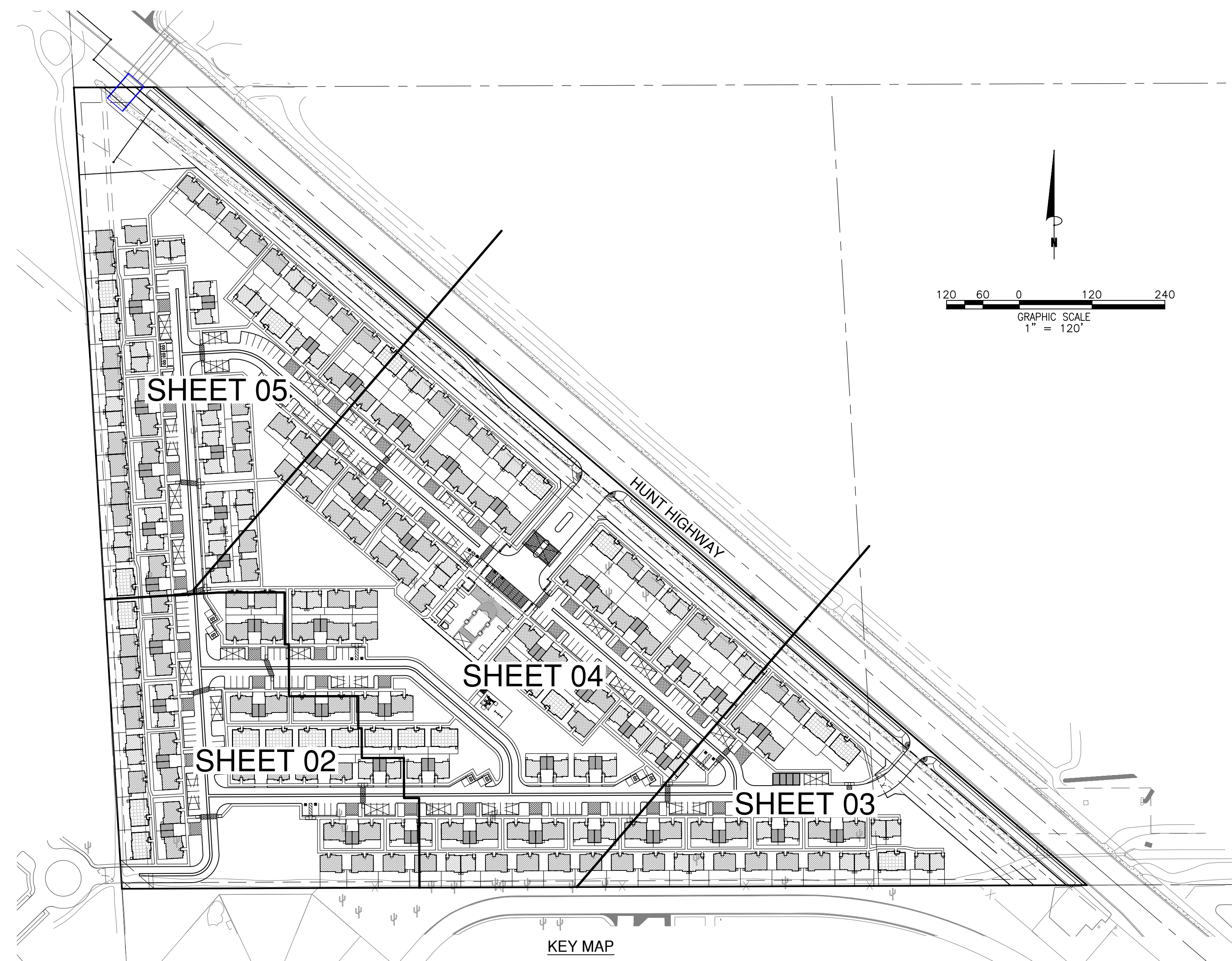
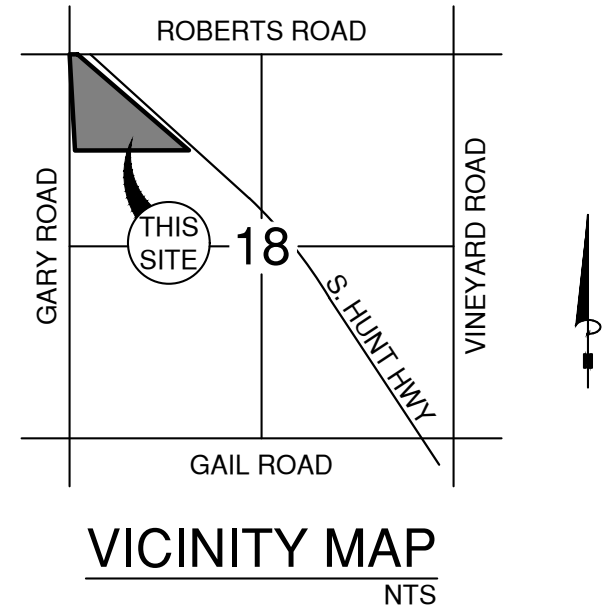


