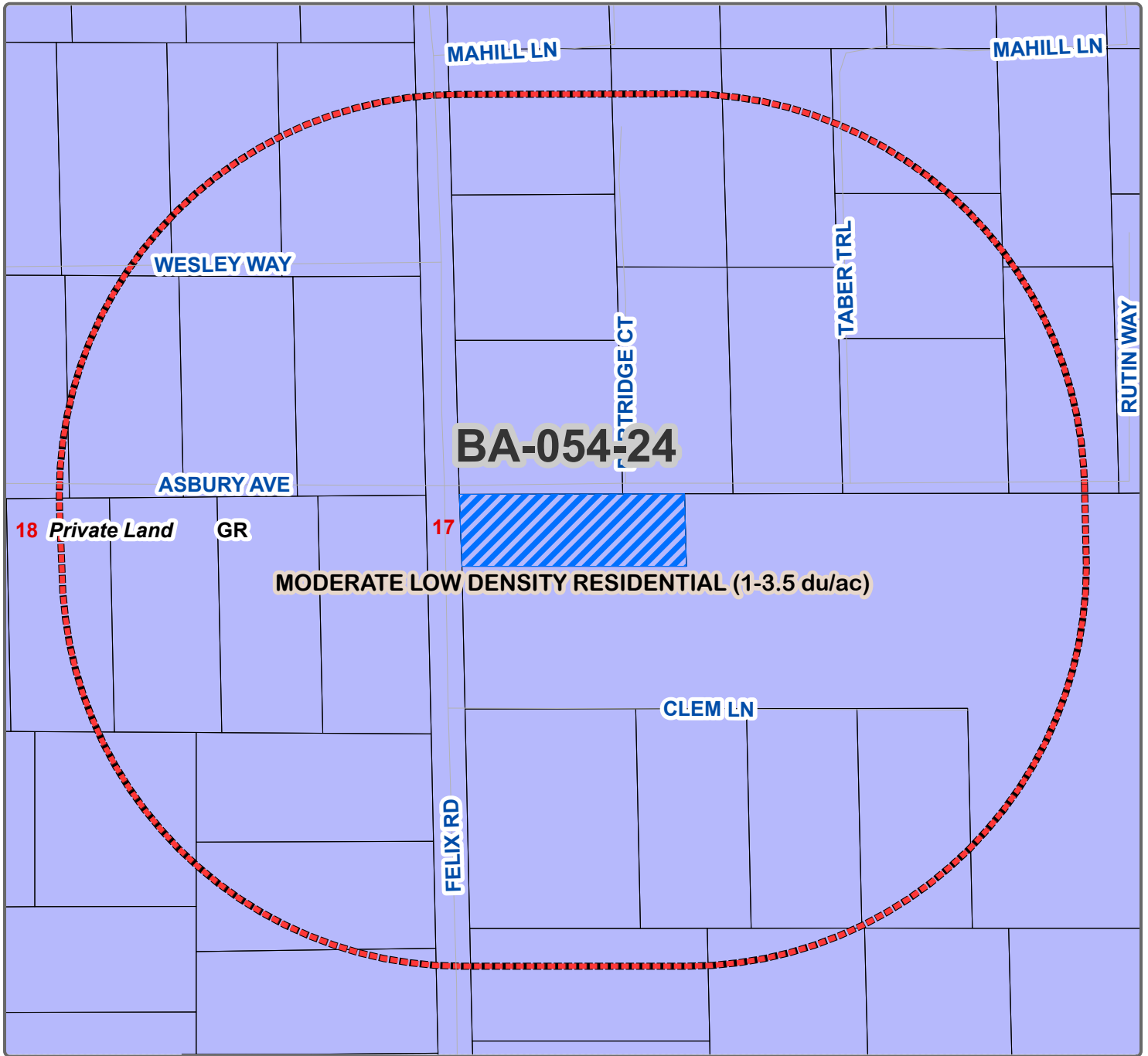
03S

Range

09E

Case Number:

BA-054-24



Board of Adjustment

BA-054-24 – PUBLIC HEARING/ACTION: David Romero, landowner/applicant, requesting a variance to Section 2.40.020 and 2.40.030 of the Pinal County Development Services Code, to allow a reduction in minimum required lot area from 54,450 square feet (1.25 acres) to 37,897± square feet (0.87 acres) and applicable development standards to allow a single family residence on a 0.87 acres parcel in the (GR) General Rural zoning district, 210-36-008A (legal on file), situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.

Current Zoning: GR

Requested Zoning: Board of Adjustment

Current Land Use: MLDR



Legal Description:

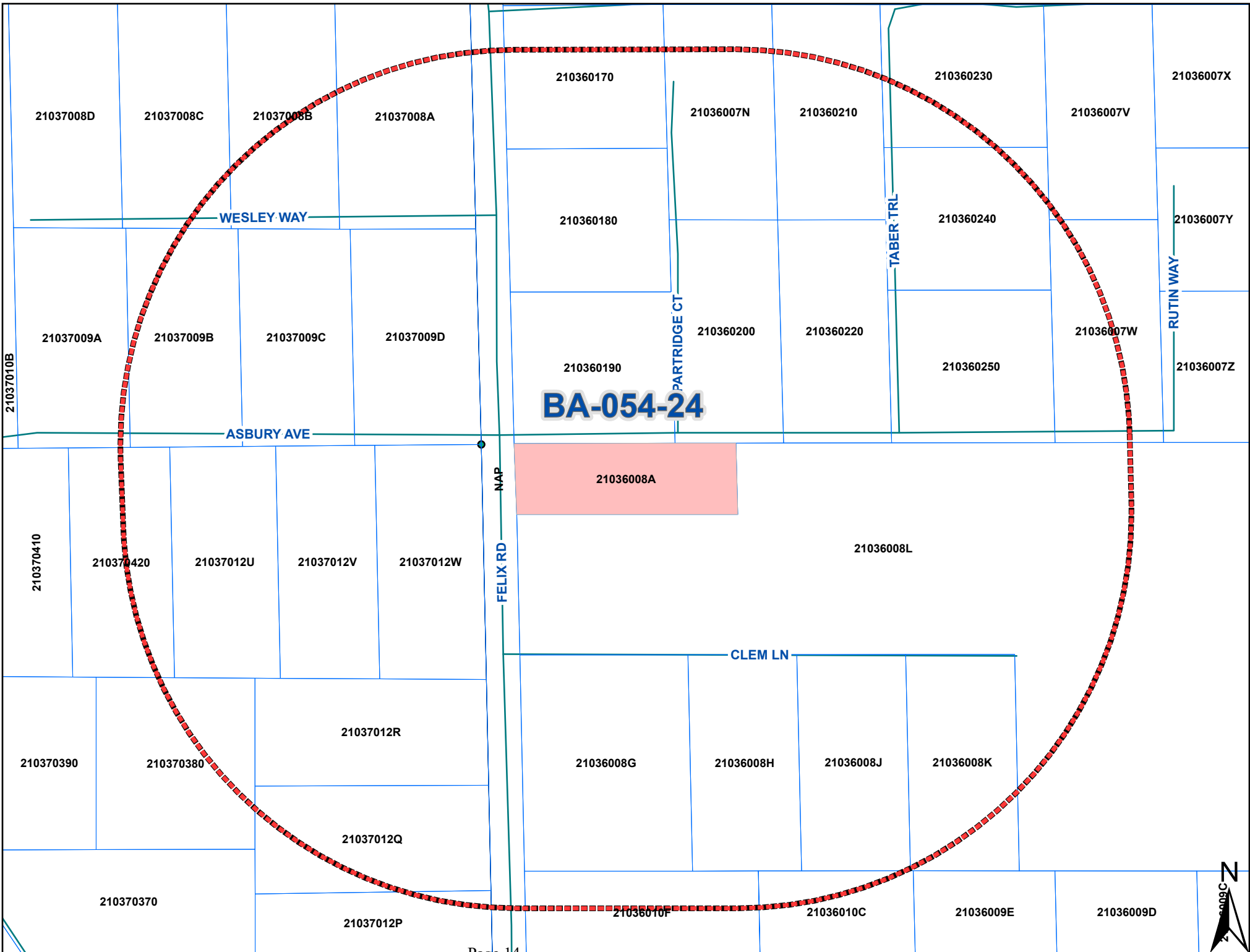
Situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.

SEC 17, TWN 03S, RNG 09E



Owner/Applicant: DAVID ROMERO		
Drawn By: GIS / IT /LJT	Date: 01/29/2025	
Section 17	Township 03S	Range 09E
Case Number: BA-054-24		

Sheet No. 1 of 1



11. State how the special circumstances or conditions referred to question #10 are not self-imposed.

will not inpose on street or future of the street asbury ave

12. State how the granting of this application will not materially affect the health or safety of persons residing or working in the neighborhood and how this variance will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

it is in our future home in our property

13. State how the variance will only allow permitted uses in the zoning district in which the property is located.

there is already granted residentail homes being built in are next street over vs moble homes

14. State how the strict application of the current regulations would work an unnecessary nonfinancial hardship and how the granting of the variance is necessary for the preservation and enjoyment of substantial existing property rights. Show how all beneficial uses and/or enjoyment of the land will be lost if the variance is not granted. Evidence from an appraiser, realtor or other professionals can be useful.

we wont be able to build our home here do to longer shaped lot than other wider lots

(The following are additional questions for reductions in parking requests only)

15. Site Plan Review or Building Permit Number: _____

16. Required parking either in total number or ratio: _____ **17. Requested (# or ratio)** _____

18. Evidence to support a reduction, this may include codes and ordinance from other jurisdictions, structures with multiple building occupancy types and/or operational characteristics of the particular use that would warrant a reduction: _____

Application Checklist:

- Submit a detailed site plan, at least 8½ X 11, but not larger than 11" X 17". The site plan must include the following:
 - Size and shape of parcel; property dimensions; north arrow
 - Adjacent streets; rights-of-way, easements and setbacks; indicate size; purpose and whether public or private
 - Location, size and use of all existing and proposed buildings; show setbacks from property boundary lines and between structures
 - Driveways and parking areas, show access, dimensions and surface material
 - Existing and proposed utilities, show location of lines, size and serving company
 - Any other information as may be applicable – landscaping, natural features i.e.: washes, excavation sites, etc., floor plan
- Submit the "This Application Checklist" for the requested action.
- Submit, or request from the case planner assigned, a list of all property owners within 600' of the subject property boundary showing name, mailing address and tax parcel numbers. This list must be obtained within the 30 days prior to application submission.
- Submit a map of the area with the 600' boundary shown. (A Tax Assessor Parcel Map is acceptable).
- Submit the non-refundable filing fee according to the fee schedule shown on coversheet of the application. (The application is not considered filed until the fees are paid.)
 - A) Residential with 0-499 mail-outs \$500.00
 - B) Residential with 500 or more mail-outs: \$500.00
 - C) Commercial, industrial or transition with 0-499 mail-outs: \$2,084.00
 - D) Commercial, industrial or transition with 500 or more mail-outs: \$2,399.00
- The application and narrative in PDF format.
- I understand that two newspaper publications must be advertised for this variance case per Pinal County staff instructions no later than 21 days before the hearing date as assigned. The applicant is responsible for all publication fees.
- Submitted application via online portal (<https://citizenaccess.pinalcountyz.gov/CitizenAccess/>)

Important:

If the application is incomplete or is not detailed enough, the case will not be presented to the Board of Adjustments.

I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing.

DAVID J ROMERO 3592 E SANDWICK DR SANTAN AZ 85140

Name of Applicant	Address	
	DAVID.ROMERO86@yahoo.com	4808885593

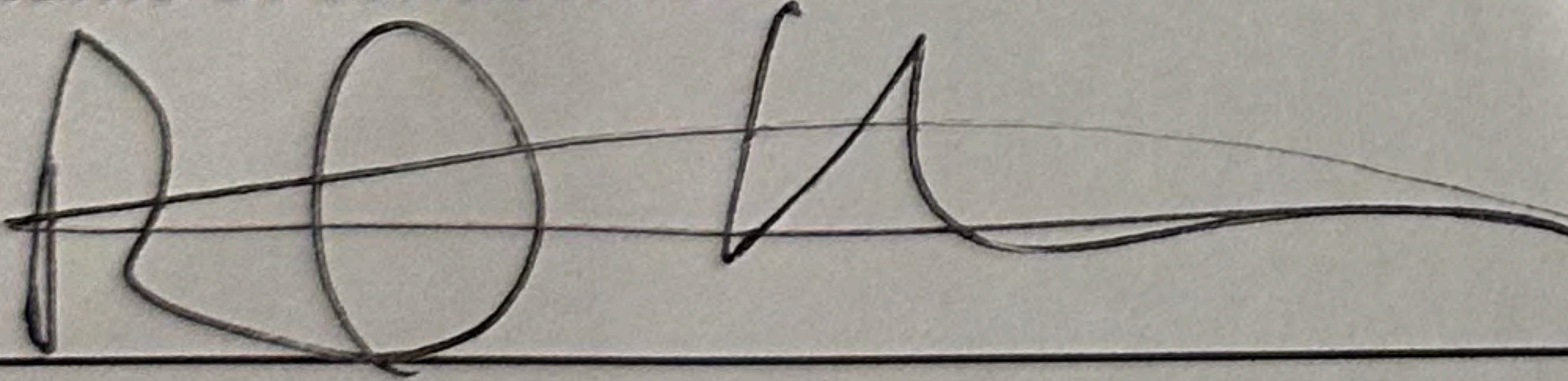
Signature of Applicant	E-Mail Address	Phone Number
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Name of Agent/Representative	Address	
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Signature of Agent/Representative	E-Mail Address	Phone Number
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The Agent/Representative has the authority to act on behalf of the landowner/applicant, which includes agreeing to stipulations. The agent will be the contact person for Planning staff and must be present at all hearings. Please use attached Agency Authorization form, if applicable.

David Romero Jr	3592 E Sandwich Dr	SANTAN AZ 85140
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	Boutieworld@gmail.com	602 4698429
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If the landowner is not the applicant, then the applicant must submit a signed and notarized agency authorization form from the landowner with this application.

PROPERTY OWNERSHIP LIST

(Required for filing all applications)

Instructions: Print Name, Address, City, State, Zip Code and Tax Parcel Number for each property owner within 600 feet of the subject parcel boundary. Feel free to attach a separate list if generated digitally. Please see "How to use the Buffer Tool" on our FAQ's page if you are generating the list.

Parcel No.: 210-36-008-A
Name: DAVID J ROMERO
Address: _____
City/ST/Zip: santan az 85140

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
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Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

I hereby verify that the name list above was obtained on the _____ day of _____, 20____, at the office of _____ and is accurate and complete to the best of my knowledge.

(Source of Information)

On this 23rd day of oct, 2024, before me personally appeared DAVID ROMERO
(Name of signor)

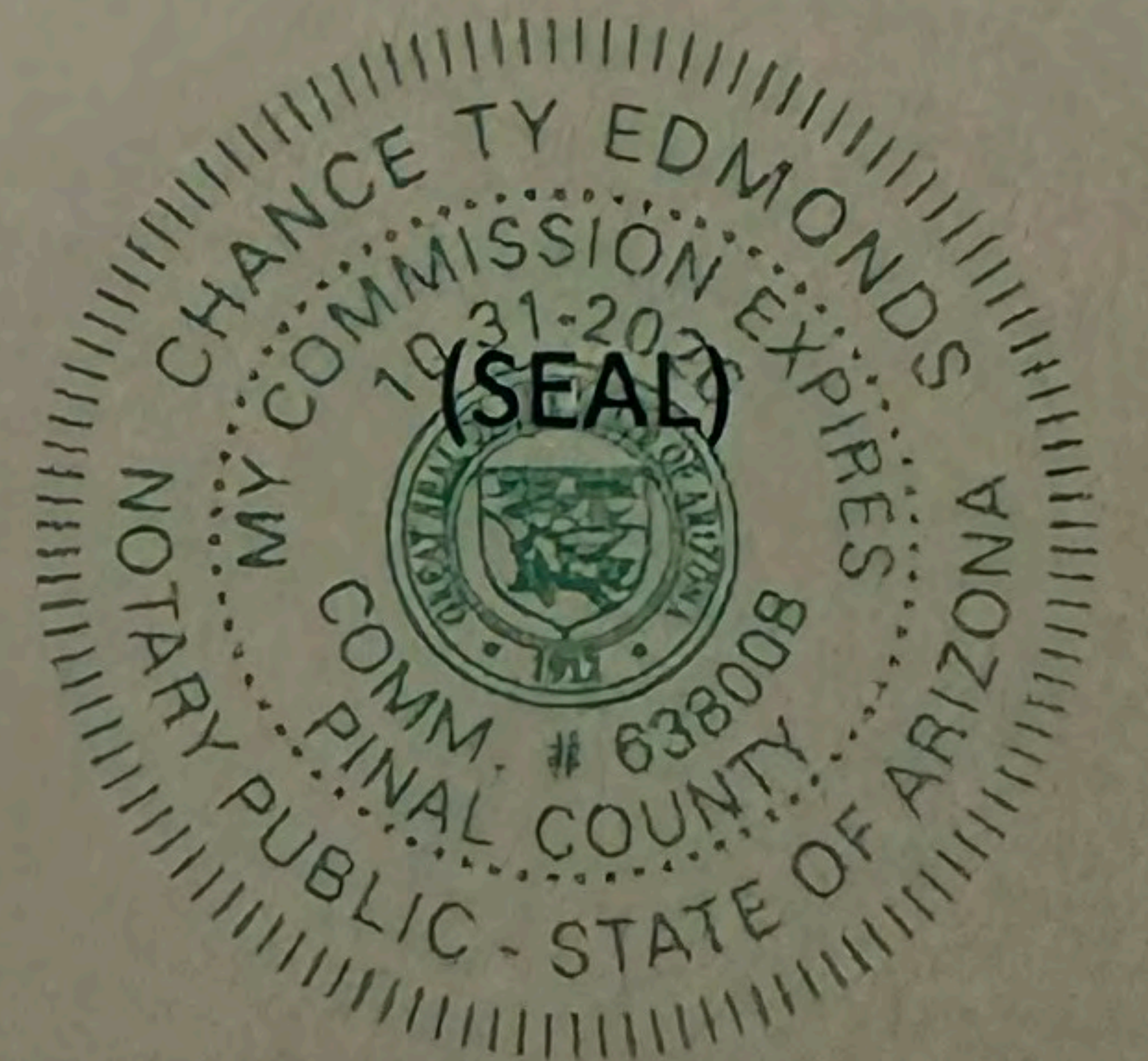
Signature [Signature] Date 10/23/24

State of ARIZONA)ss.

County of MARICOPA

My Commission Expires 10/31/2026

Signature of Notary Public [Signature]



EWEN DOUGLAS R
10448 E ASBURY AVE
SAN TAN VALLEY, AZ 85143

BATES MICHAEL
9966 E WESLEY WAY
SAN TAN VALLEY, AZ 85143

ROMERO DAVID
3592 E SANDWICK DR
SAN TAN VALLEY, AZ 85140

MARTINEZ BYRON & MOHRWEI...
32098 N PARTRIDGE CT
SAN TAN VALLEY, AZ 85143

WOOD GAVIN & REYCHEL
31804 N FELIX RD
SAN TAN VALLEY, AZ 85143

MILES DELSA ANN & LAVERN ...
32020 N PARTRIDGE CT
SAN TAN VALLEY, AZ 85143

KARSTETTER BRAD & AUTUMN
32093 N TABER TRL
SAN TAN VALLEY, AZ 85143

WOOD JASON & RICKIE
31774 N FELIX RD
SAN TAN VALLEY, AZ 85143

EDWARDS STEVEN A & KAREN ...
32021 N TABER TRL
SAN TAN VALLEY, AZ 85143

ANTOKAL RYAN & ASHLEY E
32157 N TABER TRL
SAN TAN VALLEY, AZ 85143

CONTRERAS HECTOR MENDIVI...
31742 N FELIX RD
SAN TAN VALLEY, AZ 85143

TREVIZO VICTOR ERNAN
10066 E ASBURY AVE
SAN TAN VALLEY, AZ 85143

MONTIEL IVONNE PENA
32100 N RUTIN WAY
SAN TAN VALLEY, AZ 85143

FROST LEVI & NICHOLE
31711 N NOBLE FIR RD
SAN TAN VALLEY, AZ 85143

ZARATE ANGELITA
10024 E ASBURY AVE
SAN TAN VALLEY, AZ 85143

LOGAN JUSTIN
32106 N TABER TRL
SAN TAN VALLEY, AZ 85143

TINKHAM JUDY K
31747 N FELIX RD
SAN TAN VALLEY, AZ 85143

MOTA JUAN P & JUANA TR
4645 W GOLDMINE MOUNTAIN ...
QUEEN CREEK, AZ 85142

BRADSHAW PAUL MARIE
32150 N PARTRIDGE CT
SAN TAN VALLEY, AZ 85143

MARISCAL CATTLE & CONSTRU.
MAIL RETURN

GRANTHAM FRED B JR & LORI ...
9940 E ASBURY AVE
SAN TAN VALLEY, AZ 85143

COLE PRESTON
32083 N PARTRIDGE CT
SAN TAN VALLEY, AZ 85143

TILL SHANE
MAIL RETURN

ALEXANDER TINA A
32060 N TABER TRL
SAN TAN VALLEY, AZ 85143

BATES MICHAEL A
10018 E WESLEY WAY
SAN TAN VALLEY, AZ 85143

MARISCAL RENE A
10487 E BELLA LN
SAN TAN VALLEY, AZ 85143

DECICCO MICHAEL & AMBER C
32023 N PARTRIDGE CT
SAN TAN VALLEY, AZ 85143

ROWLEY ERVIN P
10064 E WESLEY WAY
SAN TAN VALLEY, AZ 85143

PARKER TRISTAN & SERENA
31815 N PHYLLIS PL
SAN TAN VALLEY, AZ 85143

EWEN DOUGLAS R
10448 E ASBURY AVE
SAN TAN VALLEY, AZ 85143

BATES MICHAEL
9966 E WESLEY WAY
SAN TAN VALLEY, AZ 85143

ROMERO DAVID
3592 E SANDWICK DR
SAN TAN VALLEY, AZ 85140

MARTINEZ BYRON & MOHRWEI...
32098 N PARTRIDGE CT
SAN TAN VALLEY, AZ 85143

WOOD GAVIN & REYCHEL
31804 N FELIX RD
SAN TAN VALLEY, AZ 85143

MILES DELSA ANN & LAVERN ...
32020 N PARTRIDGE CT
SAN TAN VALLEY, AZ 85143

KARSTETTER BRAD & AUTUMN
32093 N TABER TRL
SAN TAN VALLEY, AZ 85143

WOOD JASON & RICKIE
31774 N FELIX RD
SAN TAN VALLEY, AZ 85143

EDWARDS STEVEN A & KAREN ...
32021 N TABER TRL
SAN TAN VALLEY, AZ 85143

ANTOKAL RYAN & ASHLEY E
32157 N TABER TRL
SAN TAN VALLEY, AZ 85143

CONTRERAS HECTOR MENDIVI...
31742 N FELIX RD
SAN TAN VALLEY, AZ 85143

TREVIZO VICTOR ERNAN
10066 E ASBURY AVE
SAN TAN VALLEY, AZ 85143

MONTIEL IVONNE PENA
32100 N RUTIN WAY
SAN TAN VALLEY, AZ 85143

FROST LEVI & NICHOLE
31711 N NOBLE FIR RD
SAN TAN VALLEY, AZ 85143

ZARATE ANGELITA
10024 E ASBURY AVE
SAN TAN VALLEY, AZ 85143

LOGAN JUSTIN
32106 N TABER TRL
SAN TAN VALLEY, AZ 85143

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SAN TAN VALLEY, AZ 85143

PARKER TRISTAN & SERENA
31815 N PHYLLIS PL
SAN TAN VALLEY, AZ 85143

WILLIAMS ANDREW E & CASSI...
10197 E CLEM LN
SAN TAN VALLEY, AZ 85143

BLACK ZANE & SIEGEL ZOE
10263 E CLEM LN
SAN TAN VALLEY, AZ 85143

RUVALCABA JESUS EDUARDO ...
32100 N RUTIN WAY
SAN TAN VALLEY, AZ 85143

RUVALCABA JUAN CARLOS
32100 N RUTIN WAY
SAN TAN VALLEY, AZ 85143

KASKAID ENTERPRISES INC
200 BISCAYNE BOULEVARD WA...
MIAMI, FL 33131

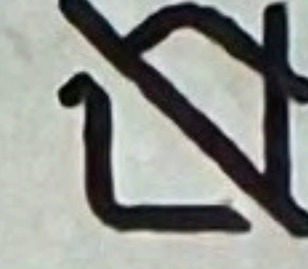
MARISCAL RAMIRO & MARIA
10487 E BELLA LN
SAN TAN VALLEY, AZ 85143

1:32

14m



< [Back](#)



Listing

Other Property Info

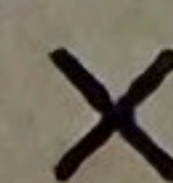
- Annual Tax Amount: 182
- Source Listing Status: Active
- County: Pinal
- Directions: From N. Judys Rd, Left onto N Felix Rd; Right on Asbury Ave.
- Tax Year: 2021
- Source Property Type: Land
- Source Neighborhood: S17 T3S R9E
- Parcel Number: 210-36-008-A
- Subdivision: S17 T3S R9E
- Zoning: 02RL
- Source System Name: C2C

[Show less](#) ^

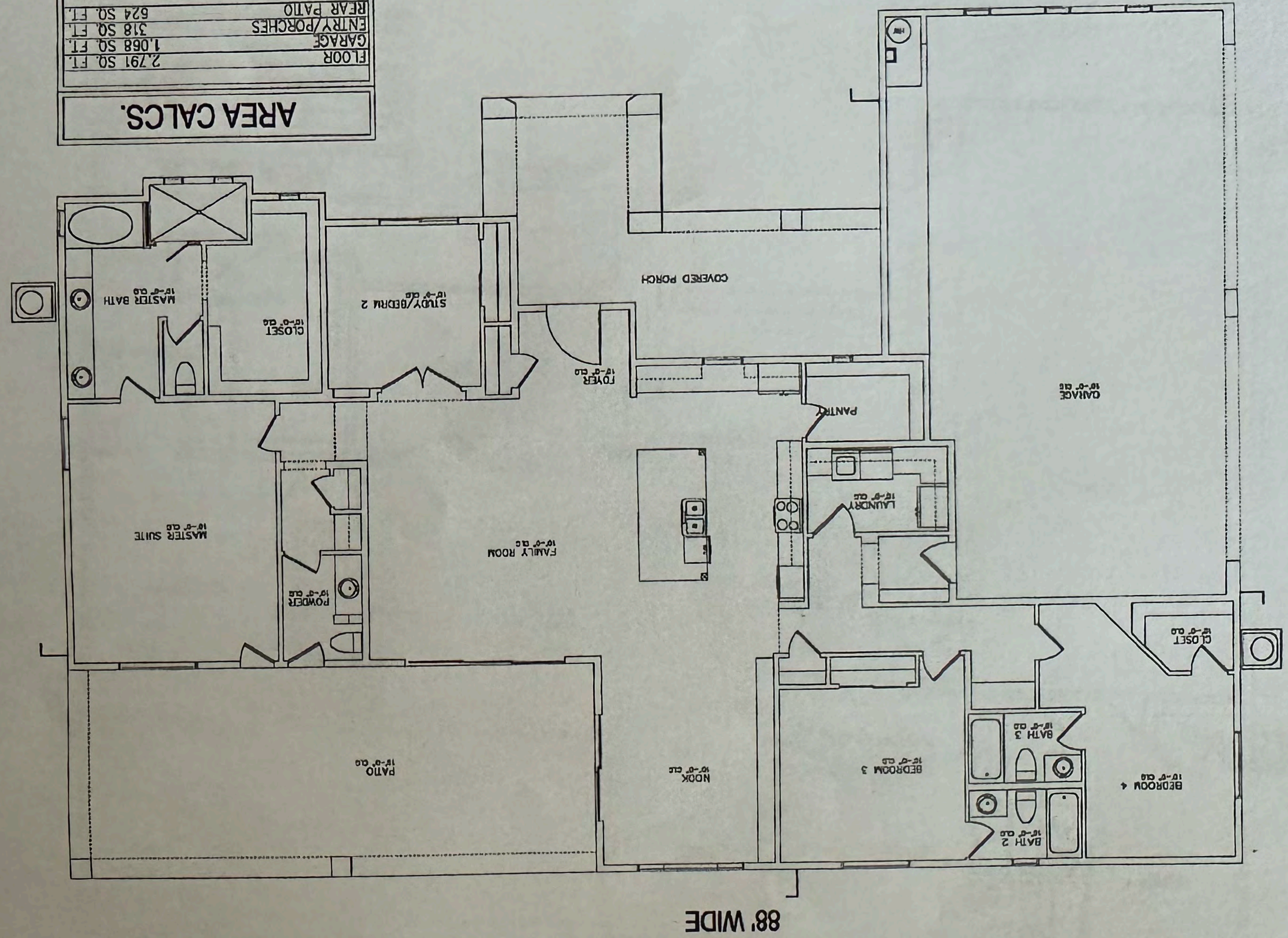
Find out more about this property.

Contact agent

Schedule tour

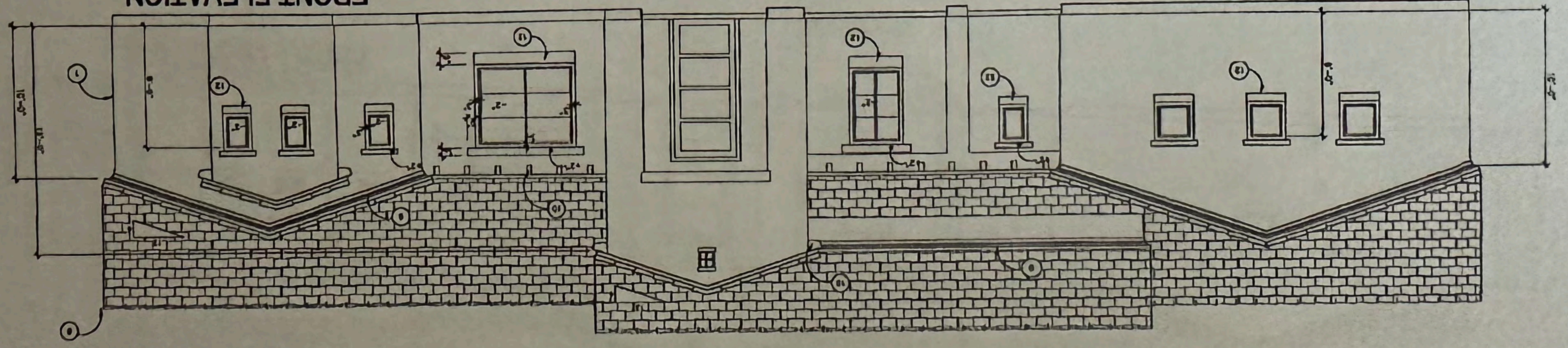


AREA CALCS.	
FLOOR	2,791 SQ. FT.
GARAGE	1,068 SQ. FT.
ENTRY/PORCHES	318 SQ. FT.
REAR PATIO	624 SQ. FT.
TOTAL BLDG. AREA	4,801 SQ. FT.



88' WIDE

FRONT ELEVATION
SCALE 1/4"=1'-0"



NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING BY THE BOARD OF ADJUSTMENT AND APPEALS AT 9:30 A.M., ON **FEBRUARY 27, 2025** AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER (EOC) HEARING ROOM, 85 N FLORENCE ST, FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A **VARIANCE** FOR THE UNINCORPORATED AREA OF PINAL COUNTY.

BA-054-24 – PUBLIC HEARING/ACTION: David Romero, landowner/applicant, requesting a variance to **Section 2.40.020 and 2.40.030** of the Pinal County Development Services Code, to allow a reduction in minimum required lot area from 54,450 square feet (1.25 acres) to 37,897± square feet (0.87 acres) and applicable development standards to allow a single family residence on a 0.87 acres parcel in the (GR) General Rural zoning district, 210-36-008A (legal on file), situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.

Information regarding the case can be found online at:

<https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PLEASE CALL (520) 866-6442 FOR MORE INFORMATION

DATED THIS 27th DAY OF JANUARY, 2025

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

- 1) Planning Case Number (see above)
- 2) Your name, address, telephone number and property tax parcel number (**Print or type**)
- 3) A brief statement of reasons for supporting or opposing the request
- 4) Whether or not you wish to appear and be heard at the hearing

WRITTEN STATEMENTS MUST BE FILED WITH:

PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
P.O. BOX 749 (85 N. FLORENCE, FIRST FLOOR)
FLORENCE, AZ 85132

Contact for this matter: Kendall Riley, Planner
E-mail Address: Kendall.riley@pinal.gov
Phone: (520) 866-6514

Anything below this line not for publication

PUBLISHED ONCE:

Pinal Central Dispatch

AFFIDAVIT OF PUBLICATION

State of New Jersey, County of Burlington, ss:

Kevin Richman, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Pinal Central Dispatch, a newspaper published at Casa Grande, Pinal County, Arizona, Thursday of each week; that a notice, a full, true and complete printed copy of which is hereunto attached, was printed in the regular edition of said newspaper, and not in a supplement thereto, for 1 issues. The publications thereof having been on the following dates:

PUBLICATION DATES:
Feb. 6, 2025

NOTICE ID: OEOcsJExSkSuwN6F1u0h
NOTICE NAME: BA-054-24

(Signed) Kevin Richman

VERIFICATION
State of New Jersey
County of Burlington

LIZA ORTIZ
 NOTARY PUBLIC
 STATE OF NEW JERSEY
 My Commission Expires November 27, 2028

Subscribed in my presence and sworn to before me on this: 02/06/2025

Liza Ortiz
Notary Public
Notarized remotely online using communication technology via Proof.

NOTICE OF PUBLIC HEARING
 NOTICE OF PUBLIC HEARING BY
 THE BOARD OF ADJUSTMENT
 AND APPEALS AT 9:30 A.M.,
 ON FEBRUARY 27, 2025 AT THE
 PINAL COUNTY EMERGENCY
 OPERATIONS CENTER
 (EOC) HEARING ROOM, 85 N
 FLORENCE ST, FLORENCE,
 ARIZONA, TO CONSIDER AN
 APPLICATION FOR A VARIANCE
 FOR THE UNINCORPORATED
 AREA OF PINAL COUNTY.
 BA-054-24 PUBLIC HEARING/
 ACTION: David Romero,
 landowner/applicant, requesting
 a variance to Section 2.40.020
 and 2.40.030 of the Pinal County
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 to allow a reduction in minimum
 required lot area from 54,450
 square feet (1.25 acres) to 37,897±
 square feet (0.87 acres) and
 applicable development standards
 to allow a single family residence
 on a 0.87 acres parcel in the (GR)
 General Rural zoning district, 210-
 36-008A (legal on file), situated in
 Section 17, Township 03S South,
 Range 09 East Gila & Salt River
 Baseline & Meridian, located in
 the Southeast corner of N Felix
 Rd and E Ashbury Ave, within San
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 ALL PERSONS INTERESTED IN
 THIS MATTER MAY APPEAR AT
 THE HEARING AT THE TIME AND
 PLACE DESIGNATED ABOVE,
 AND SHOW CAUSE, IF ANY, WHY
 THIS PETITION SHOULD NOT
 BE GRANTED. DOCUMENTS
 PERTAINING TO THIS CASE
 CAN BE REQUESTED AND ARE
 AVAILABLE FOR REVIEW FROM
 PINAL COUNTY PLANNING AND
 DEVELOPMENT SERVICES
 DEPARTMENT PLEASE CALL
 (520) 866-6442 FOR MORE
 INFORMATION
 DATED THIS 27th DAY OF
 JANUARY, 2025
 TO QUALIFY FOR FURTHER
 NOTIFICATION IN THIS LAND
 USE MATTER YOU MUST
 FILE WITH THE PLANNING
 DEPARTMENT A WRITTEN
 STATEMENT OF SUPPORT
 OR OPPOSITION TO THE
 SUBJECT APPLICATION.
 YOUR STATEMENT MUST
 CONTAIN THE FOLLOWING
 INFORMATION:
 1) Planning Case Number (see
 above)
 2) Your name, address, telephone
 number and property tax parcel
 number (Print or type)
 3) A brief statement of reasons for
 supporting or opposing the request
 4) Whether or not you wish to
 appear and be heard at the hearing
 WRITTEN STATEMENTS MUST
 BE FILED WITH:
 PINAL COUNTY PLANNING AND
 DEVELOPMENT SERVICES
 DEPARTMENT
 P.O. BOX 749 (85 N. FLORENCE,
 FIRST FLOOR)
 FLORENCE, AZ 85132
 Contact for this matter: Kendall



PINAL COUNTY

WIDE OPEN OPPORTUNITY

PINAL COUNTY
DEVELOPMENT SERVICES
P O BOX 749
FLORENCE, AZ 85132

NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING BY THE BOARD OF ADJUSTMENT AND APPEALS AT 9:30 A.M., ON FEBRUARY 27, 2025 AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER (EOC) HEARING ROOM, 85 N FLORENCE STREET FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A VARIANCE FOR THE UNINCORPORATED AREA OF PINAL COUNTY.

BA-054-24 – PUBLIC HEARING/ACTION: David Romero, landowner/applicant, requesting a variance to Section 2.40.020 and 2.40.030 of the Pinal County Development Services Code, to allow a reduction in minimum required lot area from 54,450 square feet (1.25 acres) to 37,897± square feet (0.87 acres) and applicable development standards to allow a single family residence on a 0.87 acres parcel in the (GR) General Rural zoning district, 210-36-008A (legal on file), situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.

Information regarding the case can be found online at:
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DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY DEVELOPMENT SERVICES DEPARTMENT PLEASE CALL (520) 866-6442 FOR MORE INFORMATION.

DATED THIS 4th DAY OF FEBRUARY, 2025

IF YOU KNOW OF ANYONE WITH AN INTEREST IN THIS CASE, PLEASE INFORM THEM OF THIS PUBLIC HEARING. TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE DEVELOPMENT SERVICES DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

Planning Case Number (see above)
 Your name, address, telephone number and property tax parcel number (**Print or type**)
 A brief statement of reasons for supporting or opposing the request
 Whether or not you wish to appear and be heard at the hearing

ANY WRITTEN STATEMENTS ARE ACCEPTED ON AN ONGOING BASIS, BUT WRITTEN STATEMENTS DESIRED TO BE A PART OF THE CASE PACKET FORWARDED TO THE BOARD OF ADJUSTMENTS IS REQUESTED TO BE PROVIDED TO STAFF:
 PINAL COUNTY DEVELOPMENT SERVICES
 PO BOX 749 FLORENCE, AZ 85132

Contact for this matter:
 Kendall Riley, Planner
 E-mail Address: Kendall.riley@pinal.gov Phone: (520) 866-6514 / (520) 866-6442



Board of Adjustment

BA-054-24 – PUBLIC HEARING/ACTION: David Romero, landowner/applicant, requesting a variance to Section 2.40.020 and 2.40.030 of the Pinal County Development Services Code, to allow a reduction in minimum required lot area from 54,450 square feet (1.25 acres) to 37,897± square feet (0.87 acres) and applicable development standards to allow a single family residence on a 0.87 acres parcel in the (GR) General Rural zoning district, 210-36-008A (legal on file), situated in Section 17, Township 03S South, Range 09 East Gila & Salt River Baseline & Meridian, located in the Southeast corner of N Felix Rd and E Ashbury Ave, within San Tan Valley, unincorporated Pinal County.

Current Zoning	Requested Zoning	Current Land Use
GR	Board of Adjustment	Res

PINAL COUNTY

1 of 1

BA-054-24



PINAL COUNTY
 WHERE DREAMS BECOME REALITY

NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or in opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: **10 FEB 2025**

POST COPY OF ACTUAL NOTICE BELOW.

The sign features two documents. The left document is a notice of public hearing, containing text about the hearing process and the community development department. The right document is a site plan map showing a circular area labeled 'BA-09-24' within a larger rectangular boundary. The map includes various lines and labels, likely representing property boundaries and the specific area of interest.





PINAL COUNTY

WIDE OPEN OPPORTUNITY

AGENDA ITEM

February 27, 2025 ADMINISTRATION BUILDING A
FLORENCE, ARIZONA

REQUESTED BY: Ian Daranyi/Brent Billingsley

Funds #:

Dept. #:

Dept. Name:

Director:

BRIEF DESCRIPTION OF AGENDA ITEM AND REQUESTED BOARD ACTION:

ZO24-0059 - CIVIL HEARING OFFICE APPEAL/ACTION Hearing, Review, and Action on Appeal of Hearing Officer’s decision on ZO24-0059, Jessica and Anthony Filograsso, Tax Parcel No., 206190220, Complaint No. CC-0083-22, Count 1: Outside Storage and Parking- Accessory Use and Count 2: Outside Storage and Parking- Recreational Vehicle Storage.

BRIEF DESCRIPTION OF THE FISCAL CONSIDERATIONS AND/OR EXPECTED FISCAL IMPACT OF THIS AGENDA ITEM:

BRIEF DESCRIPTION OF THE EXPECTED PERFORMANCE IMPACT OF THIS AGENDA ITEM:

MOTION:

History	Who	Approval
Time		

ATTACHMENTS:
Click to download
No Attachments Available



PINAL COUNTY

WIDE OPEN OPPORTUNITY

AGENDA ITEM

February 27, 2025 ADMINISTRATION BUILDING A
FLORENCE, ARIZONA

REQUESTED BY: Monika Smriti/Brent Billingsley

Funds #: 10

Dept. #: 1030

Dept. Name:

Director: Brent Billingsley

BRIEF DESCRIPTION OF AGENDA ITEM AND REQUESTED BOARD ACTION:

BA-058-24 – PUBLIC HEARING/ACTION Matt Rettig, applicant, on behalf of landowners Cindy and Samuel L Honea II, is requesting a **variance** to **Section 2.40.020** and **Section 2.40.030** of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to ±43,995 square feet (1.01 acres) for a parcel in the (GR) General Rural Zoning District; situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file), located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge. Supervisor District - 3.

BRIEF DESCRIPTION OF THE FISCAL CONSIDERATIONS AND/OR EXPECTED FISCAL IMPACT OF THIS AGENDA ITEM:

BRIEF DESCRIPTION OF THE EXPECTED PERFORMANCE IMPACT OF THIS AGENDA ITEM:

MOTION:

History	Who	Approval
Time		

ATTACHMENTS:

Click to download

[BOA Packet](#)



PINAL COUNTY

ADJUSTMENTS & APPEALS BOARD

Request for Approval: **Variance** to Section
2.40.020 and 2.40.030 to Allow a Reduction in
Minimum Lot Size Requirement for the
Honea Residence

BA-058-24

Leo Lew
County Manager

Joe Ortiz
Development Services Managing Director



Christopher Wanamaker
County Engineer

Brent Billingsley
Community Development Associate Director

Todd Williams
Community Development Deputy Director

Celeste Garza
Public Works Deputy Director

MEETING DATE: FEBRUARY 27, 2025

TO: PINAL COUNTY BOARD OF ADJUSTMENT AND APPEALS

CASE NO.: **BA-058-24**

CASE COORDINATOR: MONIKA SMRITI, PLANNER

Executive Summary

Request Overview:

Matt Rettig, applicant, on behalf of landowners Cindy and Samuel L Honea II, is requesting a **variance to Section 2.40.020 and Section 2.40.030** of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to ±43,995 square feet (1.01 acres) for a parcel in the (GR) General Rural Zoning District. This tax parcel (209-27-0040) is located to the north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge.

The parcel was created prior to the change in the minimum lot size requirement for the GR (General Rural) zoning district, which occurred during the 1974 zoning code amendment. This amendment updated the minimum lot size from 12,000 square feet to 1.25 acres. As a result, the current parcel is undersized. The owners are now requesting a variance to bring the property into compliance with the current lot size requirement of the GR Zoning District of Pinal County Development Services Code.

If This Request is approved:

This variance will allow the applicant to develop the parcel per the permitted uses of the (GR) General Zoning District, with a stipulated set of development standard appropriate for its current lot size.

Staff Recommendation:

The staff recommends conditional **approval**, subject to the three (3) stipulations outlined in the corresponding variance resolution, and as noted in this staff report.

BA-058-24 – PUBLIC HEARING/ACTION: Matt Rettig, applicant, on behalf of landowners Cindy and Samuel L Honea II, is requesting a variance to Section 2.40.020 and Section 2.40.030 of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to ±43,995 square feet (1.01 acres) for a parcel in the (GR) General Rural Zoning District; situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file), located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge.

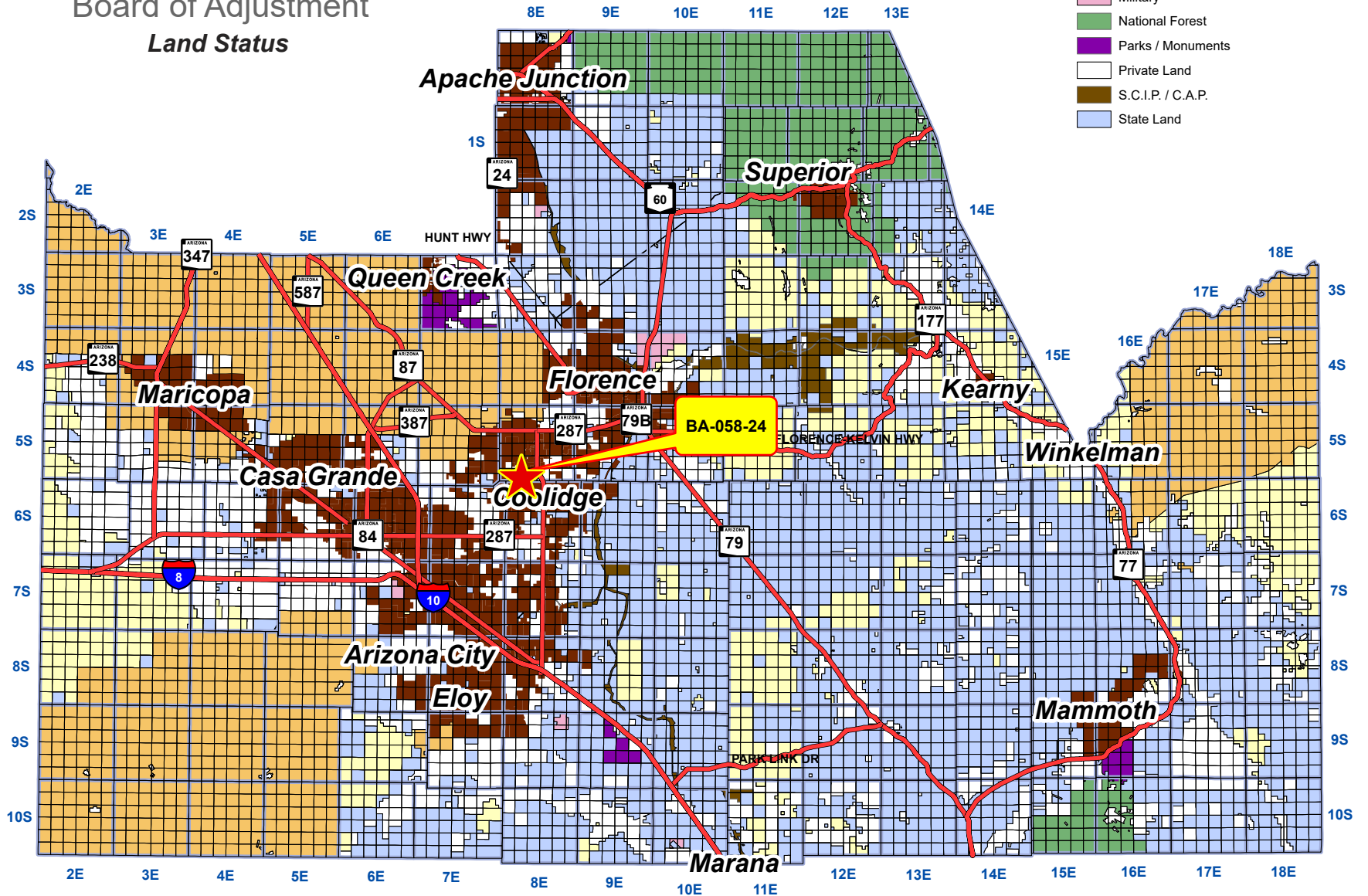
TAX PARCEL: 209-27-0040 (±1.01 acres)

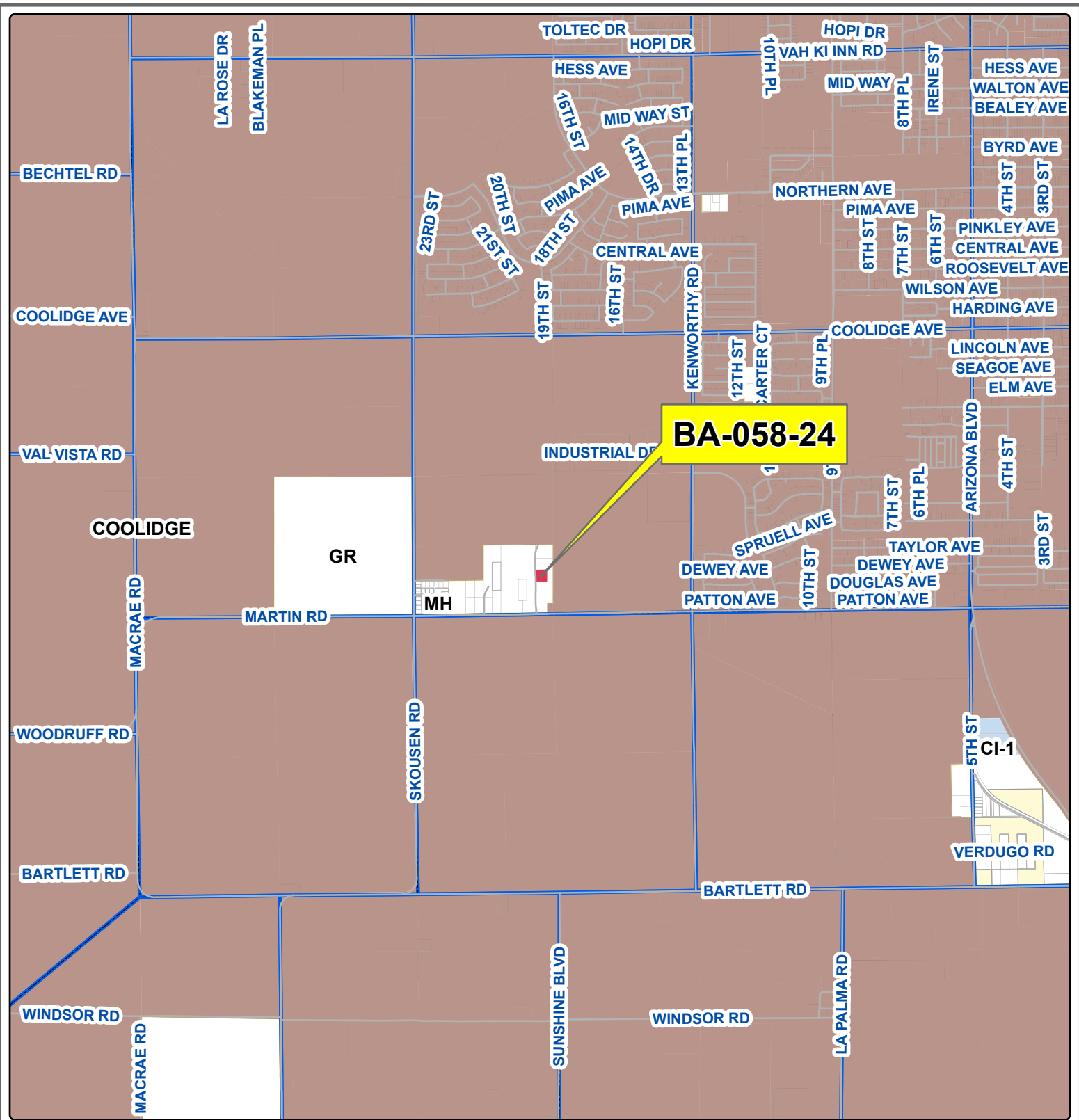
LEGAL DESCRIPTION: N-210' OF S-833.57' OF W-210' OF E1/2 E1/2 SE SW OF SEC 29-5S-8E 1.01 AC

Board of Adjustment
Land Status

Legend

- B.L.M.
- Indian Community
- Military
- National Forest
- Parks / Monuments
- Private Land
- S.C.I.P. / C.A.P.
- State Land



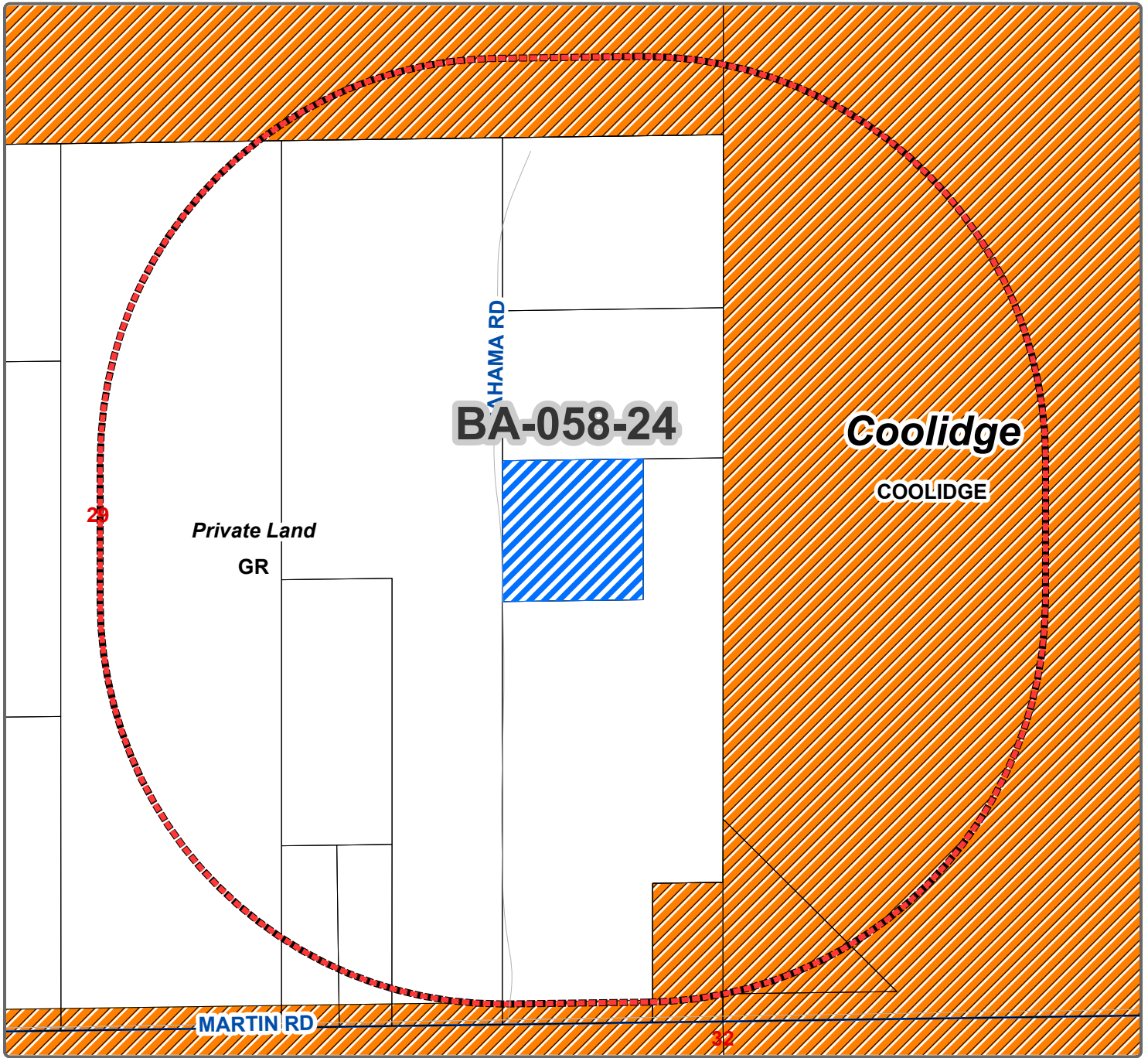


Board of Adjustment
Community Development



Legal Description:
 Situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file), located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge.
 Page 36
 SEC 29, TWN 05S, RNG 08E

 Sheet No. 1 of 1	Owner/Applicant: MATT RETTIG CINDY & SAMUEL L HONEA II		
	Drawn By: GIS / IT / LJT	Date: 01/30/2025	
	Section 29	Township 05S	Range 08E
	Case Number: BA-058-24		



Board of Adjustment

BA-058-24 – PUBLIC HEARING/ACTION: Matt Rettig, applicant, on behalf of landowners Cindy and Samuel L Honea II, is requesting a variance to Section 2.40.020 and Section 2.40.030 of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to ±43,995 square feet (1.01 acres) for a parcel in the (GR) General Rural Zoning District; situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file), located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge.

Current Zoning: GR

Requested Zoning: Board of Adjustment

Current Land Use: MLDR



Legal Description:

Situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file), located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge.

SEC 29, TWN 05S, RNG 08E



Owner/Applicant: MATT RETTIG
CINDY & SAMUEL L HONEA II

Drawn By: GIS / IT /LJT Date: 01/30/2025

Sheet No.
1 of 1

Section 29 Township 05S Range 08E

Case Number: BA-058-24



Board of Adjustment

EXISTING ZONING AND LAND USE: (GR) General Rural Zoning District – Vacant Land, site photographs and Google images show evidence of junk and rubbish accumulation on the property.

SURROUNDING ZONING AND LAND USE:

North: (GR) General Rural Zoning District – Vacant land with junk and rubbish accumulation

East and South: (GR) General Rural Zoning District – Residential with junk and rubbish accumulation

West: (GR) General Rural Zoning District – Vacant land

SITE DATA:

- Parcel access is from a private road Bahama Rd, classified as an Urban Local by ADOT.
- Site is situated in FEMA Flood Zone X – an area of minimal flood hazard.
- Subject parcel is located in a subdivision in which the sewage disposal method is identified as an *Individual Responsibility*. The applicant is aware of this and understands that it involves a separate permitting process with specific requirements outlined in Arizona Administrative Code R18-9-A312.C. The applicant intends to move forward with the variance process.

PUBLIC PARTICIPATION:

Staff's public participation and notification of the cases include:

Newspaper publish dates:	02/06/2025
Mail-outs:	Week of 02/06/2025
Site Posting:	02/06/2025
Website:	02/12/2025

To date, staff has received one letter of support from the public.

HISTORY:

The subject parcel was created before the change in the minimum lot size requirement for the GR (General Rural) zoning district, which took place during the 1974 county zoning code amendment. Prior to this amendment, the parcel's lot size was governed by the county zoning code, initially adopted by the Board of Supervisors in 1962 and later amended in October 1972. At that time, the GR zoning district allowed a minimum lot size of 12,000 square feet (0.28 acres), making the subject parcel compliant with the regulations. However, in November 1974, the county zoning code was amended again, resulting in new development standards for the GR zone, including an increase in the minimum lot size requirement to 54,450 square feet (1.25 acres). Since the 1974 amendment, the GR zoning district has consistently maintained this 54,450 square feet minimum lot size, rendering the subject parcel non-conforming to current standards.

THE APPLICANT MUST SATISFY THE BOARD OF ADJUSTMENT AND APPEALS THAT THIS REQUEST MEETS THE NECESSARY CRITERIA TO QUALIFY FOR A VARIANCE AS STATED IN SECTION 2.155.040.C

EVIDENCE REQUIRED FOR VARIANCE:

- a. There are special circumstances or conditions applicable to the property referred to in the application which do not prevail on other property in that zoning district.*

ANALYSIS: The parcel was created before the county implemented the new minimum lot size requirements for the (GR) zoning district, resulting in the parcel being undersized. The parcel's configuration is consistent with the surrounding development, ensuring no impact on other properties within the GR zoning district in the area.

FINDING: A special circumstance/condition **does exist** for this site, in that this condition does not prevail on other properties in that zoning district.

- b. That the strict application of the regulations would work an unnecessary nonfinancial hardship and that the granting of the application is necessary for the preservation and enjoyment of substantial existing property rights.*

ANALYSIS: Without the variance, the owners would be unable to establish a primary use, as the parcel is undersized, rendering the subject parcel non-conforming to current GR zoning district development standards.

FINDING: Staff finds that the strict application of the regulations **would cause** an unnecessary financial hardship or prohibit the applicant/owner from utilizing the subject property.

- c. The granting of such application will not materially affect the health or safety of persons residing or working in the neighborhood and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.*

ANALYSIS: Staff has not identified any aspects of the subject property that would negatively impact public safety, welfare, or the surrounding neighborhood. Granting this variance would allow the owners to utilize the property in a way that eliminates the current accumulation of junk, ultimately improving the environment for nearby residents. This report includes stipulations that align with development standards appropriate for the size of the parcel, which is well-suited to the permitted uses of the (GR) zoning district. Additionally, the lack of significant increases in traffic, noise, air quality concerns, safety risks, or environmental hazards further supports the conclusion that the application will not adversely affect the health or safety of the surrounding community.

FINDING: The granting of this variance **will not** affect the health or safety of persons residing or working within the subject area and adjacent properties, and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- d. That the special circumstances or conditions referred to in subsection (C) (4) (a) of this section are and are not a matter of mere inconvenience or personal preference.*

ANALYSIS: The parcel was created before the county implemented the new minimum lot size requirements for the GR zoning district, resulting in the parcel being undersized. Therefore, the circumstances of this variance are not self-imposed.

FINDING: Staff finds that the special circumstances referred to in subsection (C) (4) (a) are not self-imposed.

e. The variance does not allow a use that is not permitted in the zone district where the property is located.

ANALYSIS: Section 2.40.010 of the Pinal County Development Services Code establishes the permitted uses within the (GR) zoning district. The proposed variance solely seeks to adjust the development standard to better align with the current size of the parcel. Importantly, a variance **does not alter the permitted uses** of the zoning district. The applicant is requesting the variance to allow development of the subject parcel in accordance with the zoning district's established permitted uses.

FINDING: Granting of the variance will not allow a use that is not permitted in the zoning district where the property is located.

STAFF SUMMARY AND RECOMMENDATION: All submittals, evidence presented, written documentation, public testimony, and Planning Case Staff Report (BA-058-24) are considered part of the record in this variance case. If the Board of Adjustments and Appeals can find sufficient evidence based upon the record, staff recommends the Board adopt the staff report and record as presented and consider the requested variance with the following motions of approval or denial.

BOARD MOTION

To Approve:

I move to approve case **BA-058-24**, a **variance to Sections 2.40.020 and 2.40.030** of the Pinal County Development Services Code (PCDSC), to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to ±43,995 square feet (1.01 acres) for a Parcel 209-27-0040 is located to the north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, to allow the development of permitted uses of the (GR) zoning district on the subject property. The motion for approval is based on the findings of **A** through **E** -as presented above- and is subject to the following stipulations:

1. All State and County regulations shall be adhered to and all required approvals, plans, submittal documents and permits be submitted and obtained - including but not limited to, planning clearance, building, sewage disposal, right-of-way use permit, handling and disposal of wastewater, air quality permit, etc.
2. Development Standards for the subject parcel shall be as follows:
 - A. Minimum lot area: 43,560 square feet.
 - B. Minimum lot width: 100 feet.

- C. Minimum front setback: 30 feet.
 - D. Minimum side setbacks: Ten feet each.
 - E. Minimum rear setback: 40 feet.
 - F. Maximum building height: 30 feet.
 - G. Detached accessory buildings:
 - 1. Permitted coverage: 33 percent of the total area of the rear and side setbacks;
 - 2. Maximum height: 20 feet.
 - 3. Minimum distance to main building: Seven feet;
 - 4. Minimum distance to front lot line: 60 feet; and
 - 5. Minimum distance to side and rear lot lines: Four feet if not used to house poultry or small animal; 30 feet if used to house livestock; and
 - 6. A structure having a roof supported by columns, open on all sides, not enclosed in any manner, shall not be considered a building and shall have a setback of 15 feet from side and rear lot lines.
3. If any change of use is requested – aside from use stated within the (GR) zoning district – the variance shall be considered null and void.

To Deny:

I move to deny the variance case **BA-058-24**, a **variance** to **Sections 2.40.020 and 2.40.030** of the Pinal County Development Services Code (PCDSC), findings(s)/special circumstances referred to in the subsection (C)(4)(a) of 2.155.040 in PCDSC are self-imposed.

DATE PREPARED: 02/18/25 – Monika Smriti

DATE REVISED: 02/20/25 - Monika Smriti

PINAL COUNTY DEVELOPMENT SERVICES
PO BOX 749
FLORENCE, AZ 85132

02.13.2025

RECEIVED

FEB 20 2025

PUBLIC WORKS

Re: Case # BA-058-24
Thank you for considering this variance.

Garth & Jean Goodrich
17051 E State Route 169
Dewey, AZ 86327

Jean 928-607-4830
Garth 928-707-0110

We own 4 parcels adjacent to the parcel being considered for variance and appreciate the opportunity to give a statement.

Our parcel numbers are:
209-27-0020
209-27-0070
209-27-0080
209-27-0090

Regarding the variance on parcel 209-27-0040:
We approve of this request for a variance. The parcel has had a house on the land most of the time since before the 1960s. We have personally resided on this 1 acre parcel in the past. As a previously established personal residence property, our desire is that this be allowed to continue being occupied as such.

We won't be appearing at the hearing but would like to request that this variance be approved.

Respectfully,



Garth and Jean Goodrich



NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING BY THE BOARD OF ADJUSTMENT AND APPEALS AT 9:30 A.M., ON **FEBRUARY 27, 2025** AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER, 85 N. FLORENCE STREET IN FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A **VARIANCE** IN THE UNINCORPORATED AREA OF PINAL COUNTY.

BA-058-24 – PUBLIC HEARING/ACTION: Matt Rettig, applicant, on behalf of landowners Cindy and Samuel L Honea II, is requesting a **variance** to **Section 2.40.020** and **Section 2.40.030** of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to ±43,995 square feet (1.01 acres) for a parcel in the (GR) General Rural Zoning District; situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file), located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge.

Information regarding the case can be found online at:

<https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY DEVELOPMENT SERVICES DEPARTMENT. PLEASE CALL (520) 866-6442 FOR MORE INFORMATION.

DATED THIS **28th DAY OF JANUARY, 2025**

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE DEVELOPMENT SERVICES DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

-
- 1) Planning Case Number (see above)
 - 2) Your name, address, telephone number and property tax parcel number (**Print or type**)
 - 3) A brief statement of reasons for supporting or opposing the request
 - 4) Whether or not you wish to appear and be heard at the hearing

WRITTEN STATEMENTS MUST BE FILED WITH:

PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
P.O. BOX 749 (85 N. FLORENCE, FIRST FLOOR)
FLORENCE, AZ 85132

Contact for this matter: Monika Smriti,
E-mail address: monika.smriti@pinal.gov
Phone #: (520) 866-6294

[Anything below this line is not for publication.]

PUBLISHED ONCE:
Pinal Central Dispatch

209250050

209270010

209270110

209270030

BA-058-24

BAHAMA RD

209270020

209270040

20925006J

209270120

209270100

209270070

209270050

20927014B

20927013C

209270080

209270090

20925006C

MARTIN RD

20930002B

20930002A

209300010



209270070
GOODRICH GARTH D & JEAN M & GREGORY A
17051 E STATE ROUTE 169
DEWEY , AZ 86327-7741

209270020
GOODRICH GARTH D
17051 E STATE ROUTE 169
DEWEY , AZ 86327-8632

209270040
HONEA SAMUEL L II & CINDY
PO BOX 5
COOLIDGE , AZ 85128-8000

20925006J
CITY OF COOLIDGE
130 W CENTRAL AVE
COOLIDGE , AZ 85128-8440

209270030
HONEA THOMAS V III
PO BOX 2154
COOLIDGE , AZ 85128-8003

209270010
HONEA THOMAS VAN III & RICHELLE ANN CO-TRS
PO BOX 2154
COOLIDGE , AZ 85128-8003

209250050
CITY OF COOLIDGE
130 W CENTRAL AVE
COOLIDGE , AZ 85128-8440

209270080
GOODRICH JEAN
17051 E STATE ROUTE 169
DEWEY , AZ 86327-7741

209270090
GOODRICH JEAN
17051 E STATE ROUTE 169
DEWEY , AZ 86327-7741

20925006C
CORNERSTONE COMMUNITY CHURCH OF COOLIDGE
PO BOX 1485
COOLIDGE , AZ 85128-8002

209270050
HONEA SAMUEL L SR
1506 E MARTIN RD
COOLIDGE , AZ 85128-8923

209270100
BARNES DICKY
1266 E MARTIN RD
COOLIDGE , AZ 85128-8920



APPLICATION FOR VARIANCE OF REGULATIONS IN AN UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA

(All Applications Must Be Typed or Written in Ink) and submitted via the online portal site at
<https://citizenaccess.pinalcountyz.gov/CitizenAccess/>

Variance Request & Property Information:

(Feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

1. Tax Assessor Parcel No.: 209-27-0040 2. Size (to the nearest 1/10th of an acre) 1.01 acres

3. The legal description of the property: N-210' OF S-833.57' OF W-210' OF E1/2 E1/2 SE SW OF SEC 29-5S-8E 1.01 AC

4. Current zoning: GR 5. Septic or Sewer? Septic Sewer Individual Responsibility
Sewer District _____

6. The existing use(s) of the property: Non-Primary Residence. The intention of the variance is to establish primary residence.

7. The exact variance request and/or Section(s) of Code impacted: Section 2.40.020 and Section 2.40.030

8. Is there a zoning violation on the property for which the owner has been cited? If yes, zoning violation # (CC/BCC) N/A

9. Discuss any known changes in land use, street arrangement, or other physical conditions that have altered the character of your property or adjoining properties.

N/A

10. State any special circumstances or conditions about the property that do not negatively impact other properties in that zoning district. Also state any physical characteristics of this property that are unique and unlike other properties in the area.

The lot was created before the county implemented the new minimum lot size requirements for the GR zoning, resulting in the parcel being undersized. The lot's configuration is consistent with the surrounding development, ensuring no impact on other properties within the GR zoning district in the area.

COMMUNITY DEVELOPMENT
Planning Division

85 N. Florence St., PO Box 2973, Florence, AZ 85132 T 520-866-6442 FREE 888-431-1311 F 520-866-6530
www.pinalcountyz.gov

11. State how the special circumstances or conditions referred to question #10 are not self-imposed.

The lot was created before the county implemented the new minimum lot size requirements for the GR zoning, resulting in the parcel being undersized. Therefore, the circumstances of this variance are not self-imposed.

12. State how the granting of this application will not materially affect the health or safety of persons residing or working in the neighborhood and how this variance will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The proposed single-family residence will not lead to significant increases in traffic, noise, air quality concerns, safety hazards, public health risks, or environmental impacts. Consequently, this variance will not have a substantial negative effect on the public welfare nor cause harm to neighboring properties or improvements.

13. State how the variance will only allow permitted uses in the zoning district in which the property is located.

A single family residence is a permitted use of the GR zoning district.

14. State how the strict application of the current regulations would work an unnecessary nonfinancial hardship and how the granting of the variance is necessary for the preservation and enjoyment of substantial existing property rights. Show how all beneficial uses and/or enjoyment of the land will be lost if the variance is not granted. Evidence from an appraiser, realtor or other professionals can be useful.

Without the variance, the owners would be unable to establish a primary residential use, as the parcel is undersized.

(The following are additional questions for reductions in parking requests only)

15. Site Plan Review or Building Permit Number: _____

16. Required parking either in total number or ratio: _____ **17. Requested (# or ratio)** _____

18. Evidence to support a reduction, this may include codes and ordinance from other jurisdictions, structures with multiple building occupancy types and/or operational characteristics of the particular use that would warrant a reduction: _____

I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing.

Cindy Honea and Samuel L Honea II 
Name of Applicant Address


Signature of Applicant  
E-Mail Address Phone Number

MATT RETTIG 
Name of Agent/Representative Address


Signature of Agent/Representative  
E-Mail Address Phone Number

The Agent/Representative has the authority to act on behalf of the landowner/applicant, which includes agreeing to stipulations. The agent will be the contact person for Planning staff and must be present at all hearings. Please use attached Agency Authorization form, if applicable.

Cindy Honea and Samuel L Honea II 
Name of Landowner Address


Signature of Landowner  
E-Mail Address Phone Number

If the landowner is not the applicant, then the applicant must submit a signed and notarized agency authorization form from the landowner with this application.

Application Checklist:

- Submit a detailed site plan, at least 8½ X 11, but not larger than 11" X 17". The site plan must include the following:
 - Size and shape of parcel; property dimensions; north arrow
 - Adjacent streets; rights-of-way, easements and setbacks; indicate size; purpose and whether public or private
 - Location, size and use of all existing and proposed buildings; show setbacks from property boundary lines and between structures
 - Driveways and parking areas, show access, dimensions and surface material
 - Existing and proposed utilities, show location of lines, size and serving company
 - Any other information as may be applicable – landscaping, natural features i.e.: washes, excavation sites, etc., floor plan
- Submit the "This Application Checklist" for the requested action.
- Submit, or request from the case planner assigned, a list of all property owners within 600' of the subject property boundary showing name, mailing address and tax parcel numbers. This list must be obtained within the 30 days prior to application submission.
- Submit a map of the area with the 600' boundary shown. (A Tax Assessor Parcel Map is acceptable).
- Submit the non-refundable filing fee according to the fee schedule shown on coversheet of the application. (The application is not considered filed until the fees are paid.)
 - A) Residential with 0-499 mail-outs \$500.00
 - B) Residential with 500 or more mail-outs: \$500.00
 - C) Commercial, industrial or transition with 0-499 mail-outs: \$2,084.00
 - D) Commercial, industrial or transition with 500 or more mail-outs: \$2,399.00
- The application and narrative in PDF format.
- I understand that two newspaper publications must be advertised for this variance case per Pinal County staff instructions no later than 21 days before the hearing date as assigned. The applicant is responsible for all publication fees.
- Submitted application via online portal (<https://citizenaccess.pinalcountyz.gov/CitizenAccess/>)

Important:

If the application is incomplete or is not detailed enough, the case will not be presented to the Board of Adjustments.

PROPERTY OWNERSHIP LIST

(Required for filing all applications)

Instructions: Print Name, Address, City, State, Zip Code and Tax Parcel Number for each property owner within 600 feet of the subject parcel boundary. Feel free to attach a separate list if generated digitally. Please see "How to use the Buffer Tool" on our FAQ's page if you are generating the list.