HUNT HIGHWAY SOUTH PLANNED AREA DEVELOPMENT SAN TAN VALLEY, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH,
RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY



SITE DATA/LAND USE TABLE	
ASSESSOR PARCEL NUMBER	PORTION OF 210-18-8220
TOTAL GROSS ACREAGE (AC)	28.78
PAD NET AREA (AC) (TOTAL AC. - COMMERCIAL/INDUSTRIAL)	28.78
TOTAL AREA OF ARTERIAL AND COLLECTOR STREET (AC)	2.55
OPEN SPACE	
TOTAL PUBLIC OPEN SPACE PERIMETER (AC)	2.92
TOTAL PAD PASSIVE OPEN SPACE (AC)	6.70
TOTAL PAD ACTIVE OPEN SPACE (AC)	2.95
TOTAL PRIVATE OPEN SPACE(AC)	3.26
TOTAL AREA OF OPEN SPACE (AC)	15.83
TOTAL PERCENTAGE OF OPEN SPACE	55.00%
DWELLING UNIT TYPE	
1 BEDROOM	38
1 BED WITH GARAGE	38
2 BEDROOM	66
2 BED WITH GARAGE	64
3 BEDROOM	22
TOTAL NUMBER OF DWELLING UNITS	228
OVERALL PAD DENSITY (DU/AC)	7.92

DESIGNATED FLOOD ZONE		
ZONE	FLOOD MAP NUMBER	EFFECTIVE DATE
X	04021C0475E	12/04/2007

SITE PLAN NOTES
HUNT HIGHWAY IS DENOTED AS A REGIONAL SIGNIFICANT ROUTE. BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY ALLIANCE LAND SURVEY LLC, DATED 11/13/2019.
PROPERTY MANAGEMENT WILL OWN, CONTROL AND MAINTAIN THE LANDSCAPING, RECREATIONAL FACILITIES, OPEN AREAS, REFUSE DISPOSAL, STREETS AND PRIVATE UTILITY SYSTEMS.
ONSITE STORM WATER WILL RETAIN THE 100 YEAR 6 HOUR STORM WATER IN UNDERGROUND RETENTION.
OFFSITE DRAINAGE WILL BE ROUTED TO THE AN EXISTING CONCRETE BOX CULVERT AT THE NORTHWEST CORNER OF THE SITE DISCHARGING UNDER HUNT HIGHWAY.
LANDSCAPE PLANS WILL INDICATE LOCATION, TYPE, HEIGHT, AND MATERIALS FOR PROPOSED WALLS, FENCES, AND SIGNS.

LEGAL DESCRIPTION
THAT PORTION OF GLO LOT 1 IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 8 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 18, FROM WHICH POINT THE NORTHEAST CORNER OF SAID SECTION 18 BEARS NORTH 89°46'52" EAST (BASIS OF BEARINGS), A DISTANCE OF 5321.93 FEET;

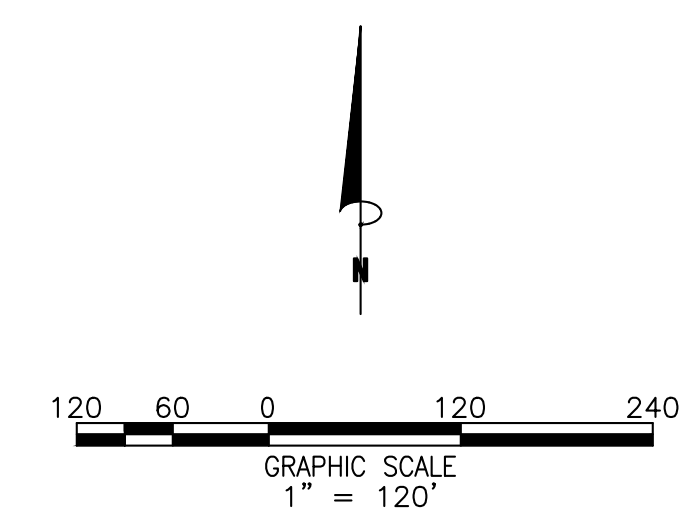
THENCE NORTH 89°46'52" EAST, ALONG THE NORTH LINE OF SAID SECTION 18, A DISTANCE OF 135.59 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY OF HUNT HIGHWAY;

THENCE SOUTH 49°23'09" EAST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 2022.44 FEET TO THE SOUTH LINE OF SAID GLO LOT 1;

THENCE SOUTH 89°46'57" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 1591.57 FEET TO THE SOUTHWEST CORNER OF SAID GLO LOT 1;

THENCE NORTH 03°25'55" WEST, ALONG THE WEST LINE OF SAID GLO LOT 1, A DISTANCE OF 1324.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,141,952 SQ.FT. OR 26.2156 ACRES, MORE OR LESS.