209270070
GOODRICH GARTH D & JEAN M & GREGORY A
17051 E STATE ROUTE 169
DEWEY, AZ 86327-7741

209270020
GOODRICH GARTH D
17051 E STATE ROUTE 169
DEWEY, AZ 86327-8632

209270040
HONEA SAMUEL L II & CINDY
PO BOX 5
COOLIDGE, AZ 85128-8000

20925006J
CITY OF COOLIDGE
130 W CENTRAL AVE
COOLIDGE, AZ 85128-8440

209270030
HONEA THOMAS V III
PO BOX 2154
COOLIDGE, AZ 85128-8003

209270050
HONEA SAMUEL L SR
1506 E MARTIN RD
COOLIDGE, AZ 85128-8923

209270010
HONEA THOMAS VAN III & RICHELLE ANN CO-TRS
PO BOX 2154
COOLIDGE, AZ 85128-8003

209270100
BARNES DICKY
1266 E MARTIN RD
COOLIDGE, AZ 85128-8920

209250050
CITY OF COOLIDGE
130 W CENTRAL AVE
COOLIDGE, AZ 85128-8440

20925006C
CORNERSTONE COMMUNITY CHURCH OF COOLIDGE
PO BOX 1485
COOLIDGE, AZ 85128-8002

209270080
GOODRICH JEAN
17051 E STATE ROUTE 169
DEWEY, AZ 86327-7741

209270050
HONEA SAMUEL L SR
1506 E MARTIN RD
COOLIDGE, AZ 85128-8923

209270090
GOODRICH JEAN
17051 E STATE ROUTE 169
DEWEY, AZ 86327-7741

209270100
BARNES DICKY
1266 E MARTIN RD
COOLIDGE, AZ 85128-8920

I hereby verify that the name list above was obtained on the 23rd day of January, 2025, at the office of Pinal County and is accurate and complete to the best of my knowledge.
(Source of Information)

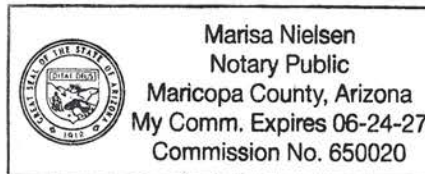
On this 29th day of January, 2025, before me personally appeared MATT RETTIG
(Name of signor)

Signature [Handwritten Signature] Date 1-29-2025

State of Arizona)ss.

County of Maricopa

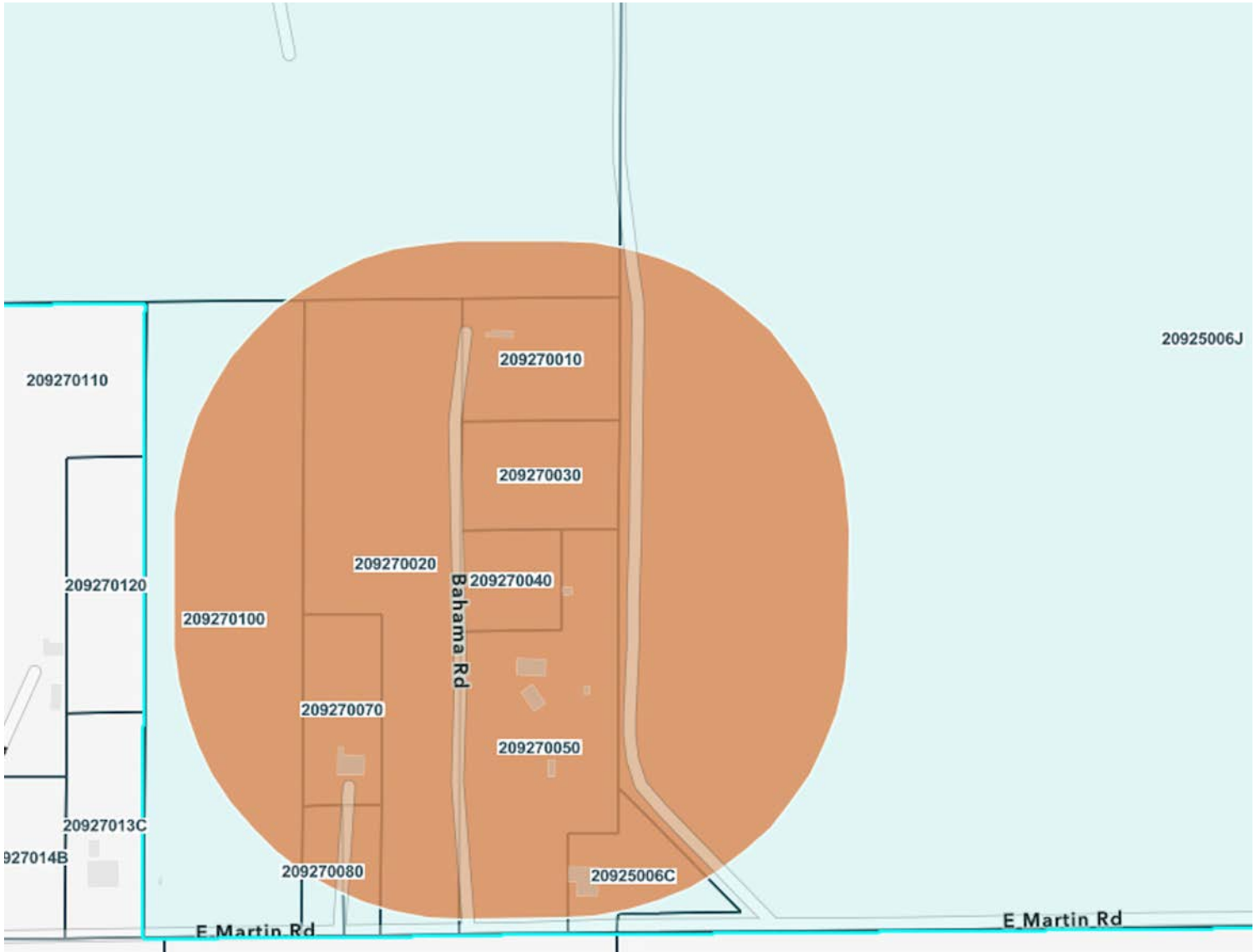
My Commission Expires 6/24/27



(SEAL)

Signature of Notary Public [Handwritten Signature]

MAILING MAP





PROPERTY OWNER/AGENT AUTHORIZATION FORM

I (property owner) Cindy and Samuel L Honea II, hereby
 authorize (owner's agent) Matt Rettig

Acting as, *(check one required for application processing)*

Contractor: ____ ROC# _____	Permitting Service: <input checked="" type="checkbox"/>	Registered Professional: ____	Owner Builder: ____	Relative: ____ Relation _____
--------------------------------	--	----------------------------------	------------------------	----------------------------------

To make application to Pinal County for the following (description of work) _____

Apply for a Variance to allow for a single family residence on a lot less then 1.25 Acres

Assessor Parcel Number: 209-27-0040

Name of RV/PM/MH Park (if applicable): _____

Lot or Space # (if applicable): _____

Physical Address: 8921 N. Bahama Rd

City/Town: Coolidge State: AZ Zip: 85128

By signing this Form, I acknowledge and agree that I am not released from responsibility for: (1) the payment of any and all fees associated with the issuance of any permits, orders, notices or other approvals ("Approvals") by Pinal County pursuant to my agent's application; (2) the satisfactory completion of all work authorized by such Approvals in compliance with all applicable county, state and federal laws, codes, rules, regulations and requirements; (3) correcting any violations of the terms and conditions of such Approvals issued by Pinal County pursuant to my agent's application. In the event this authorization is canceled, or the relationship between the owner and their agent or contractor is terminated, all rights to the permit, plans and fees will remain the property of the property owner.

Property Owner: Cindy Honea and Samuel L Honea II

Owner Phone Number: [REDACTED]

By (signature):

Email: [REDACTED]

Name: _____

Date: 10/21/2024

Title: _____

COMMUNITY DEVELOPMENT

85 N Florence Street, Building F, First Floor, PO Box 2973, Florence, AZ 85132 T 520-866-6442 FREE 888-431-1311 F 520-866-6530 www.pinalcountyaz.gov

Planning and Zoning Narrative
Record Z-PA-128-24
APN 209-27-0040
8921 N BAHAMA RD
COOLIDGE AZ

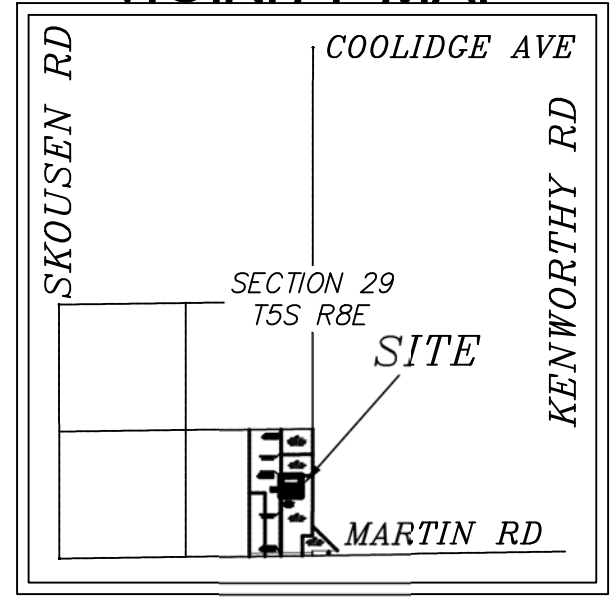
Planning Commission,

We are requesting parcel APN 209-27-0040 known as 8921 N Bahama Rd Coolidge be authorized a variance. This parcel is zoned GR and was created before the county implemented the new minimum lot size requirement for GR. This parcel will become a primary single family residence and use. We currently have plans drafted and submitted to the building department for a single story single family 1,756 SQ. FT ranch style home with front and rear covered patios. The zoning GR allowed for this use on a parcel of 1.25 Acres or greater in size. We are currently right at 1.01 acre in size or 43,995 SQ. FT. We are conforming to the PAD as the future plan is for this whole area to be developed into residential mixed use space. The lots configuration is consistent to the surrounding development. No additional traffic will be increased by this use change. All of the surrounding properties are zoned GR and currently occupied by single family residence as well or vacant. We are within 3 miles of the incorporated community of Heartland Ranch and we have no plans to be incorporated with this parcel. This parcel contains all utilities needed for this use and no additional utilities will be needed for this zoning and use.

Agent Representative

Matt Rettig
480-580-9742

VICINITY MAP



NOT TO SCALE

CURRENT OWNER INFO

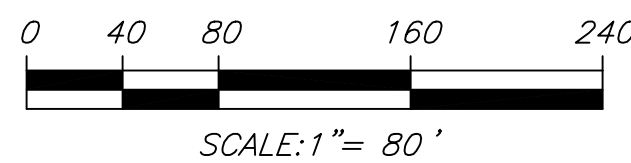
SAMUEL/CINDY HONEA
8921 N BAHAMA RD
COOLIDGE, AZ 85128

MONUMENT NOTES

- 1 2 1/2" ALUMINUM CAP STAMPED LS 37512
- 2 3/8" REBAR WITH NO I.D.
- 3 1/2" REBAR WITH NO I.D.

BASIS OF BEARING:

SOUTH 89°11'55" WEST ALONG THE MONUMENT LINE OF MARTIN ROAD, ALSO BEING THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 29, AS MEASURED BETWEEN MONUMENTS SHOWN HEREON AND DESCRIBED UNDER MONUMENT NOTES.



REFERENCE DATA:

- (R1) FEE 2024-024495 CURRENT RECORD DEED SUBJECT PARCEL
- (R2) FEE 2010-019406 PREVIOUS RECORD DEED
- (R3) FEE 2009-106454 PREVIOUS RECORD DEED
- (R4) FEE 2009-085808
- (R5) FEE 2009-106453 DEED APN 209-27-0050
- (R6) FEE 2010-110120 SURVEY FOR APN 209-25-006C
- (R7) FEE 2014-034219 DEED APN 209-25-006C
- (R8) FEE 2021-072730 SURVEY PARCEL 209-27-014B
- (R9) 2023-014971 DEED APN 209-27-0010
- (R10) 2009-106452 DEED APN 209-27-0030

COMMITMENT FOR TITLE BY SECURITY TITLE AGENCY, ORDER NO. ST76240467, DATED 5/29/2024.

LEGAL DESCRIPTION:

PER FEE NO. 2024-024495, RECORDS OF THE PINAL COUNTY RECORDER, ARIZONA:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF PINAL, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT 630 FEET NORTH AND 120 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN;

THENCE NORTHERLY AND PARALLEL TO THE EAST LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 210 FEET TO A POINT;

THENCE WESTERLY AND PARALLEL TO THE SOUTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 210 FEET TO A POINT;

THENCE SOUTHERLY AND PARALLEL TO THE EAST LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 210 FEET TO A POINT;

THENCE EASTERLY A DISTANCE OF 210 FEET TO THE POINT OF BEGINNING.

RESULTS OF SURVEY

HONEA PARCEL

A PORTION OF NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 8 EAST OF THE GILA & SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

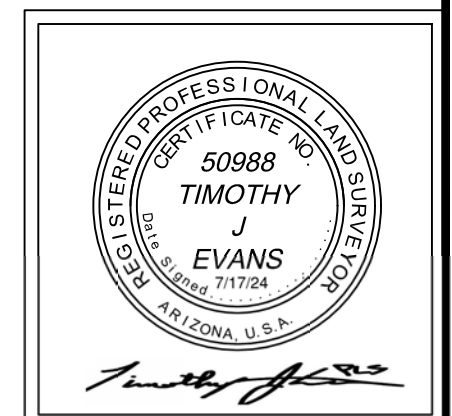
SURVEYOR'S NOTES:

01. PROPERTY MAY BE SUBJECT TO EXISTING EASEMENTS AND RIGHT-OF-WAYS NOT SHOWN HEREON. EVERY EFFORT WAS MADE TO RECOVER RECORDED DATA THAT ENCUMBERED OR AFFECTED THE SUBJECT PARCEL. THE SURVEYOR MAKES NO CERTIFICATION THAT ALL DATA SHOWN IS THE LIMIT OF THIS ENCUMBRANCE.
02. IF A DISCREPANCY IS DISCOVERED IN THE DATA OR MEASUREMENTS OF THIS MAP THE SURVEYOR MUST BE CONTACTED TO RESOLVE ANY ISSUES PRIOR TO ANY DESIGN OR CONSTRUCTION.
03. OWNERSHIP INFORMATION SHOWN HEREON WAS OBTAINED FROM THE PINAL COUNTY ASSESSOR'S WEBSITE AND MAY BE INACCURATE OR OUT-OF-DATE.
04. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.
05. THIS SURVEY IS VALID ONLY WHEN BEARING SEAL AND SIGNATURE OF SURVEYOR.
06. MONUMENTS FOUND DURING THIS FIELD SURVEY WERE ACCEPTED UNLESS OTHERWISE NOTED HEREIN.
07. SURVEYOR SCOPE OF SERVICES IS LIMITED IN A MANNER CONSISTENT WITH THE DEGREE AND CARE AND SKILL ORDINARILY EXERCISED BY MEMBERS OF THE SAME PROFESSION CURRENTLY PRACTICING UNDER SIMILAR CONDITIONS. DOCUMENTATION AND INFORMATION (RECORDED OR UNRECORDED) RECOVERED OR PROVIDED BY/TO THE SURVEYOR IS NOT GUARANTEED TO BE ALL-INCLUSIVE. SURVEYOR CANNOT INTERPRET THESE ITEMS LEGALLY AND SHOULD BE DONE BY LEGAL COUNSEL.
08. BOUNDARY LINES SHOWN HEREON ARE NOT MEANT TO BESTOW OR PURPORT OWNERSHIP.
09. THE RECORDED DEEDS FOR PARCELS 209-27-0010, 209-27-0030, 209-27-0040 (SUBJECT PARCEL), 209-27-0050 ARE AMBIGUOUS IN THAT THEY CREATE GAPS AND OVERLAPS DUE TO THE ORIGINS OF PARCELS 209-27-0010, 209-27-0030 AND 209-27-0040 ARE DESCRIBED FROM THE SOUTH BOUNDARY OF THE EAST 1/2 OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29. PARCEL 209-27-0050 EXCEPTS OUT THESE THREE PARCELS USING THE NORTH BOUNDARY OF SAID EAST 1/2 OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29. BECAUSE OF THE CHAIN OF CONVEYANCE, DOCUMENT 2009-106453 WAS USED TO EXCEPT OUT THE NORTH 488 FEET OF SAID EAST 1/2 OF THE EAST 1/2, THEN THE WEST 210 FEET OF THE NORTH 698 FEET (SUBJECT PARCEL). PARCEL 209-27-0010 WAS DETERMINED USING THE NORTH 2 ACRES OF THE LAND DESCRIBED IN 2009-106453.

CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY OF THE PREMISES DESCRIBED AND PLOTTED HEREON WAS MADE UNDER MY DIRECTION DURING THE MONTH OF JUNE, 2024. THE SURVEY IS TRUE AND COMPLETE AS SHOWN, THE CONDITIONS SHOWN ACTUALLY EXIST AND THAT THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY MEETS THE ARIZONA MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THIS IS NOT A TOPOGRAPHIC SURVEY, AND SHOULD NOT BE USED FOR DESIGN PURPOSES BEYOND REFERENCING BOUNDARY LINES SHOWN HEREON.

TIMOTHY J EVANS PLS #50988 DATE 7/17/24



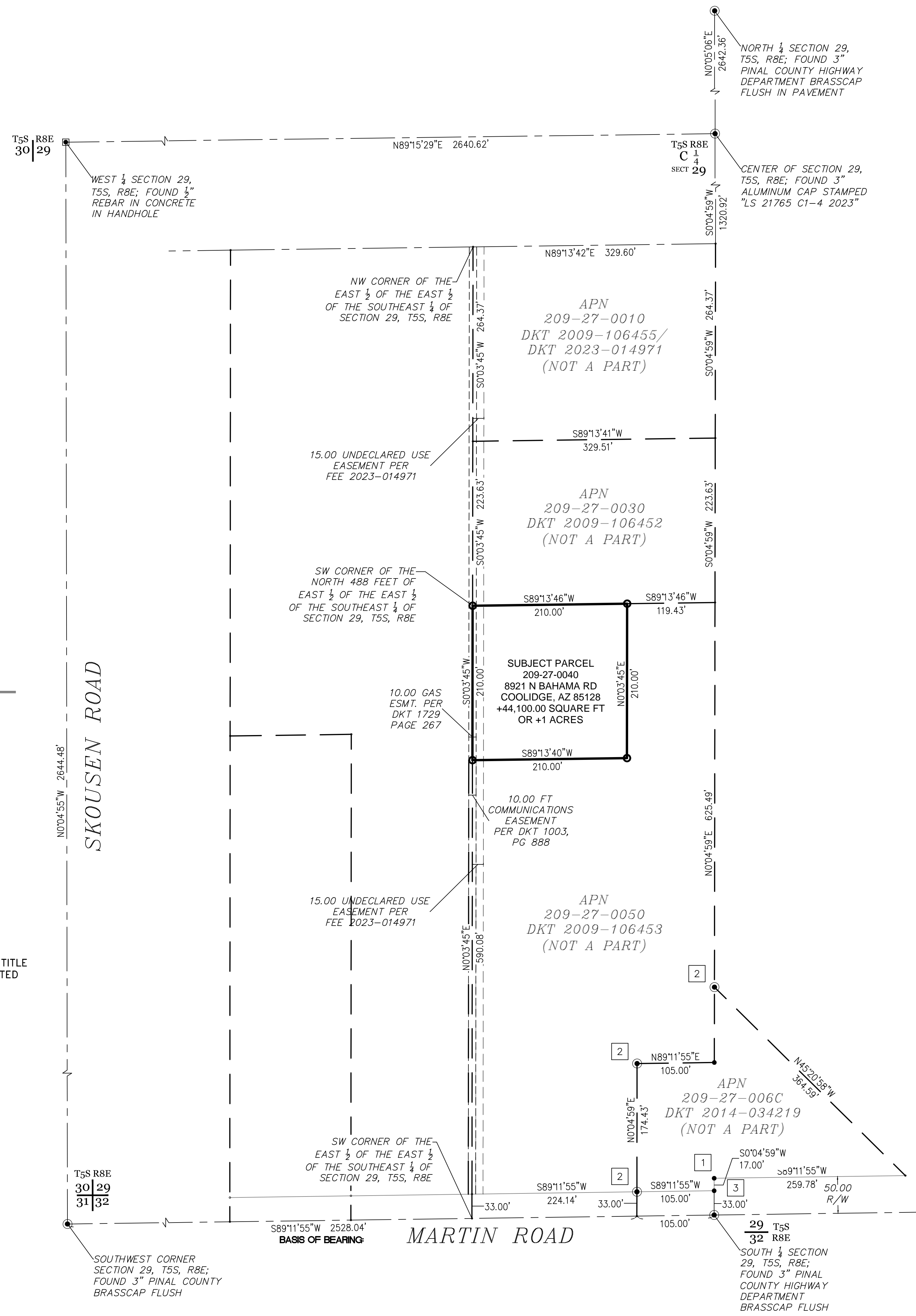
RESULTS OF SURVEY

EVANS PROFESSIONAL LAND SURVEYS

-LAND SURVEY-GEOMATICS-
MAPPING-STAKING-CONSULTING

2185 S. BANNING ST., GILBERT, AZ 85295
480-244-5036 - WWW.EVANS-PRO.COM

EPLS



GENERAL SPECIFICATIONS

SUBSTITUTIONS
 * THE SUBCONTRACTOR SHALL BASE HIS PROPOSAL ON THE EXACT BRANDS, SYSTEMS, METHODS, AND MATERIALS SHOWN. IF THE SUBCONTRACTOR DESIRES TO MAKE SUBSTITUTIONS, HE SHALL LIST THEM IN HIS BID IN A HIGHER GRADE OR BETTER QUALITY THAN APPEARING ON THE DRAWINGS. THE SUBCONTRACTOR MUST INCLUDE THE MONETARY DIFFERENCE IN CONTRACT PRICE IF THE SUBSTITUTION IS ACCEPTED. SUBSTITUTIONS AFTER SIGNING THE CONTRACT SHALL BE BY CHANGE ORDER ONLY.

ERRORS AND OMISSIONS
 * ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECS, OR OTHER DOCUMENTS, THE SUBCONTRACTOR SHALL NOTIFY OWNER IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE SUBCONTRACTOR FAILING TO GIVE NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME. THE SUBCONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED BY OWNER PRIOR TO SUBMITTING A BID. OTHERWISE OWNER INTERPRETATION SHALL BE FINAL.

WINDOWS
 * WINDOWS SHALL COMPLY WITH THE BUILDING CODE FOR ACCESS AND EGRESS.
 * ALL WINDOW ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE MIN NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MIN NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. WHEN WINDOW ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A CLEAR WINDOW OPENING HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.
 * LIGHT & VENTILATION REQUIREMENTS FOR ALL WINDOWS ARE TO COMPLY W/ THE IBC/INTL CODE. GLASS IN HAZARDOUS AREAS AS DEFINED BY THE BUILDING CODE SHALL BE SAFETY GLAZING.

ATTIC VENTILATION, ACCESS, AND VENTS
 * ATTIC ACCESS SHALL BE NOT LESS THAN 22"x20" WITH 30" MIN CLEAR HEADROOM ABOVE THE ACCESS OPENING. ANY ACCESS OPENINGS WHEN LOCATED IN A GARAGE, SHALL COMPLY WITH THE BUILDING CODE FOR THE INDICATED ONE HOUR OCCUPANCY SEPARATION AND JURISDICTION REQUIREMENTS.
 * SEE ATTIC VENTILATION CALCULATIONS FOR DRAINAGE OR VENTILATION CALCULATION.
 * ROOF BREATHING UNDER OVER-HANGING SHALL BE REMOVED TO ALLOW VENTILATION THRU ATTIC AREAS AS REQUIRED BASED ON ATTIC VENTILATION CALCULATIONS.
 * WHERE FOAM IS USED IN ATTIC AREA, A THERMAL BARRIER FOR THE BUILDING CODE, IN AN INDEX OF 0, SHALL BE PLACED AND SECURED BETWEEN THE FOAM AND ATTIC AREA. OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL, FISH WITH MESH OPENINGS OF 1/4" IN DIMENSION.

LOCATION FOR REQUIRED FIREBLOCKING & FASTENINGS
 * FIRE BLOCKS AND DRAFT STOPPERS SHALL COMPLY WITH THE BUILDING CODE TO INCLUDE BUT NOT LIMITED TO:
 * CONCEALED SPACES OF BRID WALLS AT CEILING AND FLOOR LEVELS, FIREBUILT SPACES AND JOISTS, 1/2" JOISTS, LIBRARY, OR THE ROOM BETWEEN RECREATION ROOM OR SLEEPING ROOM OR AREA OF DWELLING UNITS.
 * OCCUR AT DROP GLASS, SLOTTED & COVER GLASS.
 * FIREBUILT SPACES AT TOP & BOTTOM OF ROOF & BETWEEN STUDS ALONG AND IN LINE WITH THE STUDS.
 * OPENINGS ABOVE FLOORS, DOORS, VENTS AND CHIMNEYS FROM COMBUSTIBLE MATERIALS SHALL BE UNFACED FIRE-RATED INSULATION.
 * FIREBUILT SPACES AND CHIMNEY CHASIS FOR FACTORY BUILT CHIMNEYS.

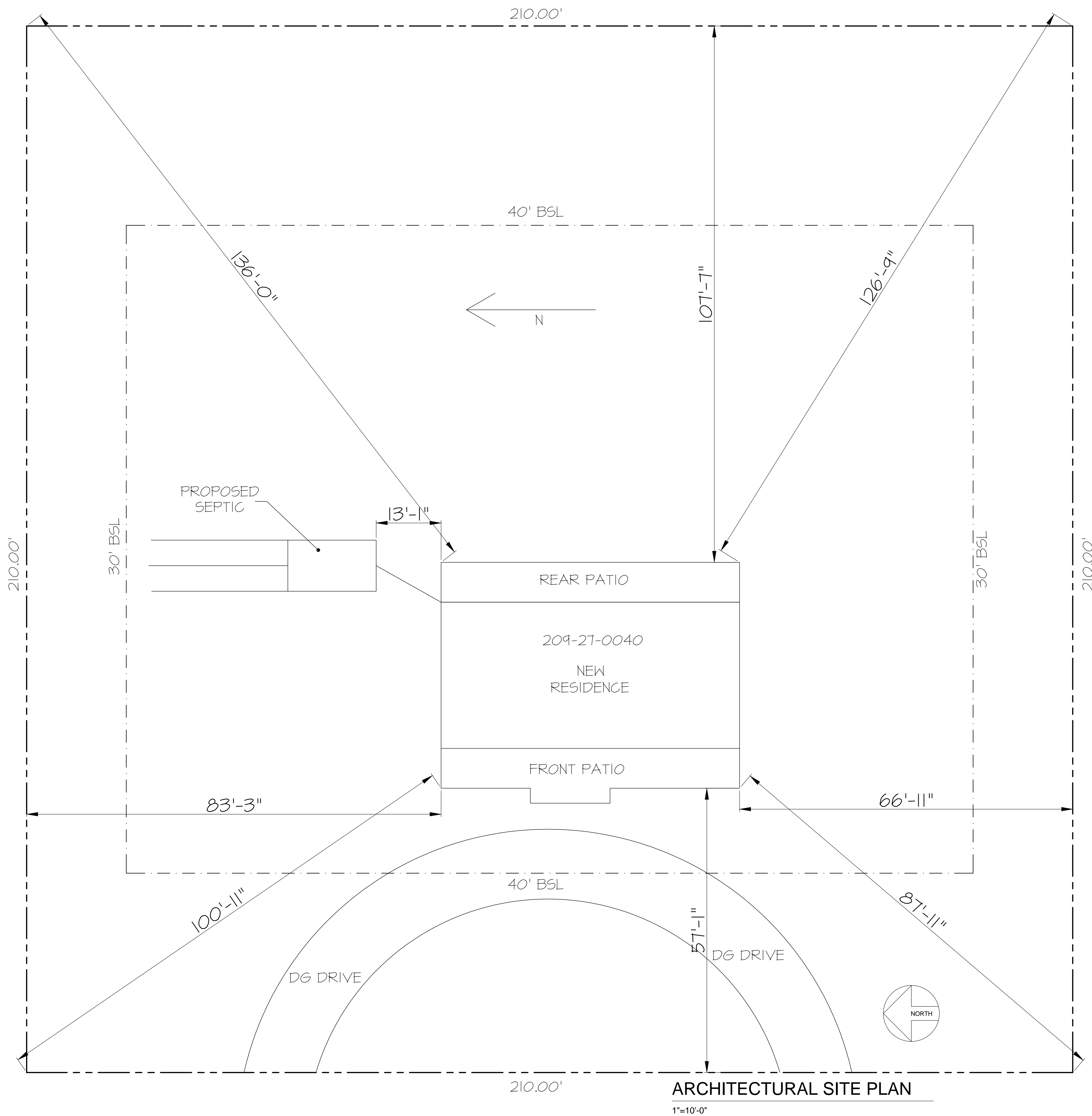
LOCATION ON LOT, GRADING AND DRAINAGE
 * EAVES SHALL BE A MINIMUM OF 60" FROM PROPERTY LINE.
 * FINISH GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" TO APPROVED WATER DISPOSAL AREA UNO.

OCCUPANCY SEPARATIONS BETWEEN GARAGE AND DWELLING
 * GARAGE WALLS TO HAVE A MIN OF 5/8" TYPE 'X' GYPSUM BOARD 4 CEILING SHALL BE 2 LAYERS WHEN TRUSSES EXCEED 2' 0" G.C. PER BUILDING CODE REQUIREMENTS.
 * GARAGE FLOOR SHALL BE CONCRETE OR 3/8" SOLIDWOOD DOORS MINIMUM - PER BUILDING CODE REQUIREMENTS.

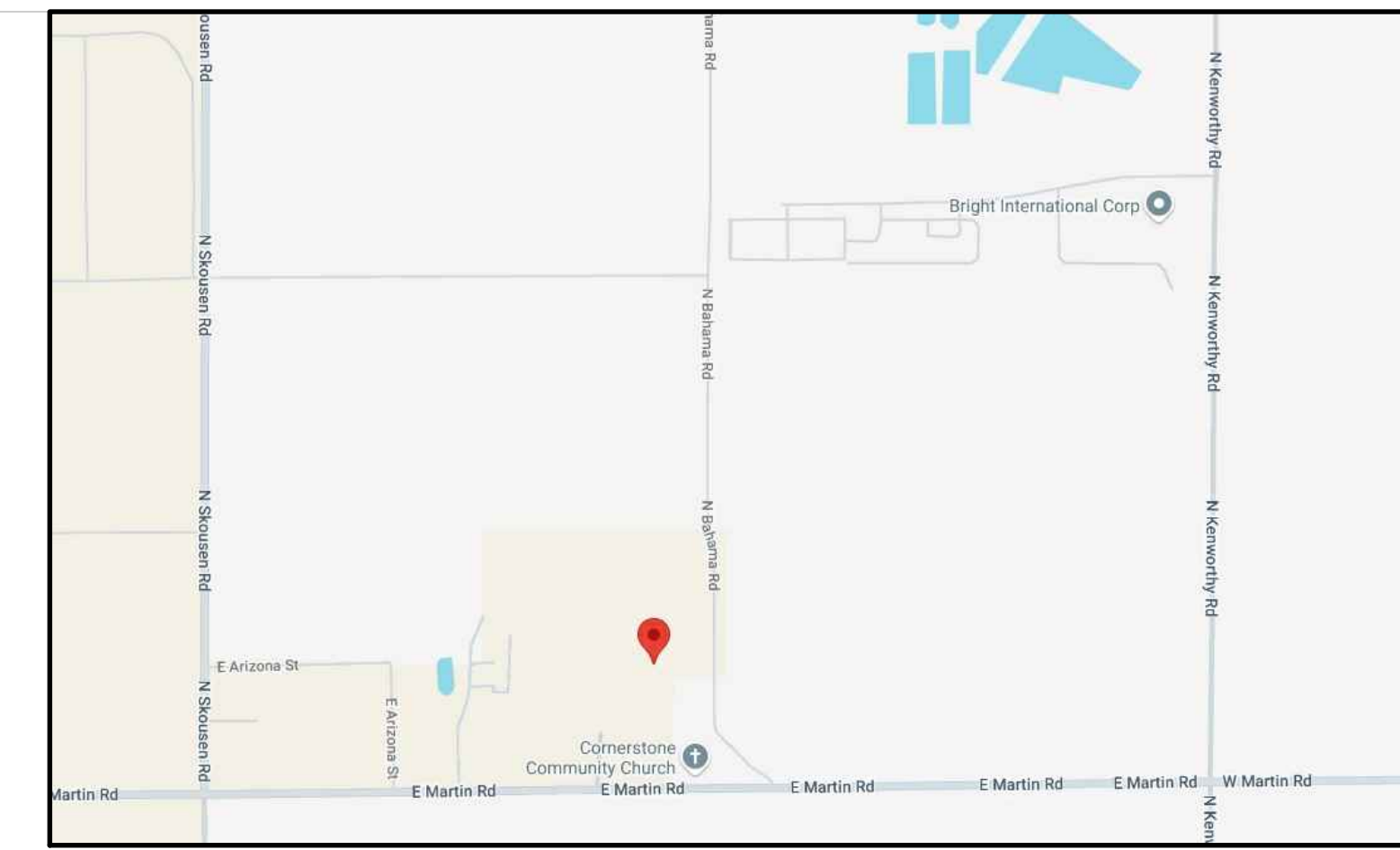
WATER RESISTANT APPLICATIONS
 * WALLS COMMON TO HAZARDOUS AREAS SHALL BE FINISHED WITH WATER RESISTANT GYF, BOARD AND SHEWER AND TIES WITH CERAMIC TILE OR EQUAL TO A MIN 1/2" ABOVE DRAIN.
 * EXTERIOR GATED GYF BD IS REQUIRED ON ALL WEATHER EXPOSED SURFACES. (PATIOS, PORCHES, CARPORTS, ETC. IF INSTALLED)

FIREPLACES
 * FIREPLACE CHIMNEY SHALL TERMINATE A MIN. OF 2'-0" ABOVE THE ROOF W/ 1/2" OF MEASURED HORIZ. CLEARANCE FROM NEAREST NEIGHBORING DWELLING. FIREPROOFING SHALL COMPLY WITH THE BUILDING CODE. PROVIDE A COPY OF MFR. INSTALLATION INSTRUCTIONS & AN IBC/INTL. REF. TO THE INSPECTOR.
 * FIREPLACES SHALL BE FINISHED WITH THE FOLLOWING TO MEET POLLUTION CONTROL REQUIREMENTS:
 1. PERMANENTLY INSTALLED GAS OR ELECTRIC.
 2. LOCALLY CONTROLLED BY EPA CONFORMING TO FEDERAL REGULATIONS PART 60.
 3. NOT BE SUBJECT TO MEET FEDERAL REGULATIONS PART 60.
 4. APPROVED BY MARICOPA COUNTY AIR POLLUTION CONTROL OFFICER TO MEET FEDERAL REGULATIONS PART 60.
 5. PERMANENTLY INSTALLED HOOD SYSTEM MEETING FEDERAL REGULATIONS PART 60.
 * ALL FIREPLACES, KIDDIEPOOLS AND OTHER SOLID BURNING DEVICES WHEN INSTALLED ARE REQUIRED BY CITY OF MESA ORDINANCE NO. 4244 + 4008 TO COMPLY WITH EMISSIONS STANDARDS FOR SOLID FUEL-BURNING APPLIANCES.

MATERIALS
 * CONCRETE, REINFORCING STEEL, CUM BRICK, PORTLAND CEMENT, LUMBER, SCHEDULE 40, GRADE FOR JOISTS, RAFTERS, POISTS, TRUSSES, 4 BEAMS, 4x8, 4x10, 4x12, 4x14, 4x16, 4x18, 4x20, 4x22, 4x24, 4x26, 4x28, 4x30, 4x32, 4x34, 4x36, 4x38, 4x40, 4x42, 4x44, 4x46, 4x48, 4x50, 4x52, 4x54, 4x56, 4x58, 4x60, 4x62, 4x64, 4x66, 4x68, 4x70, 4x72, 4x74, 4x76, 4x78, 4x80, 4x82, 4x84, 4x86, 4x88, 4x90, 4x92, 4x94, 4x96, 4x98, 4x100, 4x102, 4x104, 4x106, 4x108, 4x110, 4x112, 4x114, 4x116, 4x118, 4x120, 4x122, 4x124, 4x126, 4x128, 4x130, 4x132, 4x134, 4x136, 4x138, 4x140, 4x142, 4x144, 4x146, 4x148, 4x150, 4x152, 4x154, 4x156, 4x158, 4x160, 4x162, 4x164, 4x166, 4x168, 4x170, 4x172, 4x174, 4x176, 4x178, 4x180, 4x182, 4x184, 4x186, 4x188, 4x190, 4x192, 4x194, 4x196, 4x198, 4x200, 4x202, 4x204, 4x206, 4x208, 4x210, 4x212, 4x214, 4x216, 4x218, 4x220, 4x222, 4x224, 4x226, 4x228, 4x230, 4x232, 4x234, 4x236, 4x238, 4x240, 4x242, 4x244, 4x246, 4x248, 4x250, 4x252, 4x254, 4x256, 4x258, 4x260, 4x262, 4x264, 4x266, 4x268, 4x270, 4x272, 4x274, 4x276, 4x278, 4x280, 4x282, 4x284, 4x286, 4x288, 4x290, 4x292, 4x294, 4x296, 4x298, 4x300, 4x302, 4x304, 4x306, 4x308, 4x310, 4x312, 4x314, 4x316, 4x318, 4x320, 4x322, 4x324, 4x326, 4x328, 4x330, 4x332, 4x334, 4x336, 4x338, 4x340, 4x342, 4x344, 4x346, 4x348, 4x350, 4x352, 4x354, 4x356, 4x358, 4x360, 4x362, 4x364, 4x366, 4x368, 4x370, 4x372, 4x374, 4x376, 4x378, 4x380, 4x382, 4x384, 4x386, 4x388, 4x390, 4x392, 4x394, 4x396, 4x398, 4x400, 4x402, 4x404, 4x406, 4x408, 4x410, 4x412, 4x414, 4x416, 4x418, 4x420, 4x422, 4x424, 4x426, 4x428, 4x430, 4x432, 4x434, 4x436, 4x438, 4x440, 4x442, 4x444, 4x446, 4x448, 4x450, 4x452, 4x454, 4x456, 4x458, 4x460, 4x462, 4x464, 4x466, 4x468, 4x470, 4x472, 4x474, 4x476, 4x478, 4x480, 4x482, 4x484, 4x486, 4x488, 4x490, 4x492, 4x494, 4x496, 4x498, 4x500, 4x502, 4x504, 4x506, 4x508, 4x510, 4x512, 4x514, 4x516, 4x518, 4x520, 4x522, 4x524, 4x526, 4x528, 4x530, 4x532, 4x534, 4x536, 4x538, 4x540, 4x542, 4x544, 4x546, 4x548, 4x550, 4x552, 4x554, 4x556, 4x558, 4x560, 4x562, 4x564, 4x566, 4x568, 4x570, 4x572, 4x574, 4x576, 4x578, 4x580, 4x582, 4x584, 4x586, 4x588, 4x590, 4x592, 4x594, 4x596, 4x598, 4x600, 4x602, 4x604, 4x606, 4x608, 4x610, 4x612, 4x614, 4x616, 4x618, 4x620, 4x622, 4x624, 4x626, 4x628, 4x630, 4x632, 4x634, 4x636, 4x638, 4x640, 4x642, 4x644, 4x646, 4x648, 4x650, 4x652, 4x654, 4x656, 4x658, 4x660, 4x662, 4x664, 4x666, 4x668, 4x670, 4x672, 4x674, 4x676, 4x678, 4x680, 4x682, 4x684, 4x686, 4x688, 4x690, 4x692, 4x694, 4x696, 4x698, 4x700, 4x702, 4x704, 4x706, 4x708, 4x710, 4x712, 4x714, 4x716, 4x718, 4x720, 4x722, 4x724, 4x726, 4x728, 4x730, 4x732, 4x734, 4x736, 4x738, 4x740, 4x742, 4x744, 4x746, 4x748, 4x750, 4x752, 4x754, 4x756, 4x758, 4x760, 4x762, 4x764, 4x766, 4x768, 4x770, 4x772, 4x774, 4x776, 4x778, 4x780, 4x782, 4x784, 4x786, 4x788, 4x790, 4x792, 4x794, 4x796, 4x798, 4x800, 4x802, 4x804, 4x806, 4x808, 4x810, 4x812, 4x814, 4x816, 4x818, 4x820, 4x822, 4x824, 4x826, 4x828, 4x830, 4x832, 4x834, 4x836, 4x838, 4x840, 4x842, 4x844, 4x846, 4x848, 4x850, 4x852, 4x854, 4x856, 4x858, 4x860, 4x862, 4x864, 4x866, 4x868, 4x870, 4x872, 4x874, 4x876, 4x878, 4x880, 4x882, 4x884, 4x886, 4x888, 4x890, 4x892, 4x894, 4x896, 4x898, 4x900, 4x902, 4x904, 4x906, 4x908, 4x910, 4x912, 4x914, 4x916, 4x918, 4x920, 4x922, 4x924, 4x926, 4x928, 4x930, 4x932, 4x934, 4x936, 4x938, 4x940, 4x942, 4x944, 4x946, 4x948, 4x950, 4x952, 4x954, 4x956, 4x958, 4x960, 4x962, 4x964, 4x966, 4x968, 4x970, 4x972, 4x974, 4x976, 4x978, 4x980, 4x982, 4x984, 4x986, 4x988, 4x990, 4x992, 4x994, 4x996, 4x998, 4x1000, 4x1002, 4x1004, 4x1006, 4x1008, 4x1010, 4x1012, 4x1014, 4x1016, 4x1018, 4x1020, 4x1022, 4x1024, 4x1026, 4x1028, 4x1030, 4x1032, 4x1034, 4x1036, 4x1038, 4x1040, 4x1042, 4x1044, 4x1046, 4x1048, 4x1050, 4x1052, 4x1054, 4x1056, 4x1058, 4x1060, 4x1062, 4x1064, 4x1066, 4x1068, 4x1070, 4x1072, 4x1074, 4x1076, 4x1078, 4x1080, 4x1082, 4x1084, 4x1086, 4x1088, 4x1090, 4x1092, 4x1094, 4x1096, 4x1098, 4x1100, 4x1102, 4x1104, 4x1106, 4x1108, 4x1110, 4x1112, 4x1114, 4x1116, 4x1118, 4x1120, 4x1122, 4x1124, 4x1126, 4x1128, 4x1130, 4x1132, 4x1134, 4x1136, 4x1138, 4x1140, 4x1142, 4x1144, 4x1146, 4x1148, 4x1150, 4x1152, 4x1154, 4x1156, 4x1158, 4x1160, 4x1162, 4x1164, 4x1166, 4x1168, 4x1170, 4x1172, 4x1174, 4x1176, 4x1178, 4x1180, 4x1182, 4x1184, 4x1186, 4x1188, 4x1190, 4x1192, 4x1194, 4x1196, 4x1198, 4x1200, 4x1202, 4x1204, 4x1206, 4x1208, 4x1210, 4x1212, 4x1214, 4x1216, 4x1218, 4x1220, 4x1222, 4x1224, 4x1226, 4x1228, 4x1230, 4x1232, 4x1234, 4x1236, 4x1238, 4x1240, 4x1242, 4x1244, 4x1246, 4x1248, 4x1250, 4x1252, 4x1254, 4x1256, 4x1258, 4x1260, 4x1262, 4x1264, 4x1266, 4x1268, 4x1270, 4x1272, 4x1274, 4x1276, 4x1278, 4x1280, 4x1282, 4x1284, 4x1286, 4x1288, 4x1290, 4x1292, 4x1294, 4x1296, 4x1298, 4x1300, 4x1302, 4x1304, 4x1306, 4x1308, 4x1310, 4x1312, 4x1314, 4x1316, 4x1318, 4x1320, 4x1322, 4x1324, 4x1326, 4x1328, 4x1330, 4x1332, 4x1334, 4x1336, 4x1338, 4x1340, 4x1342, 4x1344, 4x1346, 4x1348, 4x1350, 4x1352, 4x1354, 4x1356, 4x1358, 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ARCHITECTURAL SITE PLAN
1"=10'-0"



AREA CALCULATIONS

LIVABLE AREAS	
MAIN LIVABLE	1,757 S.F.
COVERED AREAS	
COVERED ENTRY	527 S.F.
REAR COVERED PATIOS	474 S.F.
TOTAL LIVABLE	1,757 S.F.
TOTAL COVERED AREAS	1,006 S.F.
TOTAL AREA	2,763 S.F.
SITE DATA:	
A.P.N. #	204-27-0040
ZONING	GR
LOT SIZE	43,995 S.F.
ACTUAL ROOF AREA (6.2%)	2,163 S.F.



GENERAL INFORMATION

1. CONTRACTOR MUST CHECK THE BUILDING SETBACK LINES AND THE BUILDING FOOTPRINT BEFORE DIGGING OR FRAMING FOR ANY CONCRETE WORK. NOTIFY THE DESIGNER IMMEDIATELY IF THERE IS ANY POSSIBILITY OF ENCROACHMENT.
2. ALL CONCRETE DRIVES AND SIDEWALKS ARE TO BE FREE FORMED IN THE FIELD AND APPROVED BY THE HOME OWNER.
3. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES.
4. ALL MECHANICAL/POOL EQUIPMENT TO BE PLACED BEHIND SOLID MASONRY WALL AT LEAST 12" ABOVE EQUIPMENT.
5. ALL SCREEN/LANDSCAPE/MECHANICAL/RETAINING WALLS TO BE STUCCOED AND/OR FINISHED TO MATCH HOUSE AND BE A MAX OF 48" ABOVE ADJACENT FINISHED GRADE.
6. ALL SCREEN/LANDSCAPE WALLS TO BE A MAX OF 48" ABOVE ADJACENT FINISHED GRADE.
7. DISTURBED AREAS ARE TO BE RESTORED AND REVEGETATED WITH NATIVE PLANTS AND HYDRO-SEEDED TO REFLECT NATURAL DESERT AND AN UNDISTURBED STATE AFTER CONSTRUCTION HAS TAKEN PLACE.
8. APPROVED NUMBERS OR ADDRESSES ARE TO BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (IRC SECTION R321)
9. ALL PROPOSED LANDSCAPING TO COMPLY WITH EXISTING VISTA DEL CORAZON DESIGN GUIDELINES.

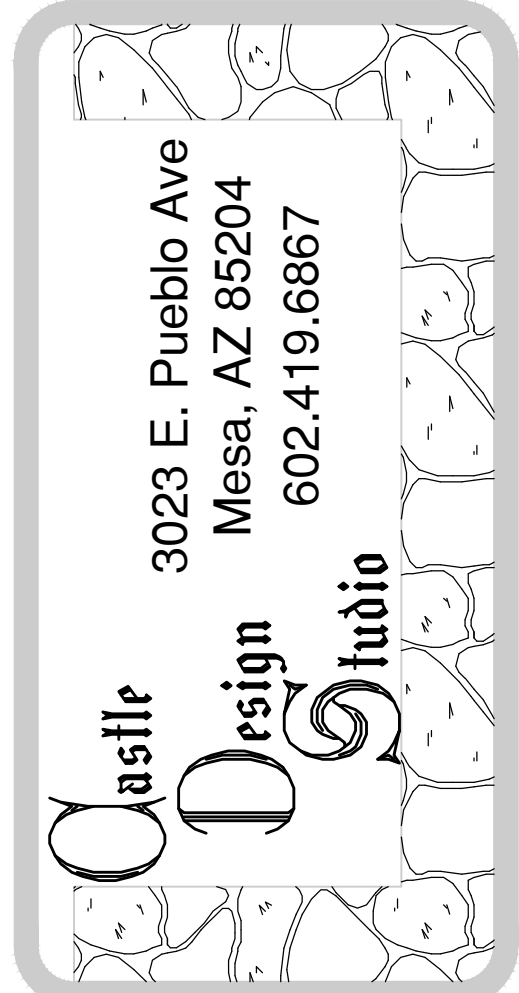
NOISE ATTENUATION

- *APPLIES TO HOMES LOCATED WITHIN 5 MILES OF AN AIRPORT AND 1/2 MILE FROM A FREEWAY*
1. PROVIDE EXTERIOR WALL INSULATION EQUAL TO A VALUE OF R-11 WHERE ADJACENT TO LIVING AREAS
 2. PROVIDE CEILING INSULATION EQUAL TO A VALUE OF R-19 OVER LIVABLE AREAS.
 3. ALL EXTERIOR DOORS EXITING FROM LIVABLE AREAS SHALL BE SOLID CORE OR INSULATED, WITH WEATHER TIGHT GASKETS AND THRESHOLDS, OR GASKETED GLASS.
 4. ALL EXTERIOR WINDOWS ADJACENT TO LIVABLE AREAS SHALL BE DOUBLE GLAZED (DUAL PANE).
 5. ALL SOLE PLATES OF EXTERIOR WALLS ADJACENT TO LIVABLE AREAS SHALL BE CAULKED OR SEALED AT THE FLOOR LINE.



8921 N. Bahama Rd
Coolidge, AZ 85128

Honea Res.
APN - 209-27-0040



DATE: 7/1/2024

DRAWN BY: CDS

PLAN CHECK NO:

SHEET NO.:

SP

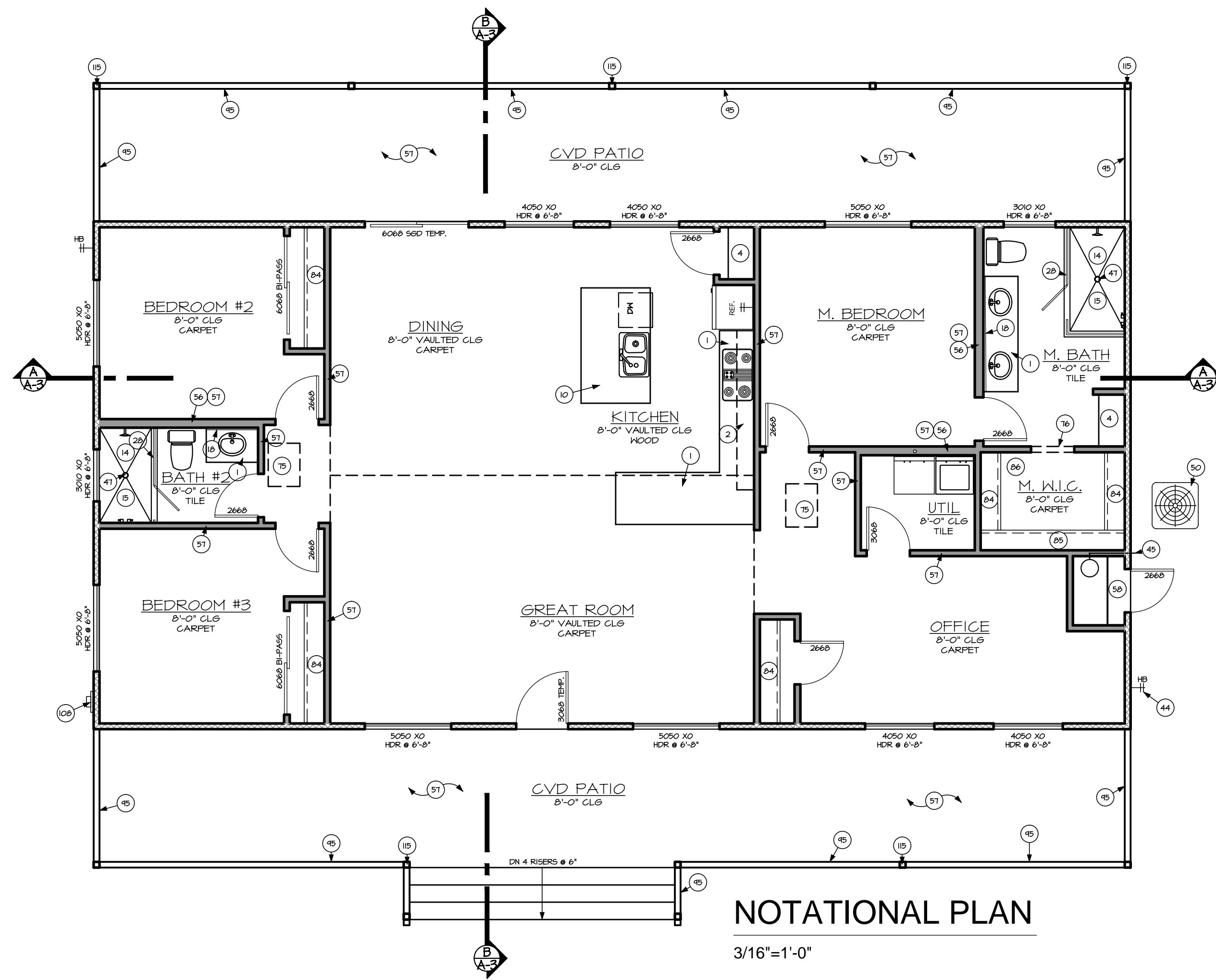
JOB NO.: Honea

FOR ALL GENERAL NOTES
SEE SHEET CS

FLOOR PLAN KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION * ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION	No.	DESCRIPTION
1	BASE CABINET W/COUNTERTOP - (PER SPECS.)	59	NICHE: SILL 14" DEEP 24" HIGH
2	UPPER CABINETS - (PER SPECS.)	60	NICHE: SILL @ 3'-0"; TOP @ 4'-0"
3	BREAKFAST BAR W/COUNTERTOP - (PER SPECS.) HEIGHT PER PLAN	61	FLAT ARCHED NICHE, TOP @ 8'-0"; LEGS @ 2'-0"; SILL @ 3'-0"
4	PANTRY: 5 ADJUSTABLE SHELVES EVENLY SPACED (PER SPECS.)	62	FLAT ARCHED NICHE, TOP @ 4'-0"; LEGS @ 8'-0"; SILL @ 3'-0"
5	APPLIANCE GARAGE	63	FLAT ARCHED NICHE, TOP @ 4'-0"; LEGS @ 2'-0"; SILL @ 3'-0"
6	BUILT-IN WOVEN - (PER SPECS.)	64	FLAT ARCH. TOP @ 8'-0"; LEGS @ 1'-0"
7	BUILT-IN WINE CAPTAIN - (PER SPECS.)	65	FLAT ARCH. TOP @ 4'-0"; LEGS @ 2'-0"
8	OPEN SHELVES (PER SPECS.)	66	FLAT ARCH. TOP @ 4'-0"; LEGS @ 2'-0"
9	FUTURE KITCHENETTE - PROVIDE PLUMBING & ELECTRICAL FOR APPLIANCE	67	FLAT ARCH. TOP @ 10'-0"; LEGS @ 4'-0"
10	KITCHEN ISLAND W/COUNTERTOP - (PER SPECS.) HEIGHT PER PLAN	68	FULL ARCH TOP @ 8'-0"
11	WET BAR W/COUNTERTOP - (PER SPECS.) HEIGHT PER PLAN	69	FULL ARCH TOP @ 4'-0"
12	CORBELS W/ BACKING, SEE DETAIL ON THIS SHEET	70	SOFFIT @ 8'-0" A.F.F.
13	MAKE-UP/VANITY HEIGHT PER PLAN (PER SPECS.)	71	SOFFIT @ 9'-0" A.F.F.
14	CEMENT FIBER BD. O/ WALLS	72	SOFFIT @ 11'-0" A.F.F.
15	TUB & WALL COVERS - (PER SPECS.) OR WALLS W/ TILE TO MIN. 12"	73	22"x30" ATTIC ACCESS (PER SPECS.) *EXACT LOCATION - DESIGN TRUSSES ACCORDINGLY, REFER TO DETAIL ON SHEET A-6 FOR MORE INFORMATION.
16	LETTED SPA TUB - (PER SPECS.) W/ ELECTRIC DISCONNECT.	74	ACRALIGHT SKYLIGHT MODEL # 2246 A-S-GM (ICG #R3R-2415) OR SIMILAR.
17	ACCESS PANEL FOR MOTOR & HEATER @ TUB UNDER COUNTER	75	STORAGE CLOSET - (PER SPECS.)
18	RECESSED MEDICINE CABINET (PER SPECS.)	76	EXTERIOR SOFFIT - SEE ELEV. FOR MORE INFORMATION
19	48" MIRROR, ENTIRE LENGTH (UNO) OF VANITY @ 3" ABOVE BACK SPLASH	77	BUILT-IN DESK - PER OWNER
20	LINEN & 5 ADJUSTABLE SHELVES EVENLY SPACED (PER SPECS.)	78	5 SHELVES EVENLY SPACED.
21	RECESSED SHOWER ACCESSORIES NICHE (PER SPECS.)	79	1 ROD, 1 SHELF
22	FACE FRAMED CLOSET DOOR (PER SPECS.)	80	2 RODS, 2 SHELVES
23	RAISED PLATFORM FOR TUB, FINISH PER SPECS. HEIGHT PER PLAN	81	CLOSET SHELVES BY CLOSET SUBCONTRACTOR AND SPECS.
24	FRAMED SHOWER SEAT @ 124" A.F.F., FINISH MATERIAL (PER SPECS.)	82	HEAT-INSUL. PASS THROUGH GAS F.P. 2007Y-02AK BUILT TO ANSI 2150-2002, CGA 2.2 STANDARDS, PER MANUF. SPEC. OR APPROVED EQUAL. DAMPER SHALL COMPLY WITH 624531. PROVIDE OUTSIDE AIR FOR INTERIOR FIREPLACES, PROVIDE PERMANENTLY INSTALLED GAS LOG SET.
25	CULTURED MARBLE SHELF AT 6" ABOVE TOP OF TUB	83	SHOE SHELF 12" DEEP 18" O.G.
26	STORAGE FOR BATHROOM APPLIANCES, PER OWNERS SPECS.	84	SLOPE 1/4" PER 12"
27	FULL HEIGHT MIRROR (PER SPECS.)	85	SLOPE 1/8" PER 12"
28	TEMPERED GLASS DOOR ENCLOSURE ON 2" CURB (PER SPECS.)	86	SLOPE 2" OVERALL
29	3/4" THICK SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING & SELF-LATCHING	87	GUARDS TO BE 36" MIN. HEIGHT ABOVE WALKING SURFACE (PER CODE REQUIREMENTS). RAILS SHOULD BE SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH ANY OPENING. SEE ELEVATIONS FOR MORE INFO.
30	ACTIVE DOOR	88	DECORATIVE HROUGHT IRON FRONT ENTRY DOOR (PER SPECS.) SEE ELEV. FOR MORE INFO.
31	LOUVERED MECH. DOORS	89	100 GAL PROPANE TANK
32	PET DOOR (PER SPECS.)	90	HIGH AND LOW COMBUSTION & RELIEF GRILLES (4"x8"), TO BE LOCATED 12" FROM FLR. & CLG. W/ GAS APPL.
33	DECORATIVE HROUGHT IRON AND/OR WOOD GATE - SEE ELEVATIONS	91	GAS ENTRANCE. SEE GENERAL NOTES
34	FACE FRAME CABINET DOORS, VERIFY SIZE AND LOCATION WITH OWNER.	92	PROVIDE 100 SO. IN. COMBUSTION AIR FOR GAS DRYER
35	DECORATIVE HROUGHT IRON FRONT ENTRY DOOR (PER SPECS.) SEE ELEV. FOR MORE INFO.	93	PLUMB FOR POT FILLER FAUCET
36	100 GAL PROPANE TANK	94	PLUMB TO SOFT WATER LOOP
37	HIGH AND LOW COMBUSTION & RELIEF GRILLES (4"x8"), TO BE LOCATED 12" FROM FLR. & CLG. W/ GAS APPL.	95	OVERHEAD SHOWER FIXTURES/LETS. (PER OWNER & SPECIFICATIONS)
38	GAS ENTRANCE. SEE GENERAL NOTES	96	FRAMED PLATFORM RAISED 18" MIN. ABOVE FINISH FLOOR WITH DRAIN PAN AND DRAIN LINE (P28015 & P28015-2)
39	PROVIDE 100 SO. IN. COMBUSTION AIR FOR GAS DRYER	97	BUILDING WATER MAIN SHUT-OFF VALVE LOCATION
40	PLUMB FOR POT FILLER FAUCET	98	TEMPERATURE AND PRESSURE RELIEF MIN. 6" ABOVE GRADE AND 36" AWAY FROM OPERATING (P28025.6)
41	PLUMB TO SOFT WATER LOOP	99	STUB OUT FOR FUTURE WATER FEATURE
42	OVERHEAD SHOWER FIXTURES/LETS. (PER OWNER & SPECIFICATIONS)	100	RECESS SLAB "I" AND PROVIDE DRAIN
43	FRAMED PLATFORM RAISED 18" MIN. ABOVE FINISH FLOOR WITH DRAIN PAN AND DRAIN LINE (P28015 & P28015-2)	101	MECHANICAL CHASE
44	BUILDING WATER MAIN SHUT-OFF VALVE LOCATION	102	AIR HANDLER UNIT - SEE MECH. PLAN FOR MORE INFO. NOTE TO TRUSS MANUFACTURER, PROVIDE FOR MECHANICAL CHASE IN TRUSS DESIGN
45	TEMPERATURE AND PRESSURE RELIEF MIN. 6" ABOVE GRADE AND 36" AWAY FROM OPERATING (P28025.6)	103	A/C CONDENSING UNIT - SEE MECH. PLAN FOR MORE INFO. HOLD 6" AWAY FROM HOUSE.
46	STUB OUT FOR FUTURE WATER FEATURE	104	91" CAM/STICOED SCREEN WALL MIN. 12" ABOVE MECH. EQUIP.
47	RECESS SLAB "I" AND PROVIDE DRAIN	105	PROVIDE CONCENTRIC VENTING
48	MECHANICAL CHASE	106	2x6 WALL
49	AIR HANDLER UNIT - SEE MECH. PLAN FOR MORE INFO. NOTE TO TRUSS MANUFACTURER, PROVIDE FOR MECHANICAL CHASE IN TRUSS DESIGN	107	SOLID FILL SOUND INSULATED HALL (PER SPECS.)
50	A/C CONDENSING UNIT - SEE MECH. PLAN FOR MORE INFO. HOLD 6" AWAY FROM HOUSE.	108	LOW WALL, SEE PLAN FOR HEIGHT
51	91" CAM/STICOED SCREEN WALL MIN. 12" ABOVE MECH. EQUIP.	109	EXTERIOR LOW WALL - PAINT TO MATCH EXTERIOR OF HOUSE - SEE ELEVATIONS FOR MORE INFORMATION.
52	PROVIDE CONCENTRIC VENTING	110	SLOPED WALL @ 142" ABOVE NOSING OF TREAD.
53	2x6 WALL	111	1/2" GOLD BOND EXTERIOR SOFFIT BOARD (ICG #R-1338) OR APPROVED EQUAL.
54	SOLID FILL SOUND INSULATED HALL (PER SPECS.)	112	4x4x8" STEEL POST
55	LOW WALL, SEE PLAN FOR HEIGHT	113	4x4x8" STEEL POST
56	EXTERIOR LOW WALL - PAINT TO MATCH EXTERIOR OF HOUSE - SEE ELEVATIONS FOR MORE INFORMATION.	114	RANGE HOOD - VENT TO EXTERIOR
57	SLOPED WALL @ 142" ABOVE NOSING OF TREAD.	115	WALK DECK SURFACE BY POLYCOAT PRODUCTS PER I.C.B.O. FERTILIZER AND SPECIFICATIONS - OR APPROVED EQUAL.
58	1/2" GOLD BOND EXTERIOR SOFFIT BOARD (ICG #R-1338) OR APPROVED EQUAL.	116	
59	4x4x8" STEEL POST		
60	4x4x8" STEEL POST		
61	RANGE HOOD - VENT TO EXTERIOR		
62	WALK DECK SURFACE BY POLYCOAT PRODUCTS PER I.C.B.O. FERTILIZER AND SPECIFICATIONS - OR APPROVED EQUAL.		



NOTATIONAL PLAN

3/16"=1'-0"

NOTE:

SHEAR - ALL EXTERIOR WALLS SHALL BE FRAPPED W/ 3/8" O.S.B. W/ 2x4 @ 6" O.C. @ EDGES & 2x4 @ 12" O.C. @ FIELD. - SEE STRUCTURAL CALCULATIONS/DRAWINGS FOR SPECIFIC SHEAR WALL LOCATIONS AND DETAILS.

SHEAR - ALL INTERIOR WALLS SHALL BE GYPSUM BOARD (SHEATHING 1/2" (13mm) THICK OR 5/8" TYPE "X", BY 4 FEET (1219mm) WIDE, WALLBOARD OR VENEER BASED ON STUDS SPACED NOT OVER 24 INCHES (610mm) O.C. WITH NAILS AS REQUIRED BY IRC TABLE R702.3.5. (3-16d per sq ft). EACH BRACED WALL PANEL MUST BE AT LEAST 48 INCHES (1219mm) IN LENGTH WHEN APPLIED TO ONE FACE OF A BRACED WALL PANEL AND 48 INCHES (1219mm) WHEN APPLIED TO BOTH FACES.

NOTE TO FRAMING CONTRACTOR:

TRUSS MANUFACTURER TO PROVIDE MECHANICAL CHASE BUILT INTO ROOF/FLOOR TRUSS SYSTEM AT ALL AIR HANDLER LOCATIONS.

NOTE:

ALL NICHE ARE TO BE FIELD VERIFIED WITH GENERAL CONTRACTOR AND OWNER.

NOTE:

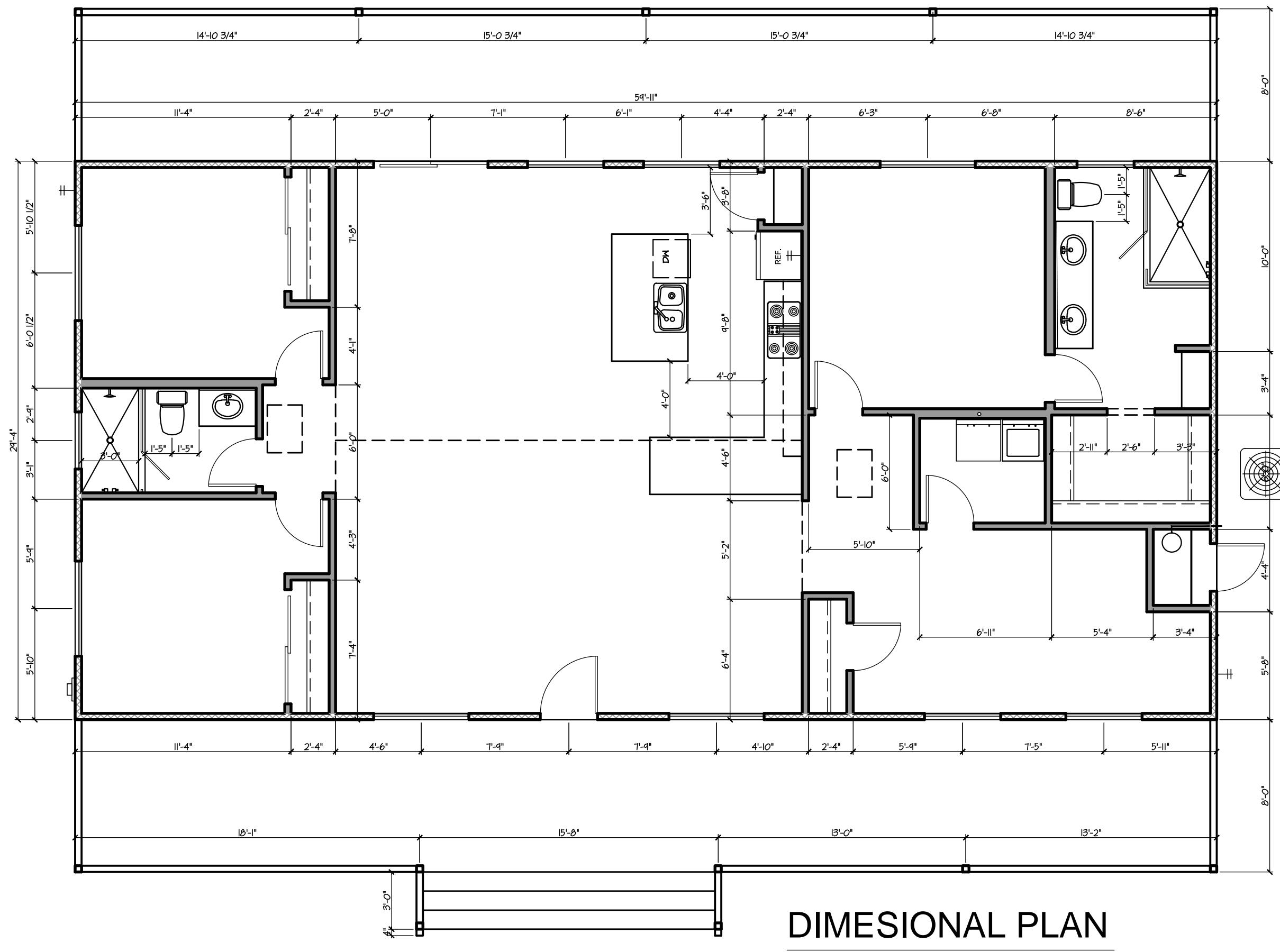
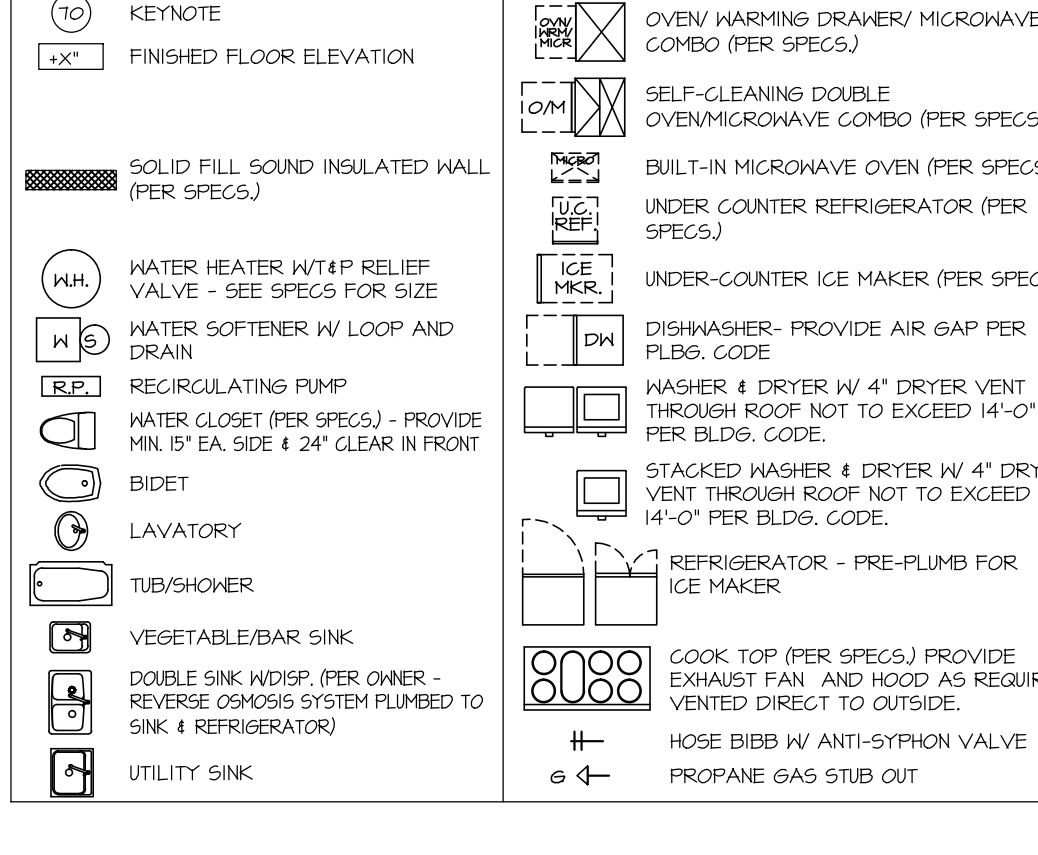
BACKWATER VALVE TO BE PROVIDED PER CURRENT BUILDING CODE REQUIREMENTS.

GENERAL INFORMATION

- WALL FRAMING - UNO. EXTERIOR BEARING WALLS - 2x6 @ 16" O.C. - UNO. INTERIOR BEARING WALLS - 2x4 @ 16" O.C. - UNO. INTERIOR NON-BEARING - 2x4 @ 24" O.C. - UNO.
- INSULATION - SPRAY FOAM INSULATION PER SPECS - FOAM IN ATTIC TO BE PREMIXED WITH FIRE RETARDANT, CCCR-101 1 1/2" THICK @ ROOF - UNO. - R-38. 6" THICK @ EXT. 2x6 WALLS - UNO. - R-19. 6" THICK @ WALLS BTH, GARAGE & RESIDENCE - R-13 WALLS & CEILING - TYP. SOUND INSULATED WALLS SHALL BE SOLID FILL - TYP. SOUND INSULATED WALLS SHALL BE SOLID FILL - TYP. SOUND INSULATED WALLS SHALL BE SOLID FILL - TYP.
- ALL INTERIOR AND DOOR HEADER HEIGHTS TO BE 8'-0" - UNO.
- SHOWER HEADS @ 78" A.F.F. UNO. SHOWER CONTROL VALVES @ 42" A.F.F. - UNO. STACK SHOWER CONTROL VALVES @ CURVED WALLS - UNO.
- PROVIDE PRESSURE BALANCE OR THERMO. MIXING TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBINATIONS.
- GLASS BLOCK TO COMPLY WITH BUILDING CODE.
- ALL BATH ACCESSORIES (TOWEL BARS, HOOKS ETC.) AND MOUNTING HEIGHTS TO BE DETERMINED BY OWNER
- PROVIDE BLOCKING IN WALLS AS NECESSARY TO SUPPORT ALL WALL MOUNTED FIXTURES.
- ALL MECH. EQUIPMENT SHALL BE SCREENED A MINIMUM OF 12" ABOVE THE HIGHEST POINT OF THE EQUIPMENT.
- ALL CEILING HEIGHTS INDICATED ARE FROM FINISHED FLOOR ELEVATION IN ADJACENT ROOM.
- ALL LOW/PONY/BANCO WALL HEIGHTS TO BE MEASURED FROM HIGHEST ADJACENT FINISH FLOOR.
- ALL INTERIOR AND EXTERIOR CORNERS TO HAVE 1 1/2" BULLNOSE EDGES UNLESS NOTED OTHERWISE
- ALL EXTERIOR DOORS EXTING FROM LIVABLE AREAS SHALL BE SOLID CORE OR INSULATED WITH WEATHER TIGHT GASKETS AND THRESHOLDS OR GASKETED GLASS.
- ALL EXTERIOR WINDOWS ADJACENT TO LIVABLE AREAS SHALL BE DUAL PANE.
- LOCATION OF GAS METER AND BUILDING WATER MAIN SHUT-OFF PER UTILITY COMPANIES.
- PROVIDE ROUGH GAS STUB FOR ALL STANDARD AND FUTURE GAS APPLIANCES PER GAS SCHEMATIC ON SHEET P1.2.
- ALL EQUIPMENT IN GARAGE SHALL HAVE ELECTRIC (OR GAS) IGNITION POINTS AT 18" ABOVE FINISH FLOOR AND SHALL BE PROTECTED FROM DAMAGE.
- XXIX WINDOW = TO HAVE ONE OPERABLE WINDOW TO BE 5.7 5/8" MIN. WITH MIN. CLEAR DIM. OF 20" WIDE x 24" HIGH AND DIGITS FROM UNITS THRU CEILING SHALL BE CONSTRUCTED OF STEEL (MINIMUM 26 GAUGE) WITH NO OPENINGS WITHIN GARAGE.
- NOISE ATTENUATION MEASURES ARE TO BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE HOUSE TO ACHIEVE A NOISE LEVEL REDUCTION OF 25dB. PROVIDE THE MINIMUM FOLLOWING REQUIREMENTS:
 - EXTERIOR WALLS - R-11 INSULATION
 - CEILING - R-11 INSULATION
 - EXTERIOR DOORS SHALL BE SOLID CORE WOOD OR INSULATED WITH GASKETS AND GASKETED GLASS
 - ALL WINDOWS SHALL BE DOUBLE GLAZE
 - SOLE PLATES OF EXTERIOR WALLS SHALL BE CAULKED OR SEALED AT THE FLOOR LINE.
- EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH IRC.
- PROVIDE AN APPROVED BARRIER BETWEEN FACTORY FIREPLACE BOXES AND CHIMNEYS, AND BUILDING INSULATION CLEARANCE SHALL BE MAINTAINED BETWEEN THE CHIMNEY AND COMBUSTIBLE BARRIERS AND BETWEEN THE FIREPLACE OPENING AND ANY COMBUSTIBLE MATERIAL OUTSIDE THE FIREBOX PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- ANY DOORS USED FOR BEDROOM EGRESS SHALL NOT BE KEYPED ON THE INTERIOR SIDE.

SYMBOL LEGEND

* SEE SPECIFICATION FOR MORE INFORMATION - ALL ITEMS MAY NOT APPLY *



DIMENSIONAL PLAN

3/16"=1'-0"

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Honea Res.
APN - 209-27-0040

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Mesa, AZ 85204
602.419.6867

Castle Design Studio

DATE: 7/1/2024
DRAWN BY: CDS
PLAN CHECK NO:
SHEET NO.: A-1
JOB NO.: Honea

GENERAL ELECTRICAL NOTES

1. ALL KITCHEN COUNTER TOP RECEPTACLES TO BE @ +42" UNO. TO BOTTOM OF OUTLET.
2. ALL BATHROOM COUNTER TOP RECEPTACLES TO BE @ +42" UNO. TO BOTTOM OF OUTLET.
3. CEILING FANS OR LIGHTS INSTALLED UNDER COVERS MUST BE LISTED FOR DAMP LOCATIONS. ELEC. NOT UNDER COVER MUST BE LISTED FOR WET LOCATIONS ELEC. CODE REQUIREMENTS. FANS TO BE INSTALLED IN FAN RATED BOXES.
4. SUPPLY ONLY CAT 5 PHONE WIRES & RG-6 VIDEO CABLE. WIRES & CABLES TO BE HOME RUN TO A CENTRAL BOX.
5. SPOTLIGHTS AND FLOODLIGHTS ARE PROHIBITED.
6. ALL LIGHT FIXTURES WITH AN EXPOSED LIGHT SOURCE SHALL HAVE TRANSLUCENT GLASS.
7. ALL LIGHT FIXTURES WITH AN EXPOSED LIGHT SOURCE SHALL BE LIMITED TO A 25 WATT OR SMALLER BULB.
8. PLASTIC LOW VOLTAGE LANDSCAPE FIXTURES ARE NOT PERMITTED.
9. MUSHROOM TYPE PATH LIGHTING THAT DOES NOT HAVE A VISIBLE LIGHT SOURCE IS PERMITTED.
10. ALL UP LIGHTING OF LANDSCAPING AND ARCHITECTURAL FEATURES MUST BE SUBMITTED FOR APPROVAL. ALL UP LIGHTING FIXTURES MUST HAVE A PHOTO-EYE CUT OFF AND THE LIGHT SOURCE MUST NOT BE PERMITTED.
11. LOADS ARE BASED ON STANDARD TABLE VALUES. THE CONTRACTOR SHALL VERIFY ACTUAL LOADS FOR ALL EQUIPMENT AND DEVICES AND SHALL ADJUST CIRCUIT BREAKER SIZES AND CONDUCTOR SIZES AS NECESSARY TO MEET MANUFACTURER'S REQUIREMENTS.
12. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS, LIGHTING AND SMOKE DETECTORS INSTALLED IN DWELLING UNIT SHALL BE PROTECTED BY A COMBINATION TYPE OR BRANCH / FEEDER TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. (IRC SECTION E3902.16)
13. PRE-WIRE FOR HOME SECURITY SYSTEM - VERIFY ANY AND ALL LOCATIONS WITH OWNER.
14. PROVIDE ROUTER WITH FIRE WALL AT CABLE/DATA SOURCE JUNCTION BOX.
15. ALL ELECTRICAL OUTLETS TO BE INSTALLED PER ELECTRICAL CODE REQUIREMENTS.
16. ALL INCANDESCENT LIGHT FIXTURES WITHIN CLOSET SPACES NEED TO BE COMPLETELY ENCLOSED.
17. PRE-WIRE ALL ROOMS FOR INTERCOM SYSTEM - VERIFY ANY AND ALL LOCATIONS WITH OWNER.
18. PROVIDE CAT 5E PERFORMANCE AT ALL DATA OUTLETS. 6-LINE PER OUTLET CAPACITY.
19. PROVIDE CARBON MONOXIDE DETECTORS WITH GAS APPLIANCES AND OUTSIDE OF ALL SLEEPING AREAS PER IRC (R315)
20. BONDING FOR THE "JETTED" JACUZZI TO IS TO BE IN ACCORDANCE WITH IRC SECTION E4104.
21. PRE-WIRE FOR HOME THEATER SYSTEM - VERIFY ANY AND ALL LOCATIONS WITH OWNER.
22. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. LUMINAIRES SHALL BE CO-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 151 PSF (75 Pa) PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0 cfm (0.144 L/s) OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING PER (NIO2.4.5).
23. A MINIMUM OF 80% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 40 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS PER (NIO4.1).
24. PRE-WIRE FOR HOME THEATER SYSTEM - VERIFY ANY AND ALL LOCATIONS WITH OWNER.

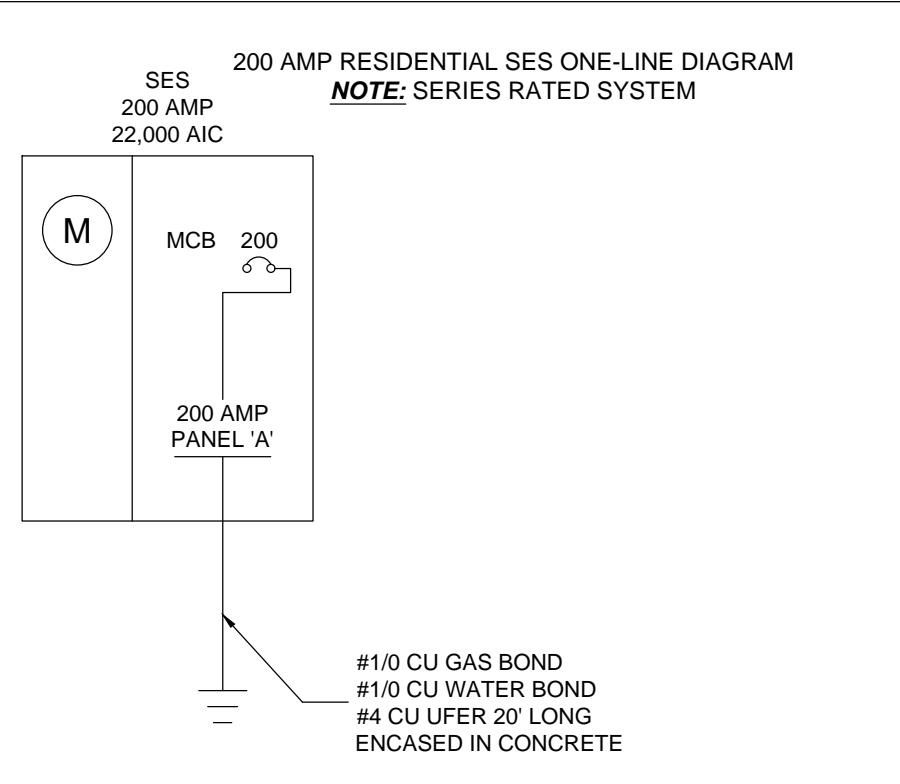
ELECTRICAL SYMBOLS

- RECESSED CAN LIGHT
- "VAPOR PROOF" LIGHT
- EXTERIOR RECESSED CAN LIGHT
- MINI RECESSED CAN LIGHT
- LED LIGHT BAR
- STD. WALL MOUNT LIGHT
- STD. PENDANT LIGHT
- CARRIAGE LIGHT
- SPOT LIGHT
- WALL MOUNTED RECESSED CLOSET LIGHT
- KICK LIGHT, MIN. 18" AFF.
- FLUORESCENT CHANNEL
- ROPE LIGHT - REFER TO DETAIL ON SHEET A1 FOR MORE INFORMATION.
- CEILING FAN W/ FAN RATED BOX
- JUNCTION BOX
- STD. SWITCH @ +48" UNO.
- 3 WAY SWITCH @ +48" UNO.
- 4 WAY SWITCH @ +48" UNO.
- DIMMER SWITCH
- JAM SWITCH
- PUSH BUTTON SWITCH
- STD. DUPLEX OUTLET @ 15" UNO.
- STD. DUPLEX OUTLET, I/2 SWITCHED
- STD. 220V OUTLET
- GROUND FAULT INTERRUPTER RECEPTACLE - TAMPER RESISTANT
- WATER PROOF GROUND FAULT INTERRUPTER RECEPTACLE - TAMPER RESISTANT
- ARC FAULT CIRCUIT INTERRUPTER RECEPTACLE - TAMPER RESISTANT
- ARC FAULT CIRCUIT INTERRUPTER RECEPTACLE - I/2 SWITCHED - TAMPER RESISTANT
- STD. FLOOR OUTLET
- LOW VOLTAGE OUTLET
- TELEVISION OUTLET
- TELEPHONE
- DATA LINE / NETWORK CABLE
- EXHAUST FAN, MIN. 5 AIR CHANGES PER HOUR, TO G.F.H. - UNO.
- FUSED MECHANICAL DISCONNECT SWITCH
- CHIMNEY
- KEY PAD
- G.P.D DETECTOR, INSTALL MIN. 36" AWAY FROM RETURN AIR - SHALL BE HARD WIRED, INTERCONNECTED W/ BATTERY BACK-UP POWER
- FLOOR LIGHTS

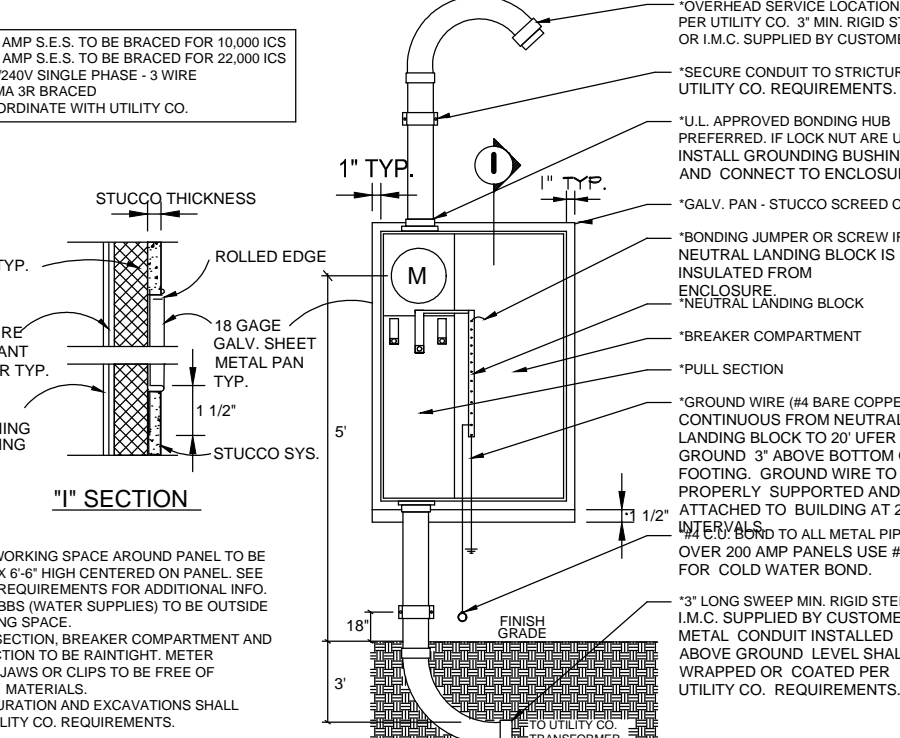
LOAD CALCULATIONS - ELECT. & GAS

OPTIONAL METHOD WHEN SERVICE ENTRANCE EXCEEDS 100 AMPS	
1. DWELLING AREA IN SQUARE FEET - 1151' X 3. HATTS PER 50 FT.	5271
2. KITCHEN APPLIANCE CIRCUITS (2 x 1500 EACH)	3000
3. MICROVAIVE (1 x 1500 EACH)	1500
4. GARAGE DISPOSAL DRAINWASHER (1 x 1500 EACH)	1500
5. LAUNDRY CIRCUIT (1 x 1500 EACH)	1500
6. BATHROOM RECEPTACLE CIRCUIT (2 x 1500)	3000
7. CLOTHES DRYER (1 x 3000 EACH)	3000
8. CLOTHES WASHER (1 x 500 EACH)	500
9. RANGE (1 x 6000 EACH)	6000
10. DOUBLE OVEN (2 x 6000 EACH)	0
11. WATER HEATER (1 x 1500 EACH)	1500
12. CAR CHARGER (2 x 1000 EACH)	0
13. VIND. (2 x 1500 EACH)	0
14. POOL EQUIPMENT SUB PANEL	1500
15. CHRISTMAS LIGHTS	1500
16. AIR HANDLERS (1 x 1500 EACH)	1500
17. COOLING UNITS ELA + 25% OF LARGER MOTOR 440-33 (1 x 1272 EACH)	1272
18.	0
19.	0
20.	0
21.	0
TOTAL AMPS	31271
EST. 12000 WATTS AT 100% REMAINDER AT 40% TOTAL - 10000 X .40	4000
ITEMS 16-20 - LOADS AT 100%	8712
TOTAL WATTS	21280
WATTS 27280 / 240 VOLTS =	113.67 AMPS
USE 400 AMP PANEL	

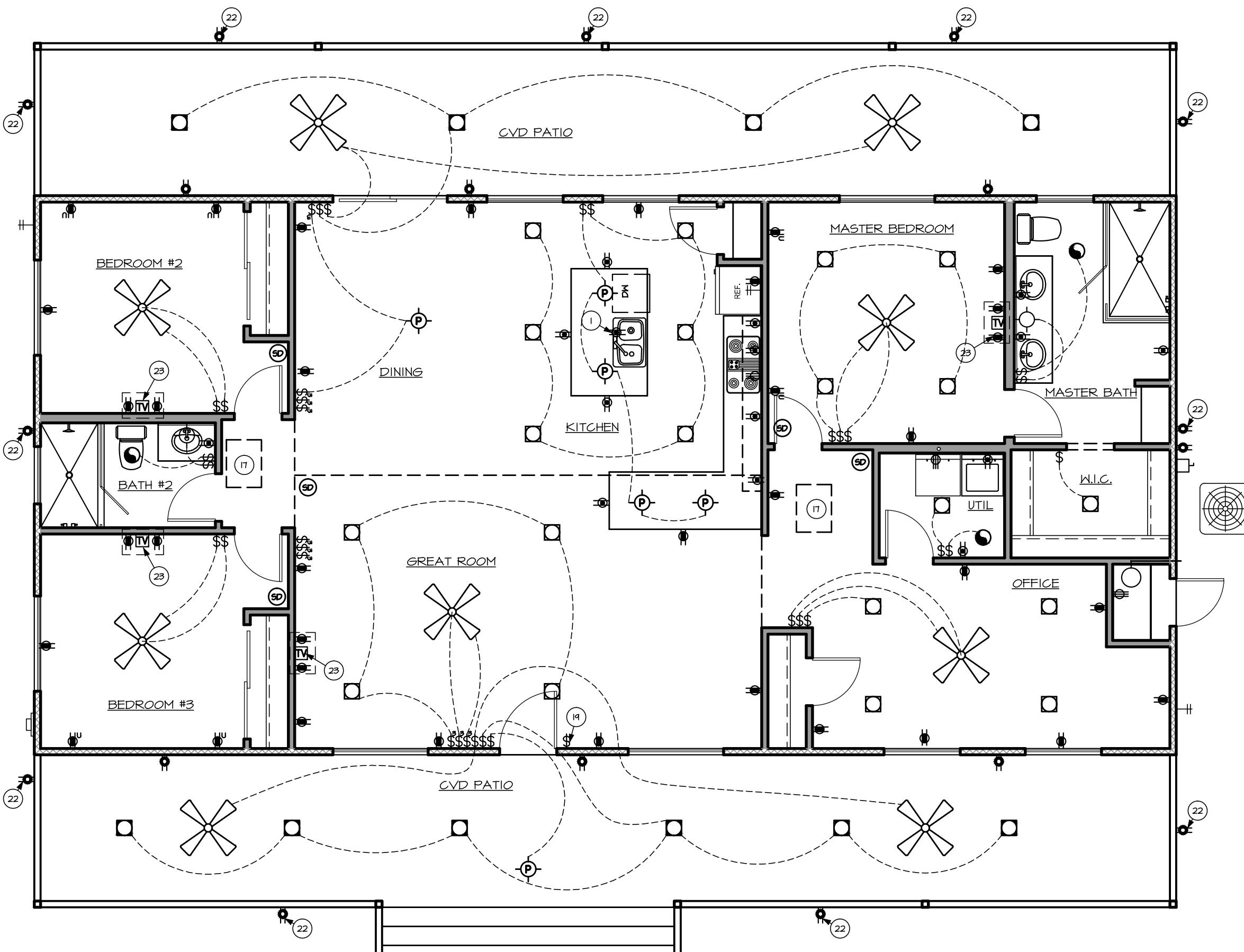
TYPICAL ONE-LINE DIAGRAM



SERVICE PANEL DIAGRAM



- SEE SPECIFICATION FOR MORE INFORMATION
- ALL KEYNOTES MAY NOT APPLY TO THIS SHEET
- 20 AMP CIRCUIT BREAKER OUTLET - 1 LEG SWITCHED & DISPOSAL 1 LEG NOT @ DISHWASHER
- CEILING OUTLET FOR AUTOMATIC GARAGE DOOR OPENER
- FORCED AIR UNIT WITH I/OV OUTLET & 220V OUTLET FOR ELEC. MECHANICAL UNIT WITH LARGER ELECTRICAL PANEL
- ELECTRICAL PANEL LOCATION PER UTILITY COMPANY REQUIREMENTS
- NATURAL GAS METER LOCATION PER UTILITY COMPANY REQUIREMENTS
- PRE-WIRE FOR MICROVAIVE PER SPECIFICATIONS
- GFCI OUTLET FOR JETTED TUB, VERIFY WITH OWNER PRIOR TO INSTALLATION
- ACCESS PANEL FOR JETTED TUB LOCATED BENEATH CABINETS, VERIFY WITH OWNER PRIOR TO INSTALLATION
- 100 AMP ELECTRICAL SUB PANEL
- SUPPLY 120V FLOOR OUTLETS WITH 1" CONDUIT, BOX SHALL BE LISTED FOR FLOOR INSTALLATION, VERIFY LOCATION W/ OWNER
- ELECTRICAL SERVICE TO ISLAND IN CONDUIT UNDER SLAB AS PER ELECTRICAL CODE REQUIREMENTS
- LOW VOLTAGE UNDER COUNTER / CABINET LIGHTING PER SPECIFICATIONS
- SUB PANEL FOR ALL CABLE/DATA LINES
- FLAT FRONT GFI MODULE WITH NO RECEPTACLES TO ALLOW TESTING PURPOSES
- 20 AMP OUTLET - UNDER/ABOVE COUNTER FOR EQUIPMENT (PER SPEC)
- ACCESS PANEL FOR GENERAL LIGHTING
- PROVIDE I/OV STD. DUPLEX OUTLET AND LIGHT WITH SWITCH AT ATTIC ACCESS LOCATION
- JUNCTION BOX FOR FUTURE POOL/BACKYARD EQUIP. RUN 2 - 3/4" CONDUITS TO HALL FOR FUTURE POOL EQUIPMENT (UNDERGROUND) STD. I/P 18" ABOVE SLAB & SECURE TO WALL
- SWITCH FOR GFCI OUTLETS LOCATED WITHIN THE EAVES
- JUNCTION BOX FOR LANDSCAPE LIGHTING
- PHOTOCELL LIGHT PER SPEC.
- PROVIDE I/OV WATER PROOF GFCI OUTLET LOCATED WITHIN EAVE
- 60" HIGH FOR HALL MOUNTED TV, VERIFY LOCATION W/ OWNER
- DEDICATED CIRCUIT FOR RV (VERIFY LOCATION W/ OWNER)
- BED SWITCHED OUTLET VERIFY LOCATION, VERIFY LOCATION W/ OWNER
- PROVIDE POWER FOR EQUIPMENT PER SPECS.
- DRAWER OUTLET IN CABINETS
- 20 AMP OUTLET - UNDER COUNTER
- CONTRACTOR TO VERIFY AND PROVIDE APPROPRIATE LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS PER (NIO4.1)
- PRE-WIRE FOR HOME THEATER SYSTEM - VERIFY ANY AND ALL LOCATIONS WITH OWNER



ELECTRICAL PLAN

3/16"=1'-0"

LEGEND

- UNDER ROOF INSULATION
- CRICKET

ATTIC VENT CALC'S

TOTAL UNDER ROOF AREA A SQ. FT.	REQ'D VENT SQ. FT. (1/300)
2,763 sq	9.21 sq

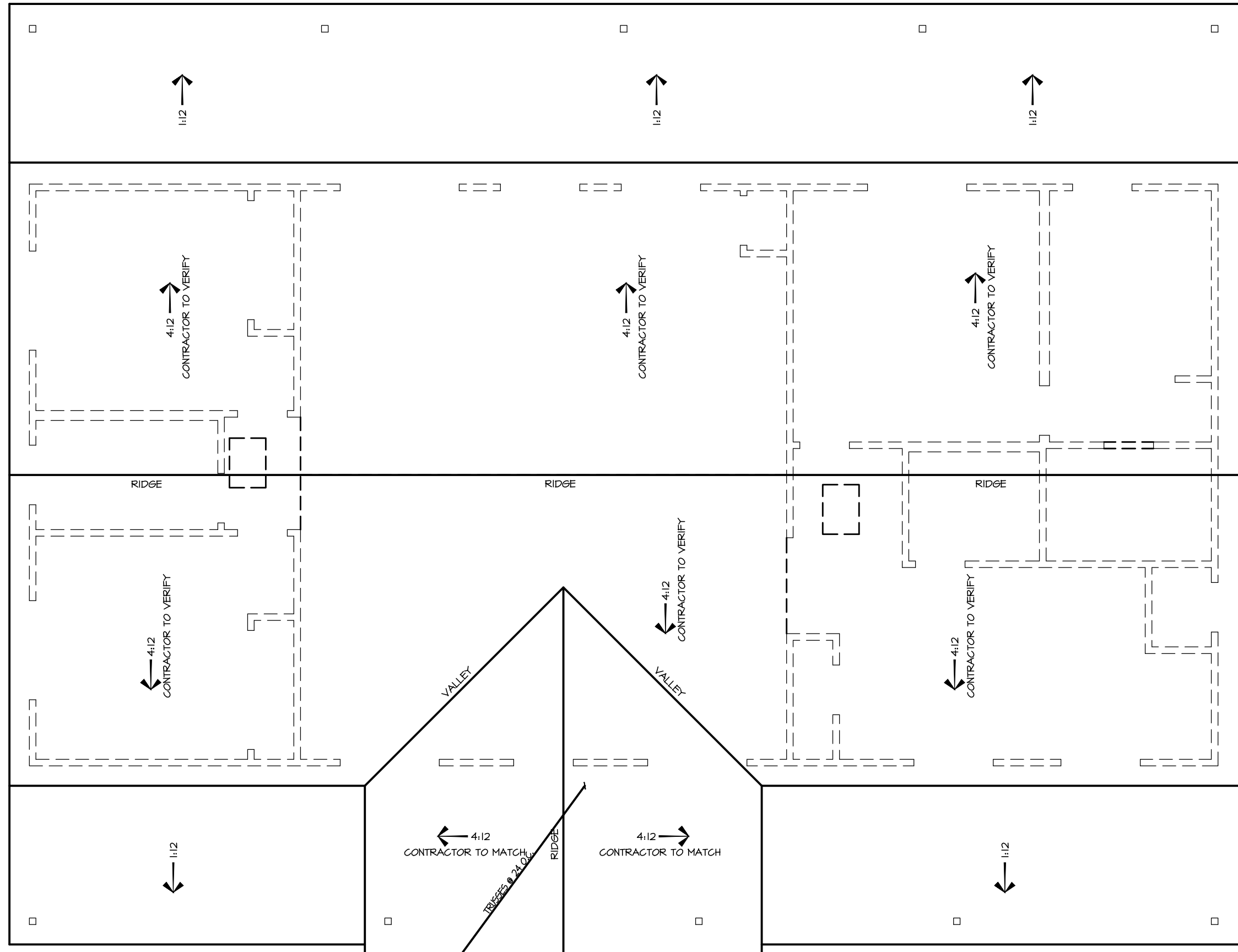
SPRAY FOAM INSULATION TO ROOF DECK. ALL SPACES ENCAPSULATED. INSULATION IN ATTIC TO HAVE FIRE RETARDANT MIXED INTO FOAM.

KEYNOTES

- SEE SPECIFICATION FOR MORE INFORMATION
- ALL KEYNOTES MAY NOT APPLY TO THIS SHEET
- "EAGLE" CONCRETE ROOF TILE INSTALLED PER ICC #E9R-HR-030, 0/300 FELT.
- BUILT-UP ROOFING, PER SPECIFICATIONS
- WALK DECK SURFACE BY POLYCOAT PRODUCTS PER ICC #E9R-HR-030 AND #E9R-030-1, OR APPROVED EQUAL TO BE SOLID FILLED WITH INSULATION.
- ROOF VENT FRAMES TO VERIFY LOCATION PER SPECIFICATIONS UNO. - SEE VENT CALC'S FOR MORE INFORMATION.
- 22" DEEP ATTIC ACCESS (PER SPEC'S) EXACT LOCATION - DESIGN TRUSSES ACCORDINGLY, REFER TO DETAIL SHEET FOR MORE INFORMATION - PROVIDE I/OV STD. DUPLEX OUTLET AND LIGHT WITH SWITCH AT ATTIC ACCESS LOCATION.
- GRIPPLE HALL
- METAL ROOF PER SPEC
- CHIMNEY VENT FRAMER TO VERIFY LOCATION PER SPECIFICATIONS UNO. - SEE VENT CALC'S FOR MORE INFORMATION.
- CRICKET - SEE DETAIL ON THIS SHEET.
- AIR HANDLER UNIT - SEE MECH PLAN FOR MORE INFO. NOTE TO TRUSS MANUFACTURER, PROVIDE FOR MECHANICAL CHASE IN TRUSS DESIGN.
- DECORATIVE STAINLESS STEEL CABLE GUARD & TOP RAILS TO BE 36" MIN HEIGHT ABOVE WALKING SURFACE PER CODE REQUIREMENTS. GUARD RAILS SHOULD BE SPACED TO NOT ALLOW A 4" DIA. OR LARGER SPHERE TO PASS THROUGH ANY OPENING. SEE ELEVATIONS FOR MORE INFO.
- DECORATIVE FROSTIGHT IRON HANDRAILS 1 1/2" TO BE 34" MIN. AND 36" MAX HEIGHT ABOVE WALKING PLANE (PER CODE REQUIREMENTS).
- CHIMNEY W/ DECORATIVE CHIMNEY SHROUD PER SPECIFICATIONS.
- PROVIDE 4" DRAIN W/ OVER FLOK OVERFLOW TO DRAIN SEPARATELY TO GROUND.
- ROOF DRAIN
- PARAPET HALL
- SPIRAL STAIR CASE
- 1630 FXD OVAL HOR. @ 8" FROM CEILING
- 2026 OPENING - HEADER AT 22'-6"
- 2026 OPENING - HEADER AT 22'-6"
- 1630 FXD OVAL HOR. @ 8" FROM CEILING

GENERAL ROOF NOTES

1. PROVIDE FULL INSULATION AND FILL AT FLAT ROOF AND DECK AREAS.
2. VENT CALCULATIONS BASED ON THE MAXIMUM SQUARE FOOTAGE.
3. WITH EAVE VENTING, SUPPLY INSULATION BAFFLES, CUT INSULATION BACK FROM OPENINGS, SUPPLY A MINIMUM OF 1" AIR SPACE BETWEEN THE INSULATION AND ROOF SHEATHING PER BUILDING CODE REQUIREMENTS.
4. NO ROOF TOP EQUIPMENT IS ALLOWED.
5. NO DORMER-TYPE ROOF VENTS ALLOWED.
6. VENTS MUST BE LOCATED ON THE LEAST PROMINENT SIDE OF THE RIDGE LINE AND PAINTED TO MATCH THE ADJACENT ROOF COLOR.
7. PROVIDE I/OV WATER PROOF G.F.C.I. - OUTLETS LOCATED WITHIN STUCCO EAVES.
8. ALL MEASUREMENTS (I.E. PLATE HEIGHTS, PARAPET HEIGHTS, CHIMNEY HEIGHTS, ETC.) ARE TO BE TAKEN FROM THE CORRESPONDING FINISH FLOOR.
9. WHEN 1/300 OF THE AREA OF THE SPACE VENTILATED IS USED, A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION.
10. PRE-FAB ROOF TRUSSES TO BE PROVIDED BY AN APPROVED FABRICATOR. TRUSS DIAGRAMS TO BE PROVIDED AT THE FRAMING INSPECTION.
11. FIELD VERIFY RAILING HEIGHT TO BE MINIMUM OF 36" ABOVE HIGHEST POINT OF WALK DECK FINISH FLOOR.
12. NOTE TO FRAMING CONTRACTOR: TRUSS MANUFACTURER TO PROVIDE MECHANICAL CHASE BUILT INTO ROOF/FLOOR TRUSS SYSTEM AT ALL AIR HANDLER LOCATIONS.
13. BUILT-UP ROOFS: FOAM ROOF SYSTEM (10 YEAR WARRANTY) PER I.C.C. REPORT NUMBER ER-4630 (TESTED IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS) AND INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND BUILDING CODE REQUIREMENTS.
14. SHEAR - ALL EXTERIOR WALLS SHALL BE WRAP ENTIRE HOUSE W/ 3/8" O.S.B. W/ 8d @ 4" O.C. @ EDGES & 8d @ 12" O.C. @ FIELD. - SEE STRUCTURAL CALCULATIONS/DRAWINGS FOR SPECIFIC SHEAR WALL LOCATIONS AND DETAILS.
15. SHEAR - ALL INTERIOR WALLS SHALL BE GYPSUM BOARD (SHEATHING 1/2" (12mm) THICK OR 5/8" TYPE "X", BY 4 FEET (1219mm) WIDE, WALLBOARD OR VENEER BASED ON STUDS SPACED NOT OVER 24 INCHES (12mm) O.C. WITH NAILS AS REQUIRED BY TABLE 25-1 (3-16d per 6"), EACH BRACED WALL PANEL MUST BE AT LEAST 96 INCHES (2438mm) IN LENGTH WHEN APPLIED TO ONE FACE OF A BRACED WALL PANEL AND 48 INCHES (1219mm) WHEN APPLIED TO BOTH FACES.



ROOF PLAN

3/16"=1'-0"

THIS PLAN IS A TRADE MARK OF CASTLE DESIGN STUDIO

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DATE: 7/1/2024

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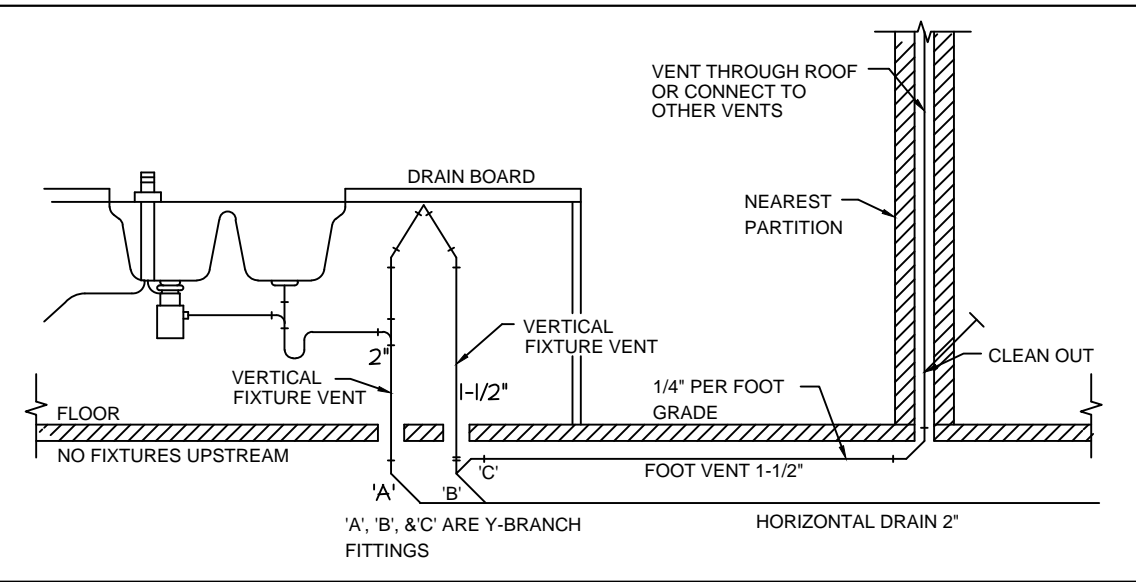
PLAN CHECK NO:

SHEET NO: A-5

JOB NO: Honea

These plans have been prepared by the architect for the construction of the building only and are subject to the conditions of license associated with the architect's registration. The architect does not warrant or guarantee the accuracy of the information contained in these plans, and the contractor shall be responsible for verifying all information shown on these plans. The architect shall not be held responsible for any errors or omissions in these plans, and the contractor shall be responsible for verifying all information shown on these plans. The architect shall not be held responsible for any errors or omissions in these plans, and the contractor shall be responsible for verifying all information shown on these plans. The architect shall not be held responsible for any errors or omissions in these plans, and the contractor shall be responsible for verifying all information shown on these plans.

ISLAND VENT (NTS)

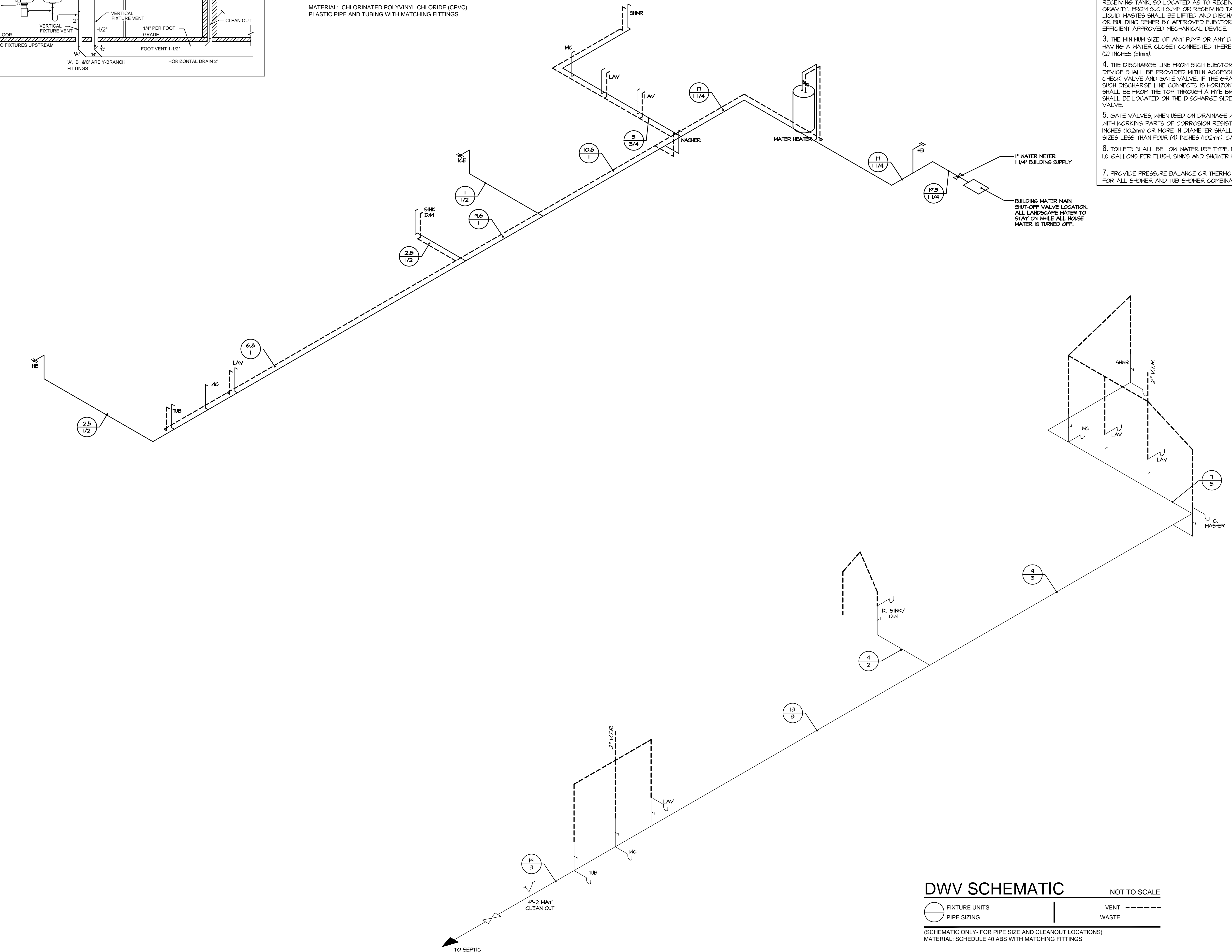


WATER SCHEMATIC

NOT TO SCALE



PRESSURE RANGE = 50 TO 60 PSI
 DEVELOPED LENGTH = 500' (600' MAX DESIGNED LENGTH)
 MATERIAL: CHLORINATED POLYVINYL CHLORIDE (CPVC)
 PLASTIC PIPE AND TUBING WITH MATCHING FITTINGS



DWV SCHEMATIC

NOT TO SCALE



(SCHEMATIC ONLY - FOR PIPE SIZE AND CLEANOUT LOCATIONS)
 MATERIAL: SCHEDULE 40 ABS WITH MATCHING FITTINGS

GENERAL NOTES

- DRAINAGE PIPING SERVING FIXTURES WHICH HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
- DRAINAGE PIPING THAT ARE LOCATED BELOW THE CROWN LEVEL OF THE MAIN SEWER SHALL DISCHARGE INTO AN APPROVED WATERTIGHT SUMP OR RECEIVING TANK, SO LOCATED AS TO RECEIVE THE SEWAGE OR WASTES BY GRAVITY. FROM SUCH SUMP OR RECEIVING TANK, THE SEWAGE OR OTHER LIQUID WASTES SHALL BE LIFTED AND DISCHARGED INTO THE BUILDING DRAIN OR BUILDING SEWER BY APPROVED EJECTORS, PUMPS, OR OTHER EQUALLY EFFICIENT APPROVED MECHANICAL DEVICE.
- THE MINIMUM SIZE OF ANY DISCHARGE PIPE FROM A SUMP HAVING A WATER CLOSET CONNECTED THERETO SHALL BE NOT LESS THAN TWO (2) INCHES (51mm).
- THE DISCHARGE LINE FROM SUCH EJECTOR, PUMP, OR OTHER MECHANICAL DEVICE SHALL BE PROVIDED WITH ACCESSIBLE BACKWATER OR SHING CHECK VALVE AND GATE VALVE. IF THE GRAVITY DRAINAGE LINE TO WHICH SUCH DISCHARGE LINE CONNECTS IS HORIZONTAL, THE METHOD OF CONNECTION SHALL BE FROM THE TOP THROUGH A WYE BRANCH FITTING. THE GATE VALVE SHALL BE LOCATED ON THE DISCHARGE SIDE OF THE BACKWATER OR CHECK VALVE.
- GATE VALVES, WHEN USED ON DRAINAGE WORK, SHALL BE FULL WAY TYPE WITH WORKING PARTS OF CORROSION RESISTANT METAL. SIZES FOUR (4) INCHES (102mm) OR MORE IN DIAMETER SHALL HAVE CAST IRON BODIES, AND SIZES LESS THAN FOUR (4) INCHES (102mm), CAST IRON OR BRASS BODIES.
- TOILETS SHALL BE LOW WATER USE TYPE, DESIGNATED FOR A MAXIMUM OF 1.6 GALLONS PER FLUSH. SINKS AND SHOWER HEADS, 2.5 GPM PER IRC P.2403.2
- PROVIDE PRESSURE BALANCE OR THERMO. MIXING TYP. CONTROL VALVES FOR ALL SHOWER AND TUB-SHOWER COMBINATIONS.

SUPPLY FIXTURE COUNT

FIXTURE	MINIMUM PIPING SIZE	NUMBER OF FIXTURES	WATER SUPPLY FIXTURE UNITS	TOTAL FIXTURE UNITS
BATHTUB	1/2" COLD	1	1.4	1.4
BIDETS	1/2" COLD	0	2	0.0
C. WASHER	1/2" COLD	1	1.4	1.4
LAUNDRY TUB	1/2" COLD	0	1.4	0.0
SHOWER HEAD	1/2" COLD	1	1.4	1.4
K. SINK	1/2" COLD	1	1.4	1.4
DISHWASHER	1/2" COLD	1	1.4	1.4
BAR/VEGGIE SINK	1/2" COLD	0	1.4	0.0
LAVATORY	3/8" COLD	3	0.7	2.1
W. CLOSET	3/8" COLD	2	2.2	4.4
URINAL	1/2" COLD	0	1	0.0
POT FILLER	1/2" COLD	0	1	0.0
ICE MAKER	1/2" COLD	1	1	1.0
HOSE BIBB	1/2" COLD	2	2.5	5.0
WATER FEATURE	1/2" COLD	0	1	0.0
SOFT WATER LOOP	1/2" COLD	0	0	0.0
TOTAL FIXTURE UNITS				19.5

WASTE FIXTURE COUNT

FIXTURES	MIN. TRAP ARM SIZE	NUMBER OF FIXTURES	DRAINAGE FIXTURE UNIT VALUE	TOTAL FIXTURE UNITS
BATHTUB	1 1/2"	1	2	2
BIDETS	1 1/4"	0	1	0
C. WASHER	2"	1	2	2
FLOOR DRAIN	2"	0	2	0
SHOWER	1 1/2"	1	2	2
LAUNDRY TUB	1-1/2"	0	2	0
K. SINK	1 1/2"	1	2	2
DISHWASHER	1 1/2"	1	2	2
BAR/VEGGIE SINK	1 1/2"	0	2	0
SOFT WATER LOOP	1 1/2"	0	1	0
LAVATORY	1 1/4"	3	1	3
W. CLOSET	3"	2	3	6
URINAL	1 1/2"	0	1	0
TOTAL FIXTURE UNITS				19

NOTE:
 IF FIRE SPRINKLER SYSTEM IS REQUIRED, PROVIDE A NFPA 13D 4 HEAD CALC. SYSTEM.

NOTE:
 (M2009.5 AMENDMENT) HOT WATER RECIRCULATION PUMPS. PROVIDE A HOT WATER DEMAND CONTROLLED RECIRCULATION PUMP FOR WATER HEATERS LOCATED MORE THAN 20 FEET FROM FURTHEST FIXTURE SERVED. A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUTOFF.

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FOR ALL GENERAL NOTES
SEE SHEET G5N

FRAMING NOTES

- TRUSS DESIGNS SHALL CONFORM TO IBC SECTION 2308.10.7. TRUSS DESIGNS SHALL CONFORM TO THE FOLLOWING MIN. TOTAL LOADS: 55 P.S.F. AT CLAY ROOFS 45 P.S.F. AT CONC. TILE ROOF 40 P.S.F. AT BUILT-UP ROOFS TRUSS DESIGNS SHALL BE SEALED & SIGNED BY AN ENGINEER LICENSED IN ARIZONA. SEAL SHALL BE DATED WITHIN THE LATEST CITY ADOPTED I.B.C.
- ALL O.S.B., PLYWOOD, STRAND BOARD, WAFFER BOARD, COMPOSITE BOARD, AND STRUCTURAL PARTIAL BOARD SHALL CONFORM TO N.E.R.-108.
- ALL LUMBER SHALL BEAR APPROVED GRADING STAMP.
- ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSE FOR WHICH THEY ARE INTENDED.
- ALL ROOF FRAMING SHALL BE COMPLETELY SHEATHED AND NAILED UNDER ALL OVERFRAMING WITH MINIMUM OPENING OF 22" X 48" FOR ACCESS AND ATTIC VENTILATION.
- CEILING GYPSUM BOARD THICKNESS TO COMPLY WITH IRC TABLE R702.3.5 WHICH REQUIRES 1/2" SAG RESISTANT OR 5/8" WITH FRAMING SPACED AT 24" O.C.
- SEE NAILING SCHEDULE ON SHEET G5N.
- CORROSION-RESISTANT FLASHING SHALL BE PROVIDED AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS.

LEGEND

2 - 2 X 6 POST OR EQUAL
UNLESS NOTED OTHERWISE

HEADER SCHEDULE
(TYP. BEARING)

SPAN	SIZE	BEARING
0" TO 3'-0"	2 - 2 X 6	1 - TRIMMER
3'-1" TO 5'-0"	2 - 2 X 8	1 - TRIMMER
5'-1" TO 6'-0"	2 - 2 X 10	1 - TRIMMER
6'-1" TO 8'-0"	2 - 2 X 12	2 - TRIMMER

HEADER SCHEDULE
(TYP. NON-BEARING)

SPAN	SIZE	BEARING
0" TO 4'-0"	2 - 2 X 4	1 - TRIMMER
4'-1" TO 6'-0"	2 - 2 X 6	1 - TRIMMER
6'-1" TO 10'-0"	2 - 2 X 8	1 - TRIMMER
10'-1" TO 13'-0"	2 - 2 X 10	2 - TRIMMER
13'-1" TO 16'-0"	2 - 2 X 12	2 - TRIMMER

UNLESS NOTED OTHERWISE

No.	DESCRIPTION
1	GIRDER TRUSS
2	L1528-2
3	L1526
4	T14A26
5	M1526
6	H1526
7	H1526-2
8	M14A
9	T14A22
10	AIR HANDLER UNIT - SEE MECH PLAN FOR MORE INFO. NOTE TO TRUSS MANUFACTURER, PROVIDE FOR MECHANICAL CHASE IN TRUSS DESIGN.
11	PARAPET WALL
12	4x6 POST
13	6x6 POST
14	4x4x8 STEEL POST
15	H1525/2
16	POST FROM ABOVE
17	22"x30" ATTIC ACCESS (PER SPECS) EXACT LOCATION - DESIGN TRUSSES ACCORDINGLY. REFER TO DETAIL SHEET FOR MORE INFORMATION - PROVIDE 110V STD. DUPLEX OUTLET AND LIGHT WITH SWITCH AT ATTIC ACCESS LOCATION.
18	CONTINUOUS POST
19	OVER FRAMING
20	BEARING WALL

NOTE:
ALL BEAM HEIGHTS ARE
A.F.F. UNLESS NOTED OTHERWISE

NOTE:
PREFABRICATED WOOD TRUSSES TO BE
PROVIDED BY AN APPROVED
FABRICATOR. TRUSS DIAGRAMS AND
KEYED LAYOUT SHALL AVAILABLE TO
THE FIELD INSPECTOR AT THE JOB-SITE
AT THE TIME OF ROOF NAILING AND
FRAMING INSPECTION.

POSTS - USE 2-2X(WALL THICKNESS)
STUDS AT ALL BEAMS, HEADERS,
MULTIPLE TRUSSES, & TRUSS GIRDERS
SUPPORTS. UNLESS NOTED OTHERWISE.

FOR ALL GENERAL NOTES
SEE SHEET G5N

FOUNDATION NOTES

- FINISH FLOOR SHALL BE A MINIMUM OF 6" ABOVE ADJACENT FINISH GRADE.
- PROVIDE EXTERIOR WATERPROOF MEMBRANE UP TO 1'-0" BEYOND CONC. STEM AT ALL SUNKEN FLOORS.
- SEAL ALL VOIDS AROUND PIPING PASSING THRU CONCRETE FLOORS.
- ALL EXTERIOR CONCRETE FLATWORK TO SLOPE A MINIMUM OF 1/8" FT. AND ALL LANDINGS AT DOORS TO SLOPE A MAXIMUM OF 1/4" FT.
- ALL INTERIOR AND EXTERIOR FOOTINGS SHALL BEAR 18" BELOW ENGINEER CERTIFIED COMPACTED FILL OR UNDISTURBED NATIVE SOIL WITH MINIMUM ALLOWABLE SOIL BEARING PRESSURE AT 1500 P.S.F.
- MIN. 28 DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE 2500 P.S.I.
- ALL PROCEDURES, PLACEMENT FORMWORK LAP, ETC. SHALL CONFORM WITH LATEST A.C.I. STANDARDS, MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT THE SLABS ON GRADE NEED ONLY TO BE VIBRATED AROUND UNDERFLOOR DUCTS, ETC. MIN. SLUMP 4.5". ALL CONCRETE SLABS ON GRADE SHALL BE BOUNDED BY CONSTRUCTION JOINTS, KEYED OR SAWCUT SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 600 SQUARE FEET. ALL WORK IS TO CONFORM TO ALL LOCAL BUILDING CODES.
- CONTINUOUS FLOOR SLAB SHALL BE SAWCUT EVERY 600 SQUARE FEET FOR EXPANSION. SAWCUTS SHALL BE UNDER INTERIOR NON-BEARING WALLS OR IN AREAS NOT AFFECTING TILE FLOORS WHERE POSSIBLE.
- TOP OF EXTERIOR FOUNDATION SHALL BE 12" ± 2% ABOVE THE ELEVATION OF THE STREET GUTTER OR INLET OF AN APPROVED DRAINAGE DEVICE.
- ALL BOTTOM PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS HAVING 7" MIN. EMBEDMENT @ 6" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION.

BOLT LEGEND

- A 1/2" DIA. A.B. X 10" @ 36" O.C., 7" EMB. & 2" DIM. WASHER
 - B 1/2" DIA. A.B. X 10" @ 24" O.C., 7" EMB. & 2" DIM. WASHER
 - C 1/2" DIA. A.B. X 10" @ 18" O.C., 7" EMB. & 2" DIM. WASHER
 - D 1/2" DIA. A.B. X 10" @ 12" O.C., 7" EMB. & 2" DIM. WASHER
- USE 1/2" DIA. A.B. X 10" @ 48" O.C.
UNLESS NOTED OTHERWISE

PAD SCHEDULE

PAD	SIZE	REINFORCEMENT
F1	2'-0" X 2'-0" X 12"	3 - #4 EA. WAY
F2	2'-6" X 2'-6" X 12"	3 - #4 EA. WAY
F3	3'-0" X 3'-0" X 12"	4 - #4 EA. WAY
F4	3'-6" X 3'-6" X 12"	4 - #5 EA. WAY
F5	4'-0" X 4'-0" X 12"	5 - #5 EA. WAY

KEYNOTES

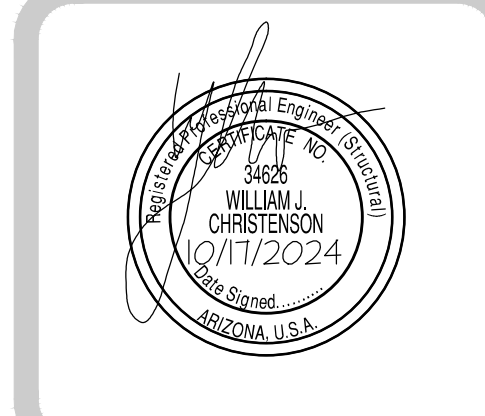
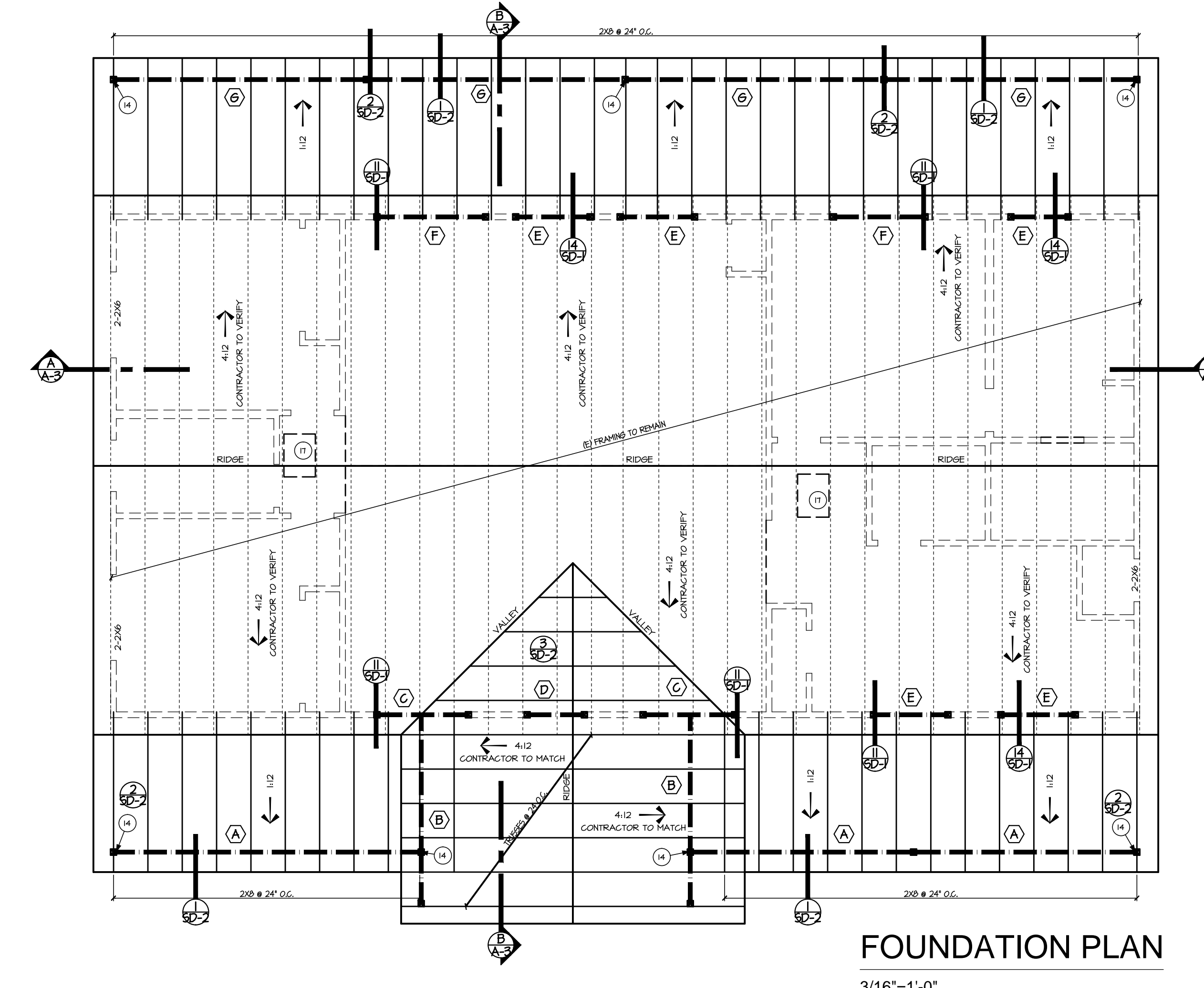
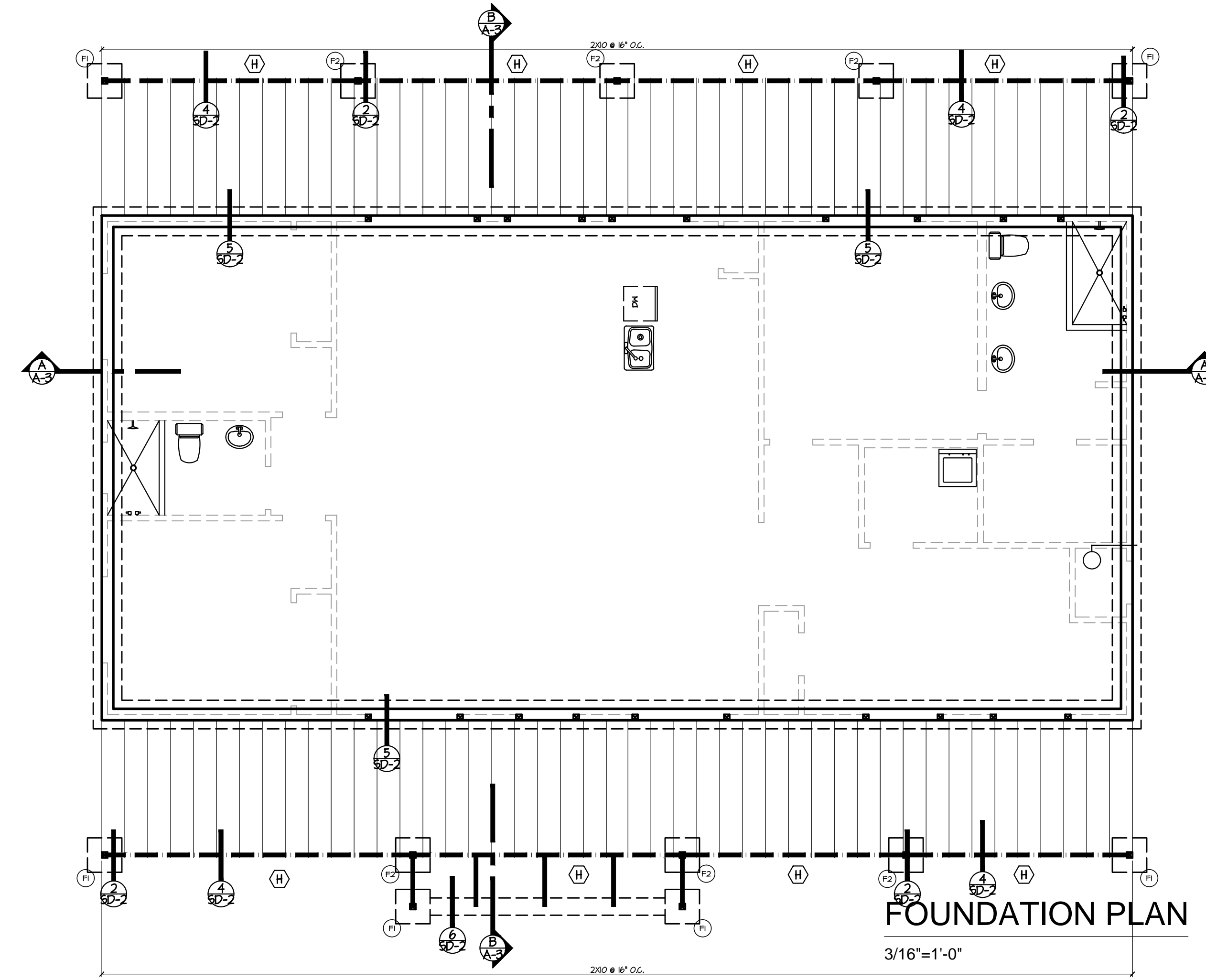
* SEE SPECIFICATION FOR MORE INFORMATION *
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	4" CONCRETE SLAB OVER 4" ABC OVER TERMITE TREATED SOIL.
2	6" STEM WALL WITH #4 HORIZ. AT TOP AND #4 # 48" O.C. VERT. 48 BAR DIA. OVERLAP.
3	16" WIDE X 10" THICK FOOTING WITH 2-#4 BARS AT BOTTOM OF FOOTING. BOTTOM OF FOOTING 18" BELOW NATIVE SOIL OR ENGINEERED PAD.
4	8" TURNDOWN - SEE DETAILS
5	RECESSED SLAB FOR SHOWER DRAIN - SEE DETAILS
6	RECESSED SLAB FOR DOOR TRACK - PER MANUFACTURER'S SPECS
7	FLOOR OUTLETS PER OWNER
8	CONDUIT FOR ELECTRICAL
9	12" STEM WALL WITH #4 HORIZ. AT TOP AND #4 # 48" O.C. VERT. 48 BAR DIA. OVERLAP.
10	22" WIDE X 10" THICK FOOTING WITH 2-#4 BARS AT BOTTOM OF FOOTING. BOTTOM OF FOOTING 18" BELOW NATIVE SOIL OR ENGINEERED PAD.
11	HOLD GARAGE SLAB 1' BEHIND STEM

FOR HOLD DOWNS WITH 3/4" DIA. BOLT - USE 58518X24 OR 551824 - FOOTING TO BE 36" DEEP
FOR HOLD DOWNS WITH 1/2" DIA. BOLT - USE 5818X24 OR 551820 - FOOTING TO BE 36" DEEP
FOR HOLD DOWNS WITH 1" DIA. BOLT - USE 581X30 - FOOTINGS TO BE 36" DEEP

BEAM SCHEDULE

No.	DESCRIPTION
A	5 1/8" X 12 GLB
B	5 1/8" X 12 GLB
C	2-600162-41 BACK TO BACK
D	2-600162-43 BACK TO BACK
E	2-600162-54 BACK TO BACK
F	2-600162-54 BACK TO BACK
G	5 1/8" X 12 GLB
H	



8921 N. Bahama Rd
Coolidge, AZ 85128

Honea Res.
APN - 209-27-0040

3023 E. Pueblo Ave
Mesa, AZ 85204
602.419.6867

Castle Design Studio

DATE: 7/1/2024

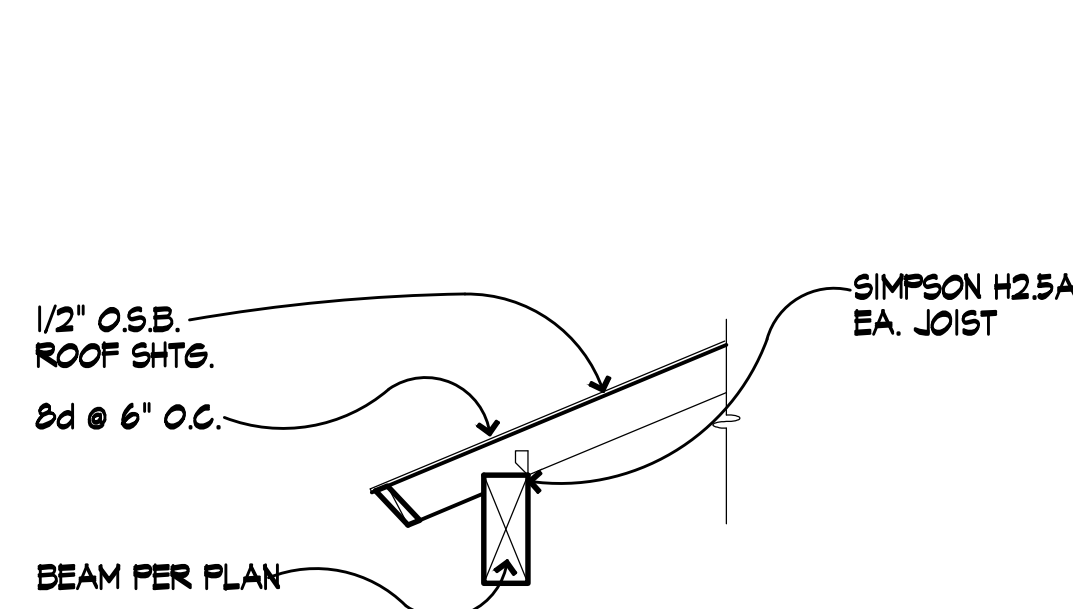
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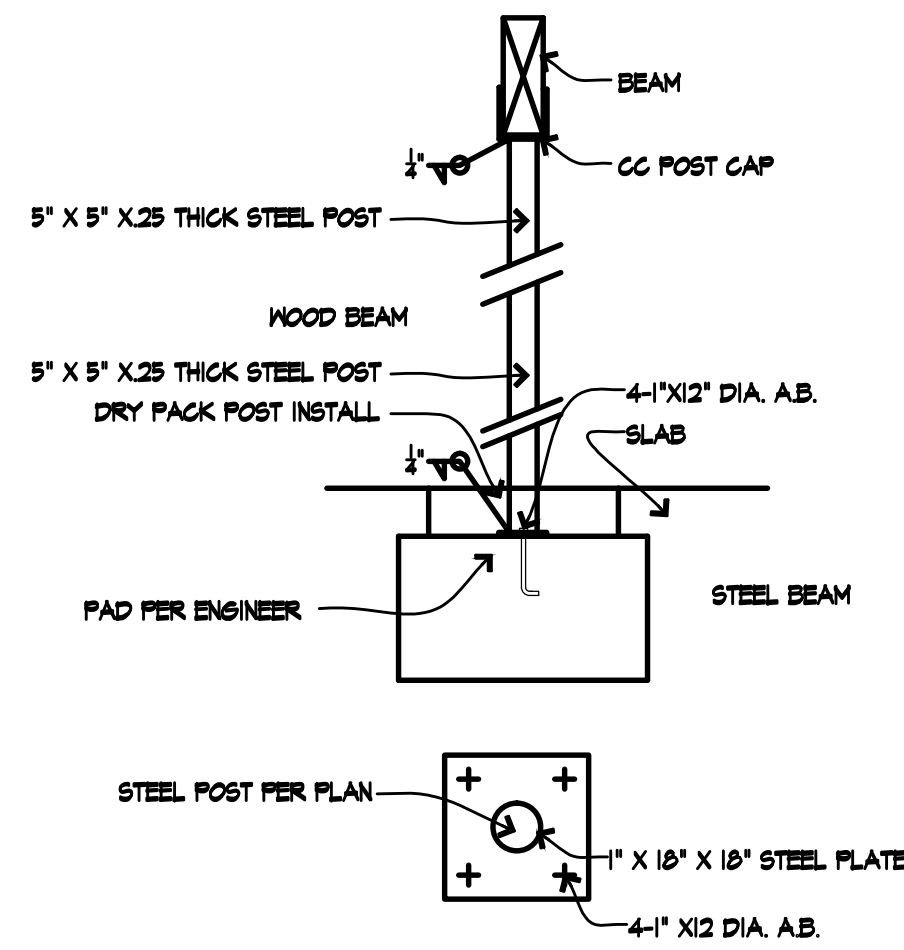
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S-1

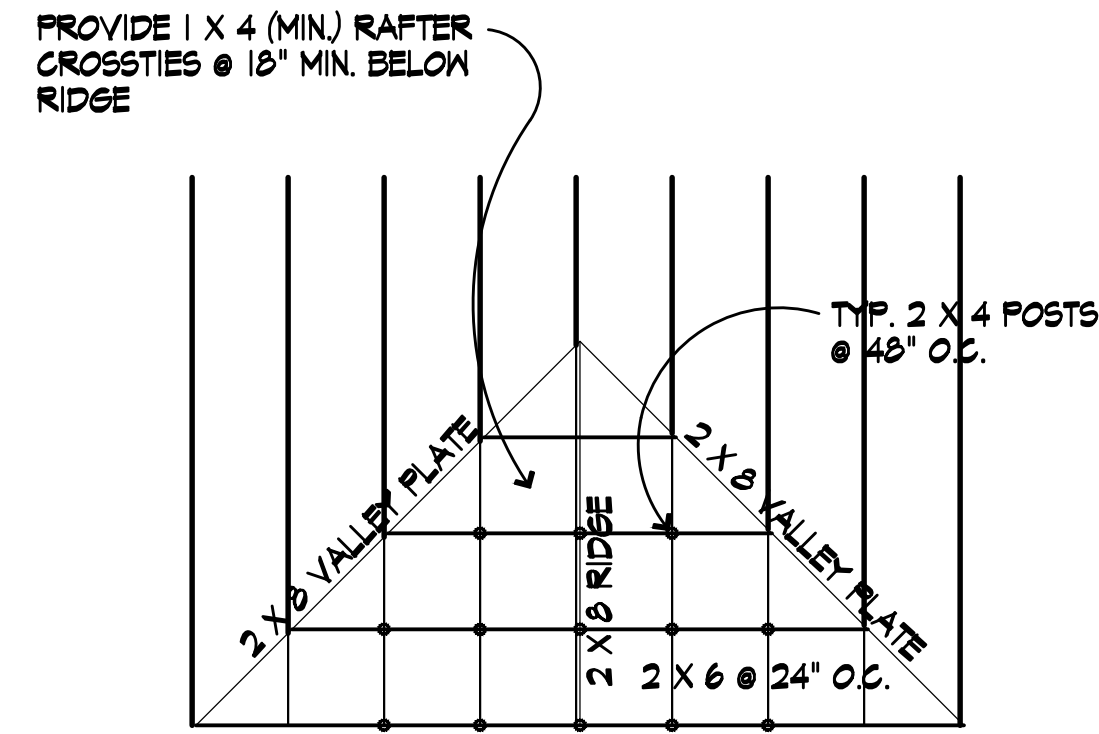
JOB NO: Honea



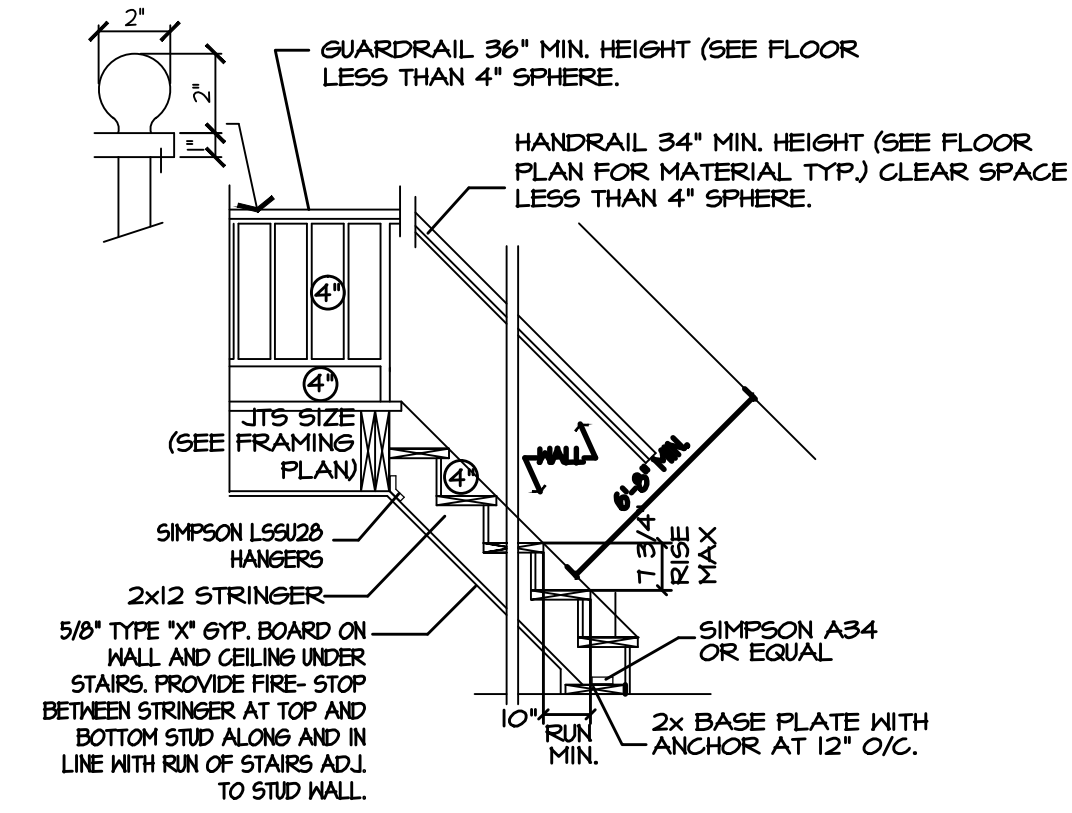
1 JOIST AT BEAM



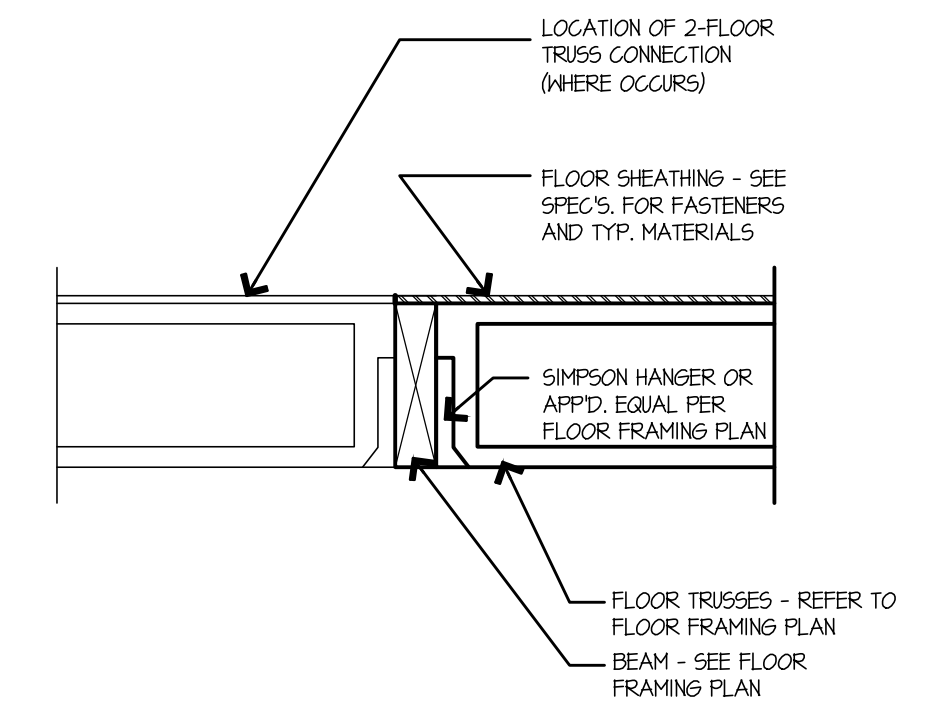
2 STEEL POST



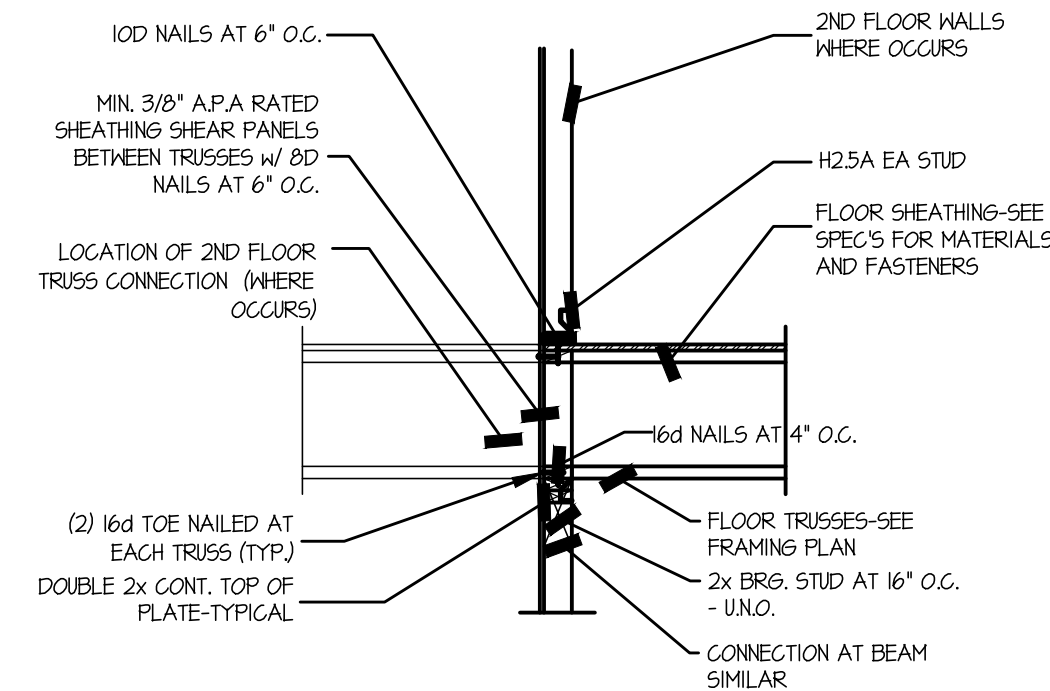
3 CONVENTIONAL OVERFRAMING



4 STAIR AND HANDRAIL



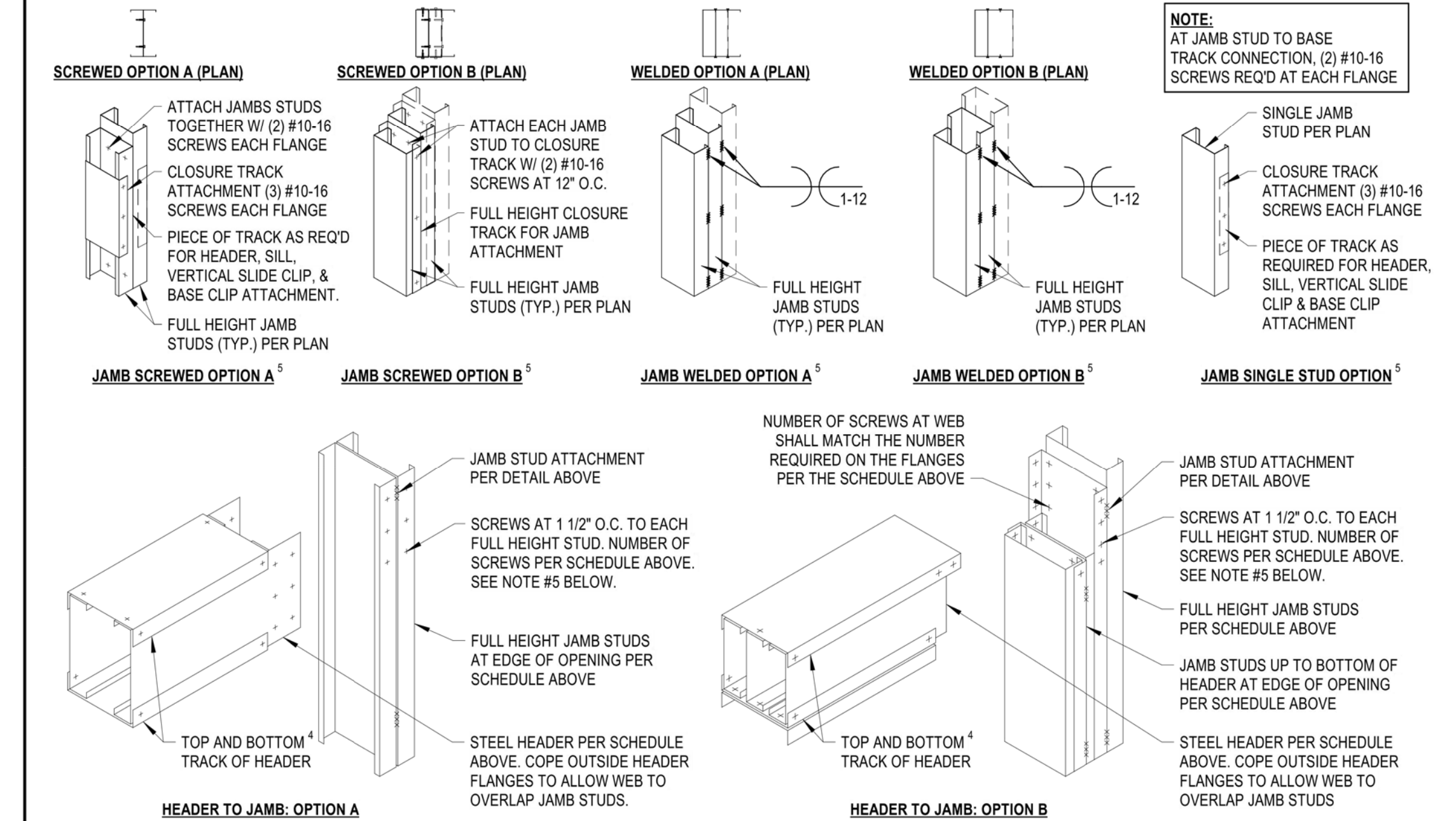
5 FLOOR TRUSS TO BEAM



6 FLOOR TRUSS TO WALL

COLD FORMED STEEL HEADERS AND JAMBS (INTERIOR NON-BEARING)

HEADER SPAN	WALL HEIGHTS UP TO 20'-0" TALL				WALL HEIGHTS FROM 20'-1" TO 36'-0" TALL			
	HEADER SIZE (SSMA DESIGNATION)	6" JAMB STUDS (SSMA DESIGNATION)	3 5/8" JAMB STUDS (SSMA DESIGNATION)	TOTAL NUMBER OF #10 TEK SCREWS ¹	HEADER SIZE (SSMA DESIGNATION)	6" JAMB STUDS (SSMA DESIGNATION)	3 5/8" JAMB STUDS (SSMA DESIGNATION)	TOTAL NUMBER OF #10 TEK SCREWS ⁵
UP TO 4'-0"	(2)600S162-33	(1)600S162-54	(1)362S200-68	2	(2)600S162-33	(2)600S200-68	(3)362S250-97	5
4'-0" TO 8'-0"	(2)600S162-54	(2)600S162-43	(2)362S162-68	4	(2)600S162-54	(2)600S250-68	(4)362S250-97	9
8'-1" TO 12'-0"	(2)600S162-54	(2)600S162-54	(3)362S162-68	6	(2)600S162-68	(4)600S250-68	(4)362S300-97	13
12'-1" TO 16'-0"	(2)800S200-54	(2)600S162-54	(3)362S200-68	8	(2)1000S200-97	(4)600S250-97	(4)362S350-118	17
16'-1" TO 20'-0"	(2)800S200-68	(2)600S162-68	(4)362S200-68	10	(3)1000S200-68	(4)600S250-97	PER PLAN	22
20'-1" & GREATER	PER PLAN	PER PLAN	PER PLAN	PER PLAN	PER PLAN	PER PLAN	PER PLAN	PER PLAN



- NOTES:
1. HEADERS AND JAMBS HAVE BEEN SIZED TO RESIST A LATERAL HORIZONTAL LOAD OF 5 PSF PER IBC SECTION 1607.14 WITH A LIMITING DEFLECTION OF L/240 PER IBC TABLE 1604.3.
 2. USE SPECIFIED HEADER SIZES UNLESS NOTED OTHERWISE ON PLANS.
 3. CONTRACTOR MAY MAKE SUBSTITUTIONS ONLY AFTER APPROVAL BY THE EOR.
 4. TOP AND BOTTOM TRACK OF HEADERS TO HAVE A MINIMUM 2" FLANGE AND MATCH THE GAUGE OF THE HEADER JOISTS.
 5. JAMB STUDS SHALL BE BRACED AT 48" O.C. PER THE COLD FORMED STEEL STUDS (INTERIOR NON-BEARING) SCHEDULE.
 6. HALF OF TOTAL NUMBER OF #10 TEK SCREWS SHALL BE INSTALLED BOTH SIDES OF HEADER.
 7. WHERE HEADER OR JAMB SIZES ARE NOT SPECIFIED IN THESE TABLES OR IN PLAN VIEW, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE EOR TO SUPPLY THE APPROPRIATE HEADER AND JAMB SIZES.



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Honea Res.
APN - 209-27-0040

3023 E. Pueblo Ave
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Castle Design Studio

DATE: 7/1/2024
DRAWN BY: CDS
PLAN CHECK NO:
SHEET NO: SD-2
JOB NO: Honea

AFFIDAVIT OF PUBLICATION

State of New Jersey, County of Burlington, ss:

Kevin Richman, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Pinal Central Dispatch, a newspaper published at Casa Grande, Pinal County, Arizona, Thursday of each week; that a notice, a full, true and complete printed copy of which is hereunto attached, was printed in the regular edition of said newspaper, and not in a supplement thereto, for 1 issues. The publications thereof having been on the following dates:

PUBLICATION DATES:

Feb. 6, 2025

NOTICE ID: SsMHA2SMEuz5ulOoDcP3

NOTICE NAME: BA-058-24 NOTICE OF PUBLIC HEARING

(Signed) Kevin Richman

VERIFICATION

State of New Jersey
County of Burlington

LIZA ORTIZ
NOTARY PUBLIC
STATE OF NEW JERSEY
My Commission Expires November 27, 2028

Subscribed in my presence and sworn to before me on this: 02/06/2025

Liza Ortiz

Notary Public
Notarized remotely online using communication technology via Proof.

NOTICE OF PUBLIC HEARING
NOTICE OF PUBLIC HEARING BY THE BOARD OF ADJUSTMENT AND APPEALS AT 9:30 A.M., ON FEBRUARY 27, 2025 AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER, 85 N. FLORENCE STREET IN FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A VARIANCE IN THE UNINCORPORATED AREA OF PINAL COUNTY. BA-058-24 – PUBLIC HEARING/ ACTION: Matt Rettig, applicant, on behalf of landowners Cindy and Samuel L Honea II, is requesting a variance to Section 2.40.020 and Section 2.40.030 of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 54,450 square feet (1.25 acres) to 43,995 square feet (1.01 acres) for a parcel in the (GR) General Rural Zoning District; situated in Section 29, Township 05 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 209-27-0040 (legal on file); located north of E Martin Rd and east of Bahama Rd in unincorporated Pinal County, Arizona, near the City of Coolidge. Information regarding the case can be found online at: <https://www.pinal.gov/236/Notice-of-Hearings>
ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY DEVELOPMENT SERVICES DEPARTMENT. PLEASE CALL (520) 866-6442 FOR MORE INFORMATION. DATED THIS 28th DAY OF JANUARY, 2025
TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE DEVELOPMENT SERVICES DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT MUST CONTAIN THE FOLLOWING INFORMATION:
1) Planning Case Number (see above)
2) Your name, address, telephone number and property tax parcel number (Print or type)
3) A brief statement of reasons for supporting or opposing the request
4) Whether or not you wish to appear and be heard at the hearing
WRITTEN STATEMENTS MUST BE FILED WITH:
PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
P.O. BOX 749 (85 N. FLORENCE, FIRST FLOOR)
FLORENCE, AZ 85132
Contact for this matter: Monika Smriti,
E-mail address: monika.smriti@



PINAL COUNTY
ADJUSTMENTS & APPEALS BOARD

SIGN POSTING

02/06/25





PINAL COUNTY

WIDE OPEN OPPORTUNITY

AGENDA ITEM

February 27, 2025 ADMINISTRATION BUILDING A
FLORENCE, ARIZONA

REQUESTED BY: Patrick Zaia-Roberts/Brent Billingsley

Funds #:

Dept. #:

Dept. Name:

Director:

BRIEF DESCRIPTION OF AGENDA ITEM AND REQUESTED BOARD ACTION:

BA-059-24 – PUBLIC HEARING/ACTION: Marion Memmott landowner/applicant, requesting a variance to Section 2.30.020 (B&D) of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from ±87,120 square feet (2 acres) to ±78,408 square feet (1.8 acres) for a ±1.8 acre parcel in the Suburban Homestead Zoning District (SH), to allow for development of a single family residence; Tax parcel 401-62-0410 (legal on file); situated in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, located on the north side of E Stallion Dr. and 1,730 feet west of S US Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal County, Arizona.

BRIEF DESCRIPTION OF THE FISCAL CONSIDERATIONS AND/OR EXPECTED FISCAL IMPACT OF THIS AGENDA ITEM:

BRIEF DESCRIPTION OF THE EXPECTED PERFORMANCE IMPACT OF THIS AGENDA ITEM:

MOTION:

History

Time

Who

Approval

ATTACHMENTS:

Click to download

[Staff Report](#)

TO: PINAL COUNTY BOARD OF ADJUSTMENT AND APPEALS

MEETING DATE: FEBRUARY 27, 2025

CASE NUMBER: BA-059-24

CASE COORDINATOR: PATRICK ZAIA-ROBERTS, SENIOR PLANNER

Executive Summary:

A variance request by Marion Memmott (landowner & applicant) requesting allowance of a reduction to the minimum lot size from 2 acres to 1.8 acres in the SH Zoning District to allow for a single-family residence on parcel 401-62-0410 the property was platted in 1974 as part of a subdivision at ±1.8 acres lot size. The SH development standards were revised in 1982 to require ±2 acre minimum lot sizes, causing this property to become undersized.

If This Request is approved:

This variance will allow the applicant to modify development standards for minimum lot size on this property in the Suburban Homestead Zone (SH), and develop the parcel as a single family residence without additional variance requests.

Action:

The Board of Adjustments may conditionally approve this request with four stipulations or deny this request.

BA-059-24 – PUBLIC HEARING/ACTION: Marion Memmott landowner/applicant, requesting a variance to Section 2.30.020 (B&D) of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from ±87,120 square feet (2 acres) to ±78,408 square feet (1.8 acres) for a ±1.8 acre parcel in the Suburban Homestead Zoning District (SH), to allow for development of a single family residence; Tax parcel 401-62-0410 (legal on file); situated in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, located on the north side of E Stallion Dr. and 1,730 feet west of S US Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal County, Arizona.

LOCATION: Lot 41 of Villa Grande Rancheros (Legal on file)

TAX PARCELS: 401-62-0410

LANDOWNER/APPLICANT: Marion Memmott (landowner & applicant)

REQUESTED ACTION AND PURPOSE: Requesting a variance to Section 2.30.020 (B&D) of the Pinal County Development Services Code, to allow a reduction in the minimum lot size from ± 2 acres to ± 1.8 acres.

SIZE: ± 1.8 Acres ($\pm 78,408$ Square Feet)

EXISTING ZONING AND LAND USE: The property is zoned Suburban Homestead (SH).

SURROUNDING ZONING AND LAND USE:

North: Multiple Residence (CR-5), City of Eloy

South: Suburban Homestead (SH)

East: Multiple Residence (CR-4)

West: General Rural (GR)

SITE DATA:

Site is situated in Flood Zone X – an area that is determined to be outside the 1% and 0.2% probability of flooding (formerly and commonly known as the “100-year floodplain”).

HISTORY: The subject parcel was originally recorded in the subdivision, Villa Grande Rancheros. This parcel is lot 41 of this subdivision, platted as of February 7th, 1974. The property was originally platted per SH zoning standards as established by the 1972 zoning ordinance requiring minimum lot sizes of 43,560 square feet (one acre). These standards were later modified as of December 20th, 1982, at which time the minimum lot size became 87,120 square feet (two acres).

In September of 2024, the applicant applied for building permits for construction of the single family residence on the property. The applicant was made aware of the undersized lot constraint at this time, and informed that building permits cannot be issued while the property remained undersized.

Staff’s public participation and notification of the cases include:

Newspaper publish dates: 2/06/2025

Mail-outs: 2/03/2025

Site Posting: 2/03/2025

Website: 2/06/2025

Staff has received no public comments on this case to date.

THE APPLICANT MUST SATISFY THE BOARD OF ADJUSTMENT AND APPEALS THAT THIS REQUEST MEETS THE NECESSARY CRITERIA TO QUALIFY FOR A VARIANCE AS STATED IN SECTION 2.155.050.C

EVIDENCE REQUIRED FOR VARIANCE:

- a. There are special circumstances or conditions applicable to the property, which is the subject of the variance, which do not prevail on other property in that zoning district.
- b. The special circumstances or conditions referred to in subsection (C)(4)(a) of this section are not self-imposed by the property owners within the subject area.

- c. The strict application of the regulations would work an unnecessary nonfinancial hardship.
- d. The granting of the variance is necessary for the preservation and enjoyment of substantial existing property rights.
- e. The granting of such variance will not materially affect the health or safety of persons residing or working within the subject area and adjacent properties and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.
- f. The variance does not allow a use that is not permitted in the zone district where the property is located.

FINDINGS: Under Section 2.155.030.E of the Pinal County Development Service Code (Zoning Ordinance), the Board of Adjustment and Appeals shall hear and consider all evidence relating to the request and make findings as to the conformity of the request to the above Section.

THE BOARD OF ADJUSTMENT AND APPEALS shall consider the following criteria in conditionally approving or denying a variance.

- a. There are special circumstances or conditions applicable to the property which is the subject of the variance which do not prevail on other property in that zoning district.

ANALYSIS: The subject property is insignificant in that its size and shape are similar and consistent with the surrounding properties. The uniqueness of this site is held in it being undersized, by way of County action. Surrounding like properties appear to possess identical constraints despite residences existing on these parcels.

FINDING: A special circumstance/condition **does exist** for this site, and in a way that does not prevail on other property in that zoning district.

- b. That the special circumstances or conditions referred to in subsection (C) (4) (a) of this section are not self-imposed by the property owners within the subject area.

ANALYSIS: This parcel was platted by the County in 1974. Lot-lines have not been altered on this property to date. The special circumstance of the undersized lot is not the fault of the applicant, but a constraint implemented by county adoption of increased zoning standards. The special circumstances applied to the property make a strict compliance to the development standards of SH Suburban Homestead Zoning impossible.

FINDING: The special circumstances referred to in subsection (C) (4) (a) **are not** self-imposed.

- c. That the strict application of the regulations would work an unnecessary nonfinancial hardship.

ANALYSIS: It is the intention of the applicant to improve the parcel through construction of a single family residence. The hardship presented is nonfinancial, in that if a variance is not granted it will deprive the applicant of substantial existing property rights, as no improvements to the site can be performed due to lot size minimum restraints. Staff notes that the Pinal County Board of Adjustment is authorized to grant a variance when if not doing so would result in impairment of substantial property rights, as articulated in Section 2.155.040 (C.4b) of County Code.

FINDING: Staff finds that the strict application of the regulations would cause an unnecessary, nonfinancial hardship and ultimately prohibit the applicant/owner from residing on the subject property.

- d. The granting of the variance is necessary for the preservation and enjoyment of substantial existing property rights.

ANALYSIS: The parcel was platted by the County in 1974 in accordance to zoning standards established in 1972. By way of County adoption of the 1982 zoning ordinance with increased standards to SH development standards. Without a variance, the property owner is unable to otherwise construct the single family residence. It is clearly demonstrated that the need for this variance is necessary so that the landowner can maintain property rights for a single family home.

FINDING: Staff finds just reasoning for granting the variance to ensure the preservation and enjoyment of substantial existing property rights of the landowner.

- e. The granting of such variance will not materially affect the health or safety of persons residing or working within the subject area and adjacent properties and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

ANALYSIS: Staff does not identify any aspect in relation to the subject property which would result in an adverse impact to the safety and welfare of the public, or be detrimental to its immediate and broader neighborhood. The subject parcel proves to be consistent with adjacent parcels, as well as complying with an allowable use to the zoning district. Included in this report are stipulations that outline development standards that are rational to the subject parcel size.

FINDING: The granting of this variance will not affect the health or safety of persons residing or working within the subject area and adjacent properties, and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- f. The variance does not allow a use that is not permitted in the zone district where the property is located.

ANALYSIS: Section 2.30.020 of the County Development Services Code establishes that any use permitted in the SR zone is permitted in the SH zoning district. This includes a one-family dwelling unit of conventional construction, manufactured home, or mobile home. The applicant is pursuing building permits for a conventional construction home that would otherwise meet the requirements of the Code and is seeking a Variance to bring the lot into compliance with permitted uses as defined in the code, albeit with altered standards.

FINDING: Granting of the variance will not allow a use that is not permitted in the zone district where the property is located.

STAFF SUMMARY AND RECOMMENDATION: All submittals, evidence presented, written documentation, public testimony, and Planning Case Staff Report (BA-059-24) are considered part of the

Development Services
Planning Division

record in this variance case. If the Board of Adjustments and Appeals can find sufficient evidence based upon the record, the Board may **approve** the staff report and record as presented and approve the requested variance with the following recommended motion. If the Board cannot find sufficient evidence to approve the request, the Board may deny the request with the subsequent motion.

BOARD MOTION

Staff Recommendation to Approve:

To Approve: I move to approve case BA-059-24, Section 2.30.020 (B&D) of the PCDSC, to allow a reduction in the minimum lot size from $\pm 87,120$ square feet (± 2 acres) to $\pm 78,402$ square feet (± 1.8 acres), and applicable development standards on parcel 401-62-0410, to allow a conventional construction home in the SH zoning district with a minimum lot size of ± 1.8 acres. The move for approval is based on the findings of A through F -as presented above- and is subject to the following 4 stipulations:

1. All State and County regulations shall be adhered to and all required approvals, plans, submittal documents and permits be submitted and obtained - including but not limited to, planning clearance, building, sewage disposal, right-of-way use permit, handling and disposal of wastewater, air quality permit, etc.
2. Development Standards for the subject parcel shall be as follows:
 - a. Building height: Maximum height of any structure shall be 30 feet.
 - b. Minimum lot area: 78,408 square feet (1.8 acres).
 - c. Minimum lot width: 100 feet.
 - d. Minimum area per dwelling unit: 78,408 square feet (1.8 acres).
 - e. Minimum front yard: 30 feet.
 - f. Minimum side yard: Ten feet.
 - g. Minimum rear yard: 40 feet.
 - h. Minimum distance between main buildings: 20 feet.
3. Detached accessory building Development Standards shall be as follows:
 - a. Permitted coverage: One-third of the total area of the rear and side yards.
 - b. Maximum height: 20 feet.
 - c. Minimum distance to main building: Seven feet.
 - d. Minimum distance to front lot line: 60 feet.
 - e. Minimum distance to side and rear lot lines: Four feet if building is not used for poultry or animals; 50 feet if building is used for poultry or animals.
 - f. A structure having a roof supported by columns and used exclusively for the shading of livestock shall not be considered a building and shall not need to conform to setback requirements that apply to buildings used to house livestock.
4. If any change of use is requested - aside from use stated within this report - the variance shall be considered null and void.

To Deny: I move to deny the variance case BA-059-24, a variance to Section 2.30.020 (B&D) of the PCDSC, findings(s)/special circumstances referred to in the subsection (C)(4)(a) of 2.155.040 in PCDSC do not justify approval.

DATE PREPARED: 2/20/25 - PZR

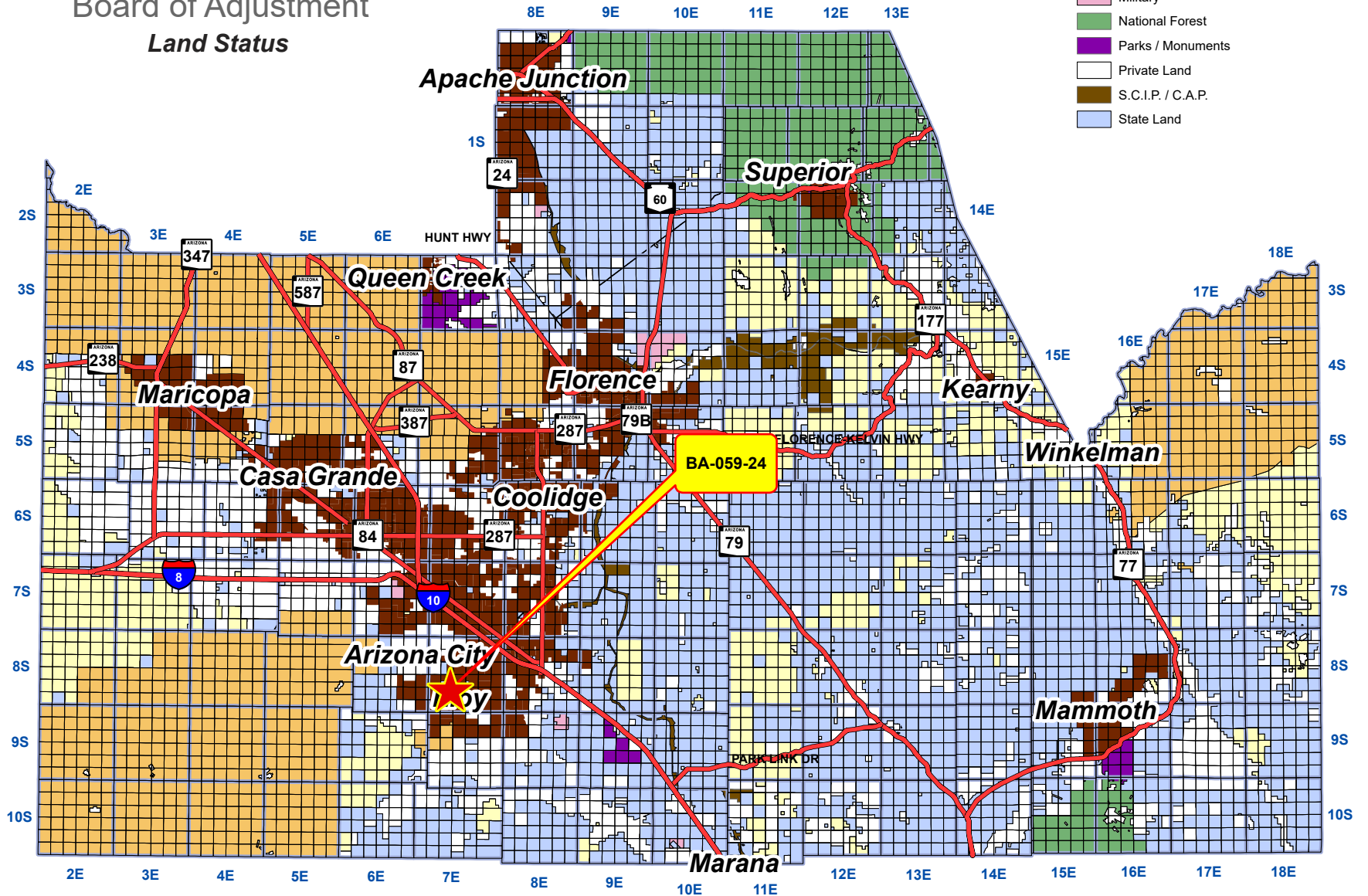
DATE REVISED:

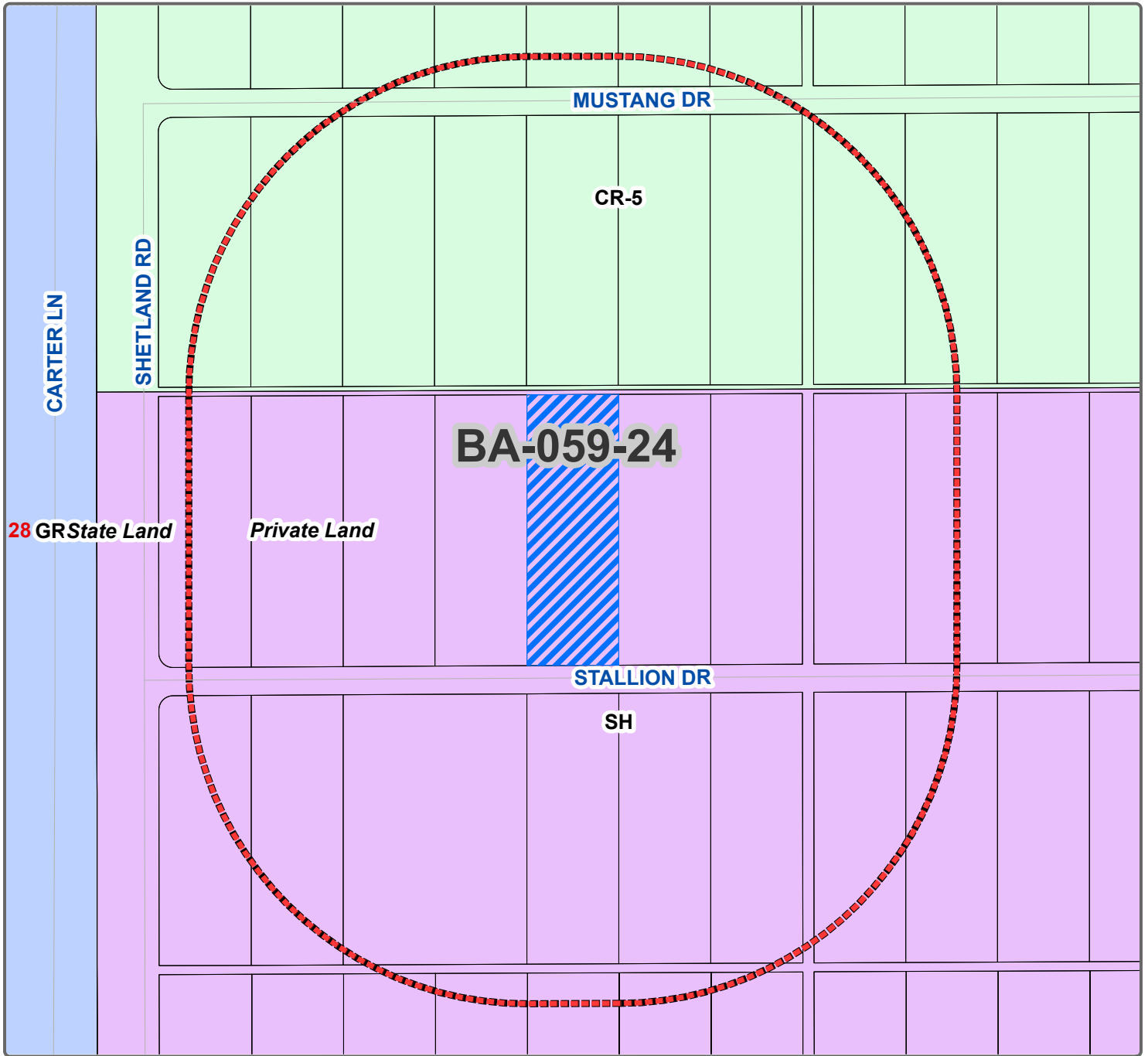
Development Services
Planning Division

Board of Adjustment
Land Status

Legend

-  B.L.M.
-  Indian Community
-  Military
-  National Forest
-  Parks / Monuments
-  Private Land
-  S.C.I.P. / C.A.P.
-  State Land





Board of Adjustment

BA-059-24 – PUBLIC HEARING/ACTION: Marion Memmott, landowner/applicant, requesting a variance to Section 2.30.020 of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 87,120 square feet (2 acres) to ±78,408 square feet (1.8 acre) for a 1.8 acre parcel in the Suburban Homestead Zoning District (SH); situated in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 401-62-0410 (legal on file), located on the north side of E. Stallion Drive and 1,730 feet west of S. Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal County, Arizona.

Current Zoning: SH Requested Zoning: Board of Adjustment Current Land Use: EMPLOYMENT



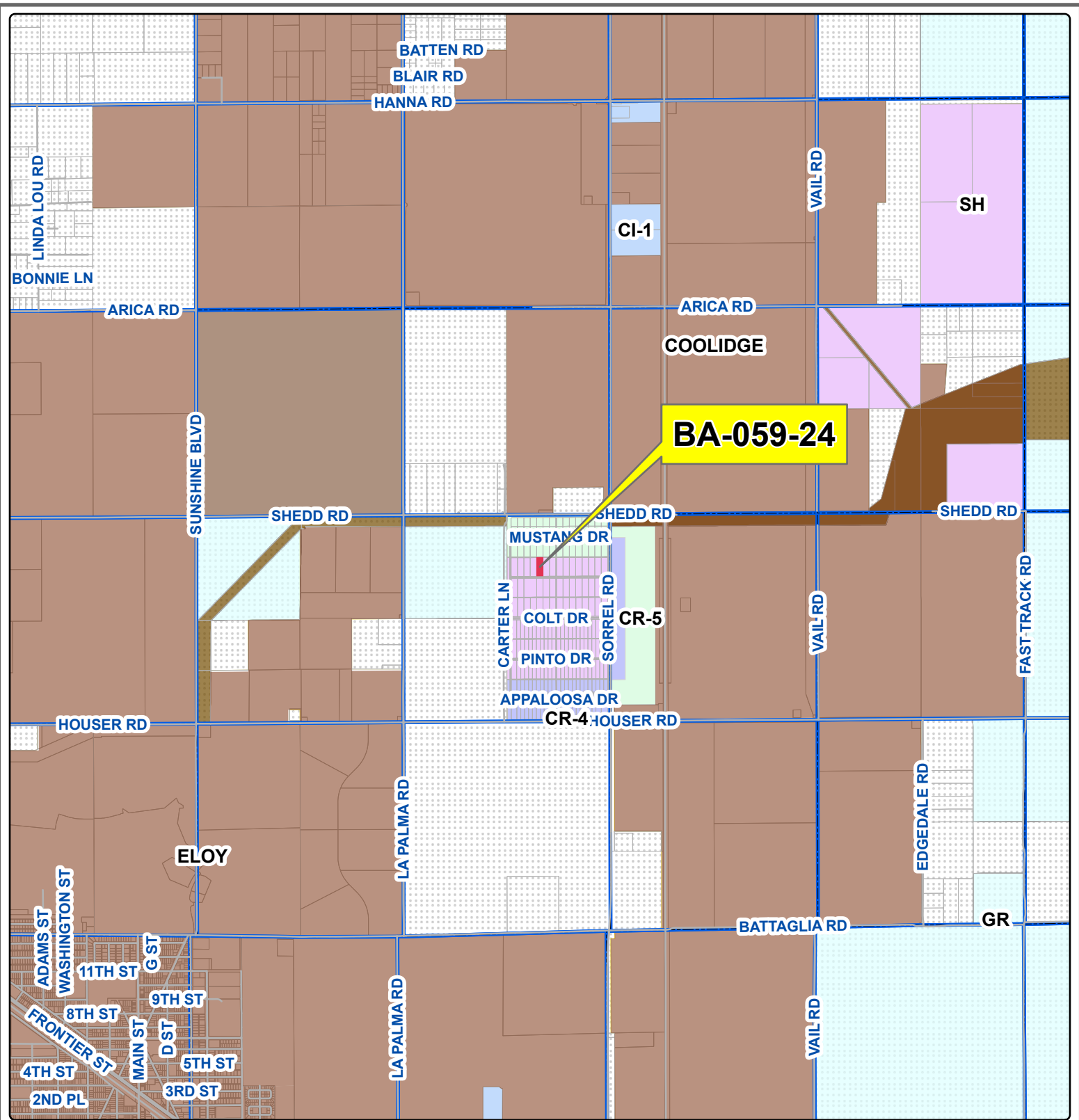
Legal Description:
 Situated in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 401-62-0410 (legal on file), located on the north side of E. Stallion Drive and 1,730 feet west of S. Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal

SEC 28, TWN 07S, RNG 08E



Owner/Applicant: MARION MEMMOTT		
Drawn By: GIS / IT /RWH	Date: 02/03/2025	
Section 28	Township 07S	Range 08E
Case Number: BA-059-24		

Sheet No. 1 of 1




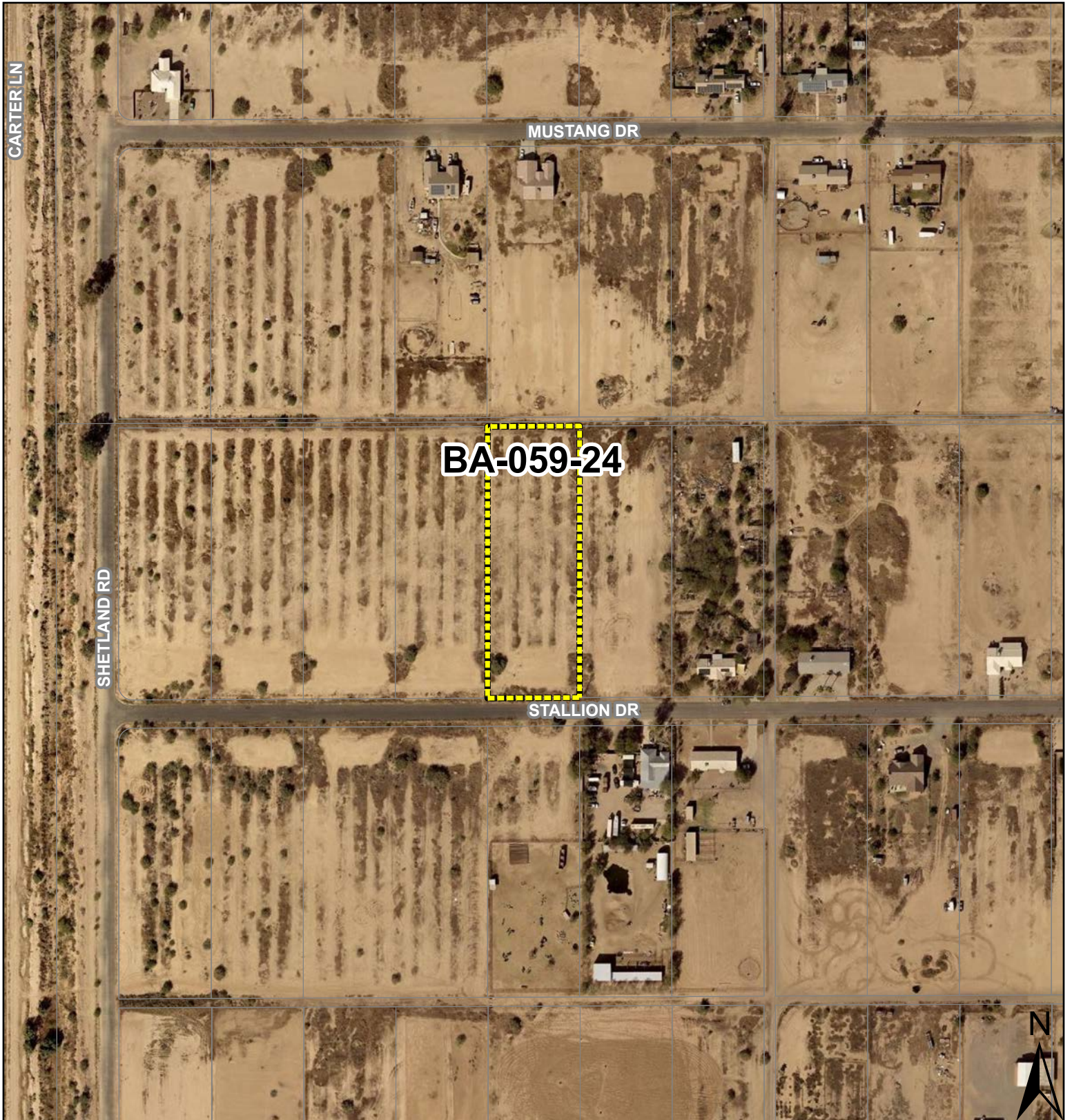
Board of Adjustment
Community Development



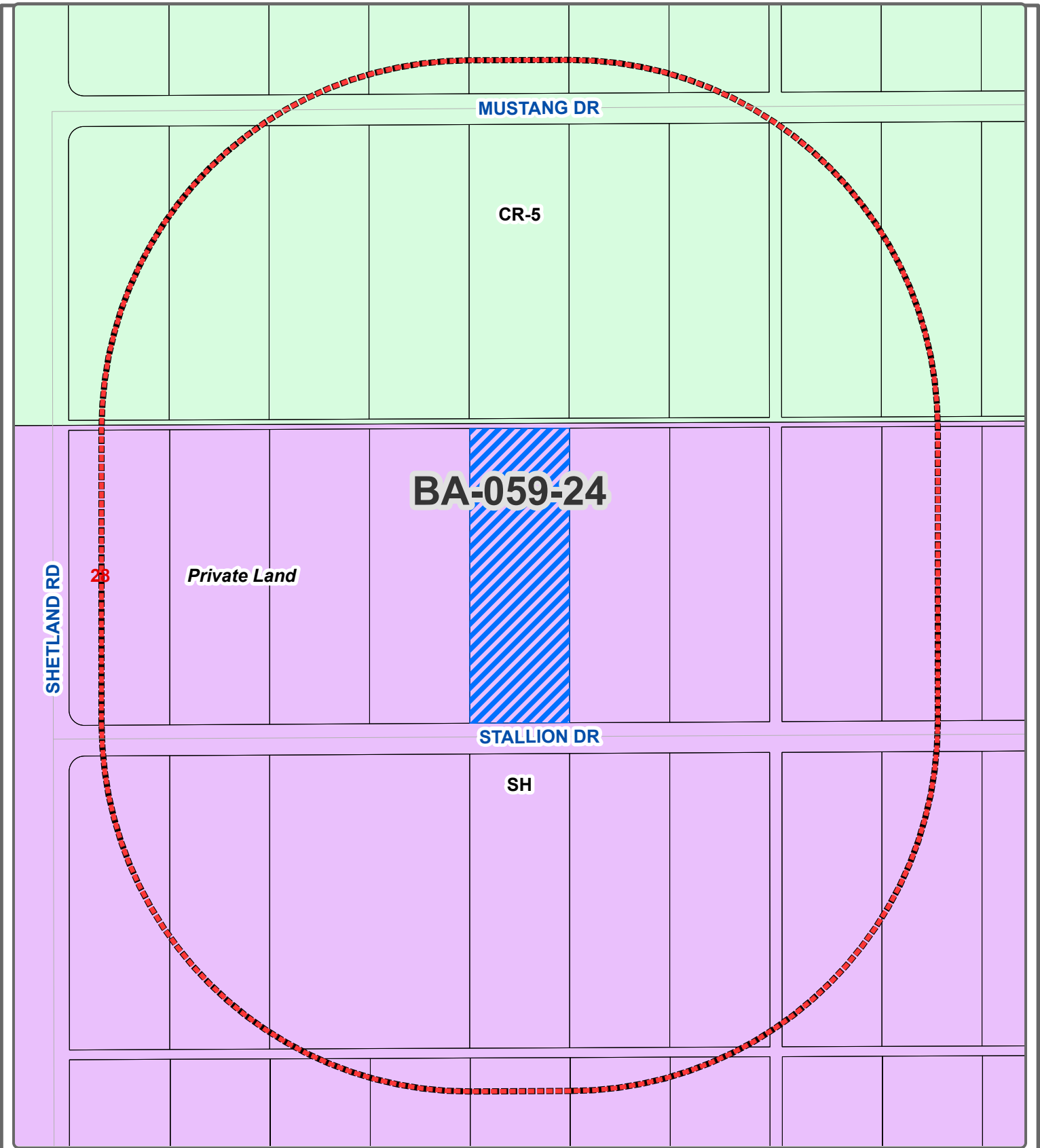
Legal Description:
 Situated in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 401-62-0410 (legal on file), located on the north side of E. Stallion Drive and 1,730 feet west of S. Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal County, Arizona.

Page 78
 SEC 28, TWN 07S, RNG 08E

 Sheet No. 1 of 1	Owner/Applicant: MARION MEMMOTT		
	Drawn By: GIS / IT / RWH	Date: 02/03/2025	
	Section 28	Township 07S	Range 08E
	Case Number: BA-059-24		



Board of Adjustment



BA-059-24

Private Land

Board of Adjustment

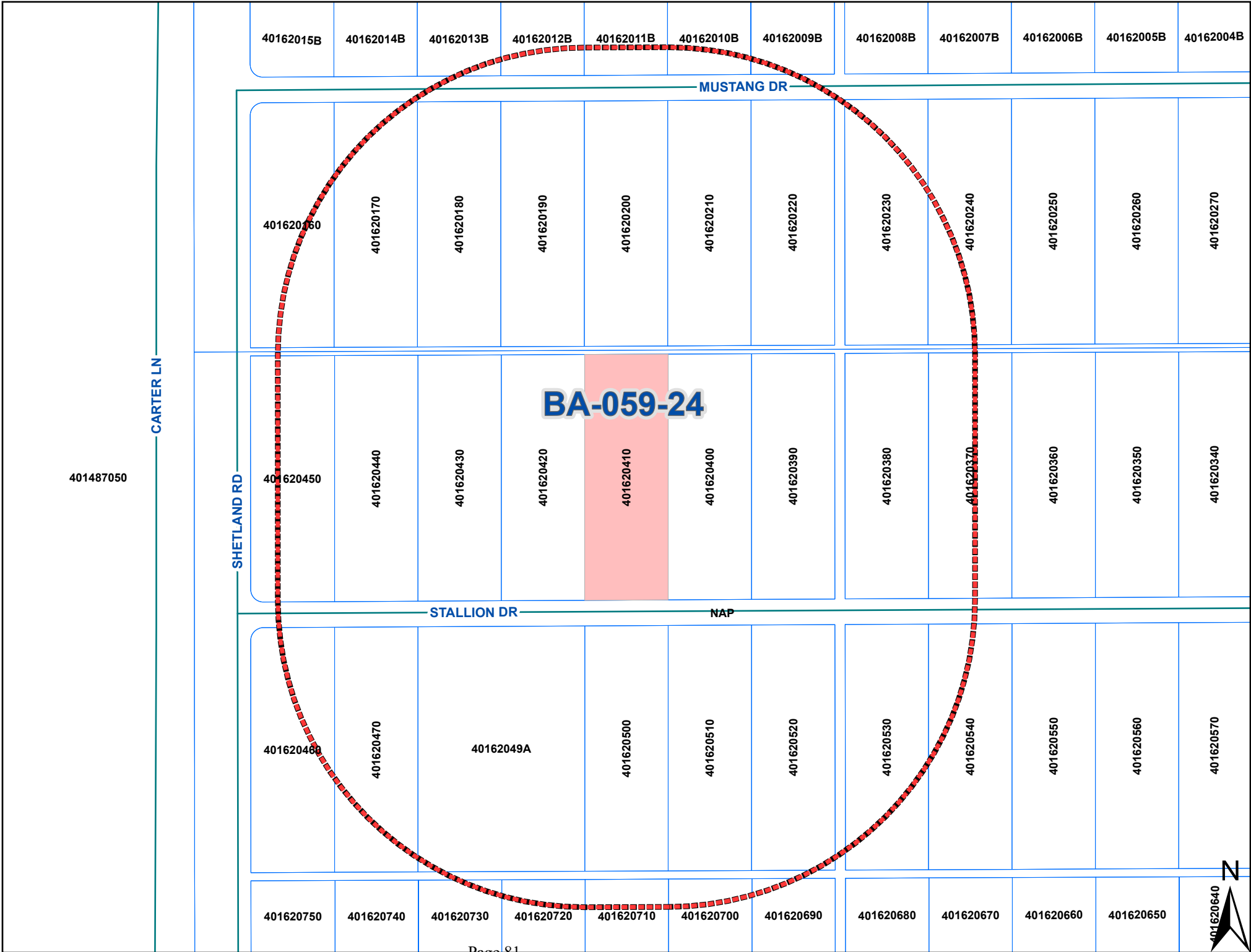
Owner/Applicant: Marion Memmott		
Drawn By: GIS/IT - RWH	Date: 02/03/2025	
Section 28	Township 07S	Range 08E
Case Number: BA-059-24		

Legal Description:
Situating in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 401-62-0410 (legal on file), located on the north side of E. Stallion Drive and 1,730 feet west of S. Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal County, Arizona.
SEC 28, TWN 07S, RNG 08E


 Sheet No.
1 of 1


PINAL COUNTY
 WIDE OPEN OPPORTUNITY

Current Zoning: SH
 Request Zoning: Board of Adjustment
 Current Land Use: EMPLOYMENT



NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING BY THE BOARD OF ADJUSTMENT AND APPEALS AT 9:30 A.M., ON **FEBRUARY 27, 2025** AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER, 85 N FLORENCE STREET IN FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A **VARIANCE** IN THE UNINCORPORATED AREA OF PINAL COUNTY.

BA-059-24 – PUBLIC HEARING/ACTION: Marion Memmott, landowner/applicant, requesting a variance to **Section 2.30.020** of the Pinal County Development Services Code, to allow a reduction in the minimum required lot area from 87,120 square feet (2 acres) to ±78,408 square feet (1.8 acre) for a 1.8 acre parcel in the Suburban Homestead Zoning District (SH); situated in Section 28, Township 07 South, Range 08 East of the Gila and Salt River Baseline and Meridian, tax parcel 401-62-0410 (legal on file), located on the north side of E. Stallion Drive and 1,730 feet west of S. Highway 87, in the Villa Grande Rancheros Subdivision in unincorporated Pinal County, Arizona.

Information regarding the case can be found online at:
<https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PLEASE CALL (520) 866-6442 FOR MORE INFORMATION.

DATED THIS **27TH DAY OF JANUARY, 2025**

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

- 1) Planning Case Number (see above)
- 2) Your name, address, telephone number and property tax parcel number (**Print or type**)
- 3) A brief statement of reasons for supporting or opposing the request
- 4) Whether or not you wish to appear and be heard at the hearing

ANY WRITTEN STATEMENTS ARE ACCEPTED ON AN ONGOING BASIS, BUT WRITTEN STATEMENTS DESIRED TO BE A PART OF THE CASE PACKET FORWARDED TO THE BOARD OF ADJUSTMENTS IS REQUESTED TO BE PROVIDED TO STAFF BY THE TIMEFRAME SET BELOW:

PINAL COUNTY DEVELOPMENT SERVICES
P.O. BOX 749
FLORENCE, AZ 85132

Contact for this matter: Patrick Zaia-Roberts, Senior Planner
e-mail address: Patrick.Roberts@pinal.gov
Phone #: (520) 866-6409

[Anything below this line is not for publication.]

PUBLISHED ONCE:
Pinal Central Dispatch



PINAL COUNTY
WIDE OPEN OPPORTUNITY

APPLICATION FOR VARIANCE OF REGULATIONS IN AN UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA

(All Applications Must Be Typed or Written in Ink) and submitted via the online portal site at
<https://citizenaccess.pinalcountyz.gov/CitizenAccess/>

Variance Request & Property Information:

(Feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

1. Tax Assessor Parcel No.: 401620410 2. Size (to the nearest 1/10th of an acre) 1.8 acre

3. The legal description of the property: 4320 E STALLION DR ELOY, AZ 85131

4. Current zoning: SH PZ-399-73 5. Septic or Sewer? Septic Sewer
Sewer District _____

6. The existing use(s) of the property: Vacant

7. The exact variance request and/or Section(s) of Code impacted: Improve the lot by building a home

8. Is there a zoning violation on the property for which the owner has been cited? If yes, zoning violation #
(CC/BCC) No

9. Discuss any known changes in land use, street arrangement, or other physical conditions that have altered the character of your property or adjoining properties.

No known land use changes

10. State any special circumstances or conditions about the property that do not negatively impact other properties in that zoning district. Also state any physical characteristics of this property that are unique and unlike other properties in the area.

This parcel is the same size as the surrounding parcels, about half of the other surrounding parcels have homes on them that were built several years ago. The zoning criteria has changed over the years so that this parcel is too small to develop according to the current zoning.

COMMUNITY DEVELOPMENT
Planning Division

85 N. Florence St., PO Box 2973, Florence, AZ 85132 T 520-866-6442 FREE 888-431-1311 F 520-866-6530
www.pinalcountyz.gov

11. State how the special circumstances or conditions referred to question #10 are not self-imposed.

There are several neighboring parcels in the Villa Grande Rancheros Subdivision with existing homes

12. State how the granting of this application will not materially affect the health or safety of persons residing or working in the neighborhood and how this variance will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood.

A new single-family dwelling will add value to the neighborhood and subdivision

13. State how the variance will only allow permitted uses in the zoning district in which the property is located.

The requested variance on the subject parcel will allow the building of a single-family residence.

14. State how the strict application of the current regulations would work an unnecessary nonfinancial hardship and how the granting of the variance is necessary for the preservation and enjoyment of substantial existing property rights. Show how all beneficial uses and/or enjoyment of the land will be lost if the variance is not granted. Evidence from an appraiser, realtor or other professionals can be useful.

If the requested variance is not granted, but surrounding parcels have homes, the land use would be worthless because it cannot be improved without a variance granted.

(The following are additional questions for reductions in parking requests only)

15. Site Plan Review or Building Permit Number: Pending

16. Required parking either in total number or ratio: 5 **17.** Requested (# or ratio) #

18. Evidence to support a reduction, this may include codes and ordinance from other jurisdictions, structures with multiple building occupancy types and/or operational characteristics of the particular use that would warrant a reduction: Surrounding parcels with same zoning code have been improved with homes.

I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing.

Marion Memmott 4338 E. Appaloosa Rd, Eloy AZ 85131
Name of Applicant Address

 mwmemmott@gmail.com 480-313-6413
Signature of Applicant E-Mail Address Phone Number

N/A
Name of Agent/Representative Address

N/A
Signature of Agent/Representative E-Mail Address Phone Number

The Agent/Representative has the authority to act on behalf of the landowner/applicant, which includes agreeing to stipulations. The agent will be the contact person for Planning staff and must be present at all hearings. Please use attached Agency Authorization form, if applicable.

Marion Memmott 4338 E. Appaloosa Rd, Eloy AZ 85131
Name of Landowner Address

 mwmemmott@gmail.com 480-313-6413
Signature of Landowner E-Mail Address Phone Number

If the landowner is not the applicant, then the applicant must submit a signed and notarized agency authorization form from the landowner with this application.

Application Checklist:

- Submit a detailed site plan, at least 8½ X 11, but not larger than 11" X 17". The site plan must include the following:
 - Size and shape of parcel; property dimensions; north arrow
 - Adjacent streets; rights-of-way, easements and setbacks; indicate size; purpose and whether public or private
 - Location, size and use of all existing and proposed buildings; show setbacks from property boundary lines and between structures
 - Driveways and parking areas, show access, dimensions and surface material
 - Existing and proposed utilities, show location of lines, size and serving company
 - Any other information as may be applicable – landscaping, natural features i.e.: washes, excavation sites, etc., floor plan
- Submit the "This Application Checklist" for the requested action.
- Submit, or request from the case planner assigned, a list of all property owners within 600' of the subject property boundary showing name, mailing address and tax parcel numbers. This list must be obtained within the 30 days prior to application submission.
- Submit a map of the area with the 600' boundary shown. (A Tax Assessor Parcel Map is acceptable).
- Submit the non-refundable filing fee according to the fee schedule shown on coversheet of the application. (The application is not considered filed until the fees are paid.)
 - A) Residential with 0-499 mail-outs \$500.00
 - B) Residential with 500 or more mail-outs: \$500.00
 - C) Commercial, industrial or transition with 0-499 mail-outs: \$2,084.00
 - D) Commercial, industrial or transition with 500 or more mail-outs: \$2,399.00
- The application and narrative in PDF format.
- I understand that two newspaper publications must be advertised for this variance case per Pinal County staff instructions no later than 21 days before the hearing date as assigned. The applicant is responsible for all publication fees.
- Submitted application via online portal (<https://citizenaccess.pinalcountyz.gov/CitizenAccess/>)

Important:

If the application is incomplete or is not detailed enough, the case will not be presented to the Board of Adjustments.

PROPERTY OWNERSHIP LIST

(Required for filing all applications)

Instructions: Print Name, Address, City, State, Zip Code and Tax Parcel Number for each property owner within 600 feet of the subject parcel boundary. Feel free to attach a separate list if generated digitally. Please see "How to use the Buffer Tool" on our FAQ's page if you are generating the list.

→ See attached list of addresses of all parcels that are within 600 ft of the subject property. ←

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

I hereby verify that the name list above was obtained on the 31 day of October, 2024, at the office of Tax Assessor Parcel Map and is accurate and complete to the best of my knowledge.
(Source of Information) online.

On this 31st day of OCTOBER, 2024, before me personally appeared MARION WILSON MEMMOTT
Signature _____ Date 10/31/2024 (Name of signor)

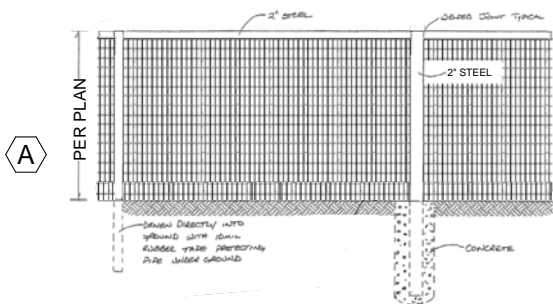
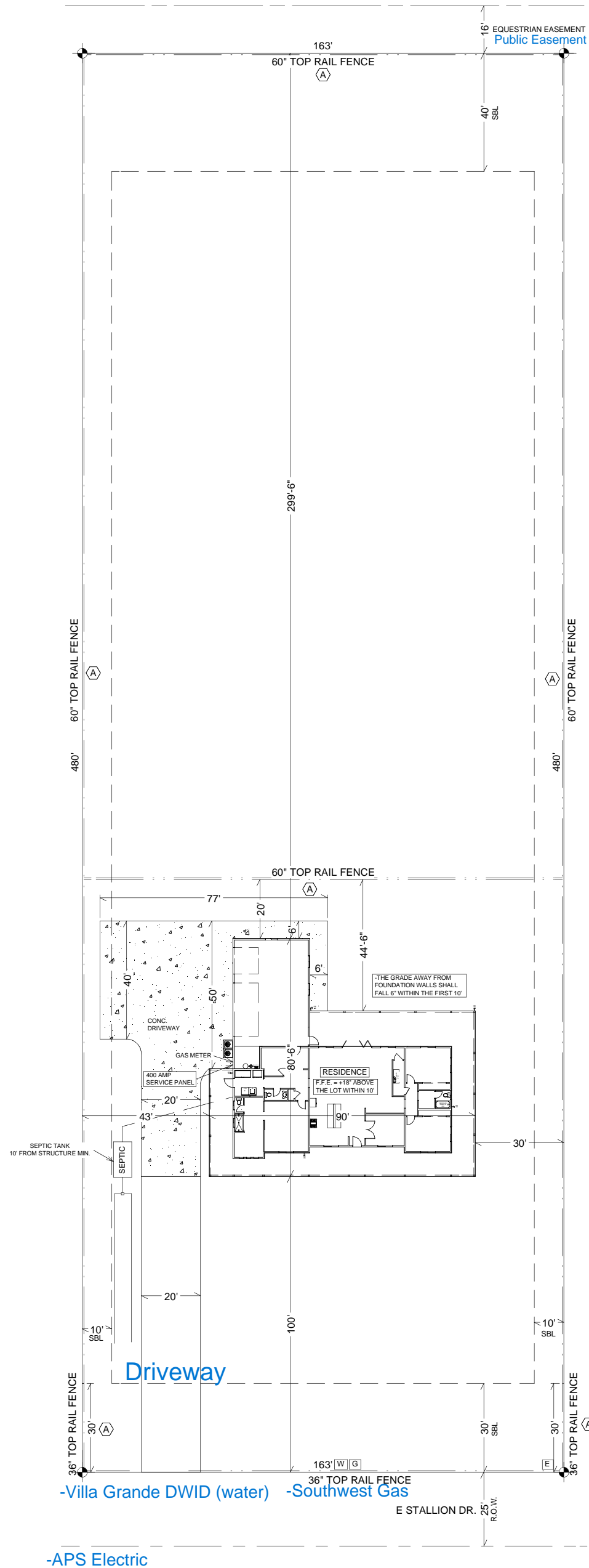
State of ARIZONA)ss.

County of MARICOPA

My Commission Expires 10/31/2026

Signature of Notary Public [Signature]

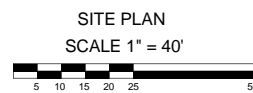


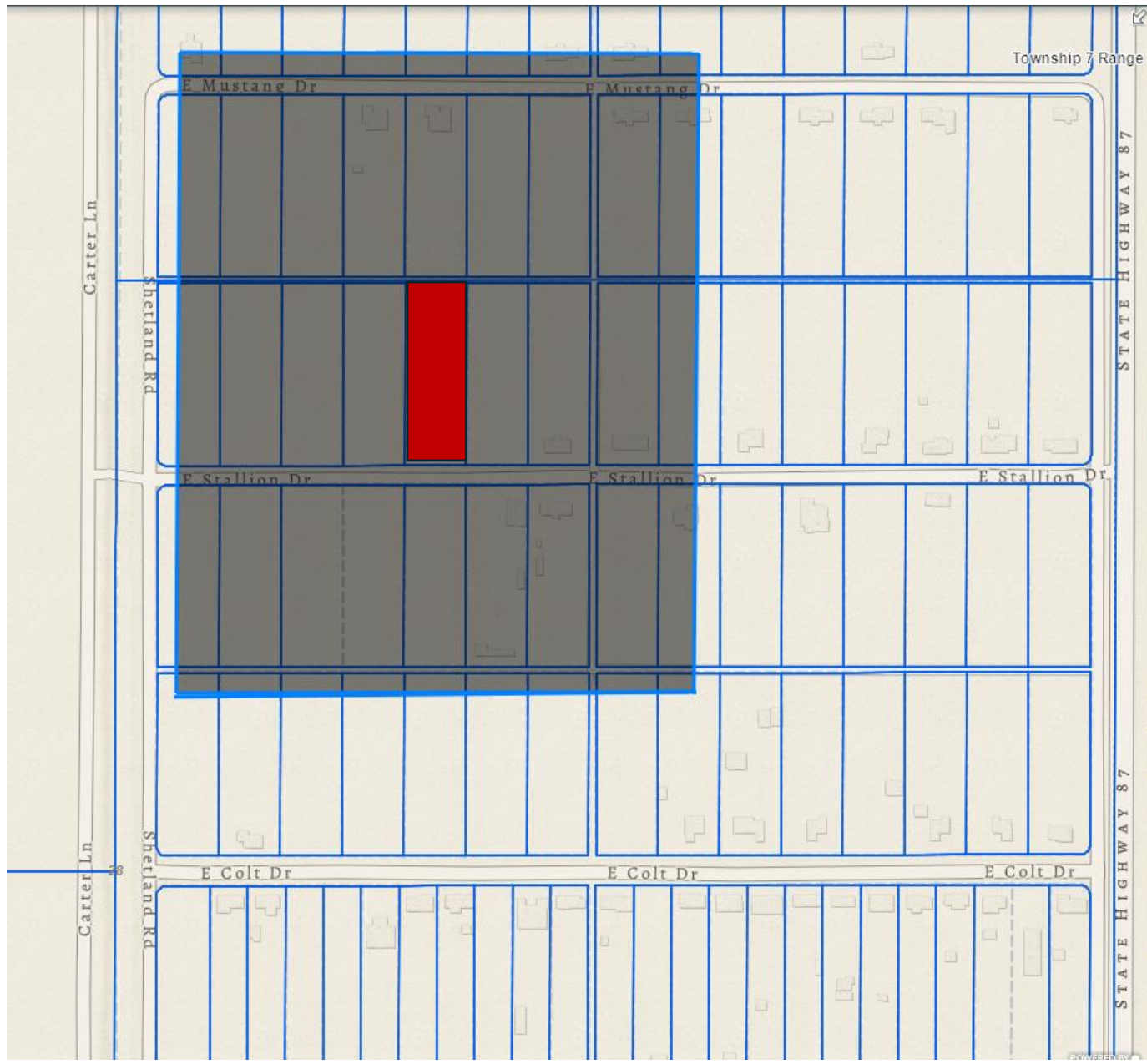


PIPE MESH FENCE DETAIL

ASSESSOR PARCEL NUMBER
401620410
FIRST OWNER NAME
MEMMOTT MARION W & MYRNA L
PROPERTY ADDRESS
4320 E STALLION DR ELOY, AZ 85131
JURISDICTION:
PINAL COUNTY
ZONING: SH

LOT COVERAGE
LOT AREA: 78,408 S.F.
LIVABLE: 2,554 S.F.
PORCH: 1,951 S.F.
GARAGE: 1,017 S.F.
TOTAL: 5,522 S.F.
7.0% COVERAGE





Cross streets:
State Highway 87
and North of Houser

Property Address
4320 E STALLION DR
ELOY, AZ 85131

Subject Property

Assessor Parcel Number

401620410

First Owner Name

MEMMOTT MARION W & MYRNA L

Property Address

4320 E STALLION DR ELOY, AZ 85131

Mailing Address

4338 E APPALOOSA DR
ELOY, AZ 85131

Neighboring Properties

--Assessor Parcel Number

401620420

First Owner Name

GAVINO MIGUEL ROSAS

Property Address

4272 E STALLION DR ELOY, AZ 85131

Mailing Address

501 E RAY RD LOT 167
CHANDLER, AZ 85225

--Assessor Parcel Number

401620430

First Owner Name

SULLIVAN OLIVIA T

Property Address

4220 E STALLION DR ELOY, AZ 85131

Mailing Address

1409 W HUNTINGTON DR
TEMPE, AZ 85282

--Assessor Parcel Number

401620440

First Owner Name

GAVINO MIGUEL ROSAS

Property Address

4168 E STALLION DR ELOY, AZ 85131

Mailing Address

501 E RAY RD LOT 167
CHANDLER, AZ 85225

--Assessor Parcel Number

401620450

First Owner Name

PILLOW KENNETH T TRS

Second Owner Name

KTPILLOW REV TRUST

Property Address

4118 E STALLION DR ELOY, AZ 85131

Mailing Address

651 W ZION LN
SAN TAN VALLEY, AZ 85143

--Assessor Parcel Number

401620160

First Owner Name

PENNEY GEORGE R & TERESA D

Property Address

4119 E MUSTANG DR ELOY, AZ 85131

Mailing Address

2400 E BASELINE AVE LOT 281
APACHE JUNCTION, AZ 85119

--Assessor Parcel Number

401620170

First Owner Name

VALENZUELA JAVIER M & ELOIZA G

Property Address

4169 E MUSTANG DR ELOY, AZ 85131

Mailing Address

2314 E RENEGADE TRL
SAN TAN VALLEY, AZ 85143

--Assessor Parcel Number

401620180

First Owner Name

GAVINO MIGUEL ROSAS

Property Address

4221 E MUSTANG DR ELOY, AZ 85131

Mailing Address

501 E RAY RD LOT 167
CHANDLER, AZ 85225

--Assessor Parcel Number

401620190

First Owner Name

DOUGLAS JOSEPH G & OLLIE JR

Property Address

4273 E MUSTANG DR ELOY, AZ 85131

Mailing Address

4273 E MUSTANG DR
ELOY, AZ 85131

--Assessor Parcel Number
401620200
First Owner Name
AGUIRRE RAMERO G
Property Address
4321 E MUSTANG DR ELOY, AZ 85131
Mailing Address
4321 E MUSTANG DR
ELOY, AZ 85131

--Assessor Parcel Number
401620210
First Owner Name
HART LARRY W
Property Address
4369 E MUSTANG DR ELOY, AZ 85131
Mailing Address
PO BOX 638
MARICOPA, AZ 85139

--Assessor Parcel Number
401620220
First Owner Name
SIMS STEPHEN JOE
Second Owner Name
HERNANDEZ MARIA D
Property Address
4425 E MUSTANG DR ELOY, AZ 85131
Mailing Address
416 W 13TH ST
ELOY, AZ 85131

--Assessor Parcel Number
401620230
First Owner Name
RANKELL HOWARD & ANNA LIV TRUST
Property Address
4479 E MUSTANG DR ELOY, AZ 85131
Mailing Address
PO BOX 580
CARNELIAN BAY, CA 96140

--Assessor Parcel Number
401620240
First Owner Name
DRAKE WILLIAM D JR
Property Address
4533 E MUSTANG DR ELOY, AZ 85131
Mailing Address
4533 E MUSTANG DR
ELOY, AZ 85131

--Assessor Parcel Number
401620370
First Owner Name
GOODMAN-TALLEY ETHEL T
Property Address
4532 E STALLION DR ELOY, AZ 85131
Mailing Address
401 E PALM ST
LITCHFIELD PARK, AZ 85340

--Assessor Parcel Number
401620380
First Owner Name
GOODMAN ETHEL
Property Address
4478 E STALLION DR ELOY, AZ 85131
Mailing Address
401 E PALM ST
LITCHFIELD PARK, AZ 85340

--Assessor Parcel Number
401620390
First Owner Name
HARRIS MARTRAIL S
Second Owner Name
GUERRERO VANESSA M
Property Address
4428 E STALLION DR ELOY, AZ 85131
Mailing Address
4428 E STALLION DR
ELOY, AZ 85131

--Assessor Parcel Number
401620400
First Owner Name
CARA DANIEL & MONICA
Property Address
4368 E STALLION DR ELOY, AZ 85131
Mailing Address
727 W ZION LN
SAN TAN VALLEY, AZ 85143

--Assessor Parcel Number
40162007B
First Owner Name
BALAGVER FELICIANO MUNOZ
Property Address
4532 E MUSTANG DR ELOY, AZ 85131
Mailing Address
MAIL RETURN

--Assessor Parcel Number
40162008B
First Owner Name
BENJAMIN MARK
Property Address
4478 E MUSTANG DR ELOY, AZ 85131
Mailing Address
4478 E MUSTANG DR
ELOY, AZ 85131

--Assessor Parcel Number
40162009B
First Owner Name
ROBERTS TIMOTHY D & BRADBURY KELLEY L
Property Address
4428 E MUSTANG DR ELOY, AZ 85131
Mailing Address
4428 E MUSTANG DR
ELOY, AZ 85131

--Assessor Parcel Number
40162010B
First Owner Name
PERALTA ROBERTO M & ANA E
Property Address
4368 E MUSTANG DR ELOY, AZ 85131
Mailing Address
1638 S LEMON
MESA, AZ 85206

--Assessor Parcel Number
40162011B
First Owner Name
PERALTA ROBERTO M & ANA E
Property Address
4320 E MUSTANG DR ELOY, AZ 85131
Mailing Address
1638 S LEMON
MESA, AZ 85206

--Assessor Parcel Number
40162012B
First Owner Name
PERALTA ROBERTO M & ANA E
Property Address
4272 E MUSTANG DR ELOY, AZ 85131
Mailing Address
1638 S LEMON
MESA, AZ 85206

--Assessor Parcel Number
40162013B
First Owner Name
REYES ALMA ROSARIO
Property Address
4220 E MUSTANG DR ELOY, AZ 85131
Mailing Address
MAIL RETURN

--Assessor Parcel Number
40162014B
First Owner Name
REYES ALMA ROSARIO
Property Address
4168 E MUSTANG DR ELOY, AZ 85131
Mailing Address
MAIL RETURN

--Assessor Parcel Number
40162015B
First Owner Name
WASHBURN CAUY D & MARSHA L LIV TRUST
Property Address
4118 E MUSTANG DR ELOY, AZ 85131
Mailing Address
PO BOX 830
ELOY, AZ 85131

--Assessor Parcel Number
401620460
First Owner Name
MCCLEVE JOHN P & YVETTE K
Property Address
4119 E STALLION DR ELOY, AZ 85131
Mailing Address
9633 E OSAGE AVE
MESA, AZ 85212

--Assessor Parcel Number
401620470
First Owner Name
CARDONA PATRICK DAVID
Property Address
4169 E STALLION DR ELOY, AZ 85131
Mailing Address
6108 E VALLEY VIEW DR
FLORENCE, AZ 85132

--Fee Number
2007-101769
Book Number
21
Page Number
236
Survey Lot Number

--Assessor Parcel Number
40162049A
First Owner Name
ELOY CHURCH OF CHRIST
Property Address
4221 E STALLION DR ELOY, AZ 85131
Mailing Address
2680 N GRANNEN RD
TUCSON, AZ 85745

--Assessor Parcel Number
401620500
First Owner Name
BARTLETT BRUCE EDWARD
Second Owner Name
WANG-BARTLETT THONETTA RUTH
Property Address
4321 E STALLION DR ELOY, AZ 85131
Mailing Address
4369 E STALLION DR
ELOY, AZ 85131

--Assessor Parcel Number
401620510
First Owner Name
WANG-BARTLETT THONETTA SEPARATE
PROPERTY
Property Address
4369 E STALLION DR ELOY, AZ 85131
Mailing Address
4369 E STALLION DR
ELOY, AZ 85131

--Assessor Parcel Number
401620520
First Owner Name
MILLS ANITA LEE
Property Address
4425 E STALLION DR ELOY, AZ 85131
Mailing Address
PO BOX 193
TAYLOR, AZ 85939

--Assessor Parcel Number
401620530
First Owner Name
RALLS TANNER S TRS
Second Owner Name
TANNER RALLS REV TRUST
Property Address
4479 E STALLION DR ELOY, AZ 85131
Mailing Address
4937 N OLD SPRUCE DR
PINE, AZ 85544

--Assessor Parcel Number
401620540
First Owner Name
STEVENS MARK T
Second Owner Name
STRANSKY BLANCA ALVAREZ
Property Address
4533 E STALLION DR ELOY, AZ 85131
Mailing Address
4015 ASHFORD CIR
HOLLISTER, CA 95023

--Assessor Parcel Number
401620670
First Owner Name
LEOS CARMEN
Property Address
4532 E COLT DR ELOY, AZ 85131
Mailing Address
4532 E COLT DR
ELOY, AZ 85131

--Assessor Parcel Number
401620680
First Owner Name
VASQUEZ SAMUEL & CRISTINA I
Property Address
4480 E COLT DR ELOY, AZ 85131
Mailing Address
338 S CATALINA ST
GILBERT, AZ 85233

--Assessor Parcel Number
401620690
First Owner Name
GUERRERO UBALDO & JULIETA
Property Address
4428 E COLT DR ELOY, AZ 85131
Mailing Address
252 W ARDMORE RD
PHOENIX, AZ 85041

--Assessor Parcel Number
401620700
First Owner Name
BARTLETT EQUIPMENT CO LLC
Property Address
4368 E COLT DR ELOY, AZ 85131
Mailing Address
PO BOX 293
COOLIDGE, AZ 85128

--Assessor Parcel Number
401620710
First Owner Name
TAPIA JOSE Y & CELESTINA M
Property Address
4320 E COLT DR ELOY, AZ 85131
Mailing Address
251 S CHOLLA ST
GILBERT, AZ 85233

--Assessor Parcel Number
401620720
First Owner Name
ARCADIA LAND HOLDINGS LLC
Property Address
4272 E COLT DR ELOY, AZ 85131
Mailing Address
5620 HIGHLANDS TRL N
LAKE ELMO, MN 55042

--Assessor Parcel Number
401620730
First Owner Name
ABED AMMAR S
Property Address
4220 E COLT DR ELOY, AZ 85131
41817 W SUNLAND DR
MARICOPA, AZ 85138

--Assessor Parcel Number
401620740
First Owner Name
LIBBEY WILLIE
Property Address
4168 E COLT DR ELOY, AZ 85131
Mailing Address
4168 E COLT DR
ELOY, AZ 85131

--Assessor Parcel Number
401620750
First Owner Name
JIMENEZ ERIC
Property Address
4118 E COLT DR ELOY, AZ 85131
Mailing Address
1718 ENGLISH ST
SANTA ANA, CA 92706

NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or in opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: 6 FEB 2025

POST COPY OF ACTUAL NOTICE BELOW.

The image shows two pages of a public hearing notice document. The left page contains text, and the right page contains a site plan diagram. The site plan diagram shows a purple shaded area with a blue rectangle labeled 'SA 0001-24' in the center. The diagram is overlaid on a grid. Below the diagram, there is a legend and other text.