	NUMBER OF UNITS	PARKING REQUIRED PER UNIT	TOTAL PARKING REQUIRED
1 BEDROOM	38	1.5	57
1 BED WITH GARAGE	38	1.5	57
2 BEDROOM	66	2.0	132
2 BED WITH GARAGE	64	2.0	128
3 BEDROOM	22	2.0	44
TOTALS	228		
REQUIRED MIN. BY MUNICIPALITY			418
REQUIRED GUEST PARKING (1 SPACE PER 10 UNITS)			23
TOTAL PARKING REQUIRED BY MUNICIPALITY			441
COVERED PARKING (NON-ADA)			144
COVERED PARKING (ADA)			4
UNCOVERED PARKING (NON-ADA)			103
UNCOVERED PARKING (ADA)			10
ATTACHED GARAGES			102
RESERVED DRIVEWAY SPACES			102
RESERVED DRIVEWAY ACCESS SPACES			82
DETACHED GARAGES			4
OVERALL PARKING PROVIDED			551

AMENDED DEVELOPMENT STANDARDS TABLE		
ZONING	REQUIRED MR	PROPOSED MR W/PAD OVERLAY
	MR	MR PAD
MINIMUM LOT AREA	7000	7000
MINIMUM LAND AREA/DWELLING (SF)	1,750	5,498
MINIMUM LOT WIDTH	50'	50'
MINIMUM FRONT SETBACK	25'	25'
MINIMUM REAR SETBACK	25'	25'
MINIMUM SIDE SETBACK	10'	10'
MAXIMUM BUILDING HEIGHT	36'	30'
MINIMUM DISTANCE BETWEEN MAIN AND DETACHED ACCESSORY BUILDINGS	20'	10'

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	PLANNED AREA DEVELOPMENT
03	PLANNED AREA DEVELOPMENT
04	PLANNED AREA DEVELOPMENT
05	PLANNED AREA DEVELOPMENT
06	DETAILS

UTILITIES AND SERVICE				
UTILITY AND SERVICE	PROVIDER	CONTACT	EMAIL	PHONE
Water/Sewer	EPCOR	Brad Finke	BFinke@epcor.com	(623) 445-2402
Irrigation	New Magma Irrigation & Drainage District	Maaikie M. Hough, P.E.	mhough@gcairoinc	(480) 921-4080
Gas	City of Mesa	Kathy Campos	kathy.campos@mesaz.gov	(480) 644-4273
Electric	Salt River Project	Garrett Donaldson	Garrett.Donaldson@srpnet.com	(602) 236-3039
Telephone	CenturyLink	Mark Grabowski	mgrabowski@terratechinc.net	(623) 312-6665
Cable TV	Cox Communication	TBD	constructionsupport@cox.com	(800) 234-3993
Police	Pinal County Sheriffs Department	Mark Lamb	pcsopsu@pinalcountyz.gov	(520) 866-5111
Fire	Rural Metro	Tim Soule	tsoule@ruralmetrofire.com	(800) 645-9413
Schools	Pinal County School District	Jill Broussard	Jill.Broussard@pinalcountya.gov	(520) 866-6565
Solid Waste Disposal	Right Away Disposal	TBD	TBD	(480) 983-9100

PROJECT CONSULTANT TEAM

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HANCOCK COMMUNITIES, LLC
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4040 E. CAMELBACK ROAD
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PHOENIX, AZ 85018
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CIVIL ENGINEER
BOWMAN
CONTACT: MATT CAWLEY
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TEMPE, AZ 85281
EMAIL: MCAWLEY@BOWMAN.COM
PHONE: (480) 346-1425

LAND USE ATTORNEY
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1744 S VAL VISTA DR, STE 217
MESA, AZ 85204
EMAIL: SEAN.LAKE@PEWANDLAKE.COM
PHONE: (480) 461-4670

OWNER
VAN TUYL COMPANIES
14747 N. NORTHSIDE BLVD.
SUITE 111-431
SCOTTSDALE, AZ 85260
CONTACT: CHRIS HAINES

ARCHITECT
BARDUSON ARCHITECTS
CONTACT: STEVE BARDUSON
3702 EAST KACHINA DRIVE
PHOENIX, AZ 85044
PHONE: (480) 967-7007
EMAIL: STEVE@BARDUSON.COM

LANDSCAPE ARCHITECT
WESTLAND RESOURCES, INC.
CONTACT: RICK SCHONFELD, RLA
4001 E PARADISE FALLS DR
TUCSON, AZ 85712
EMAIL: RSHONEFELD@WESTLANDRESOURCES.COM
PHONE: (520) 206-8585

LEGEND

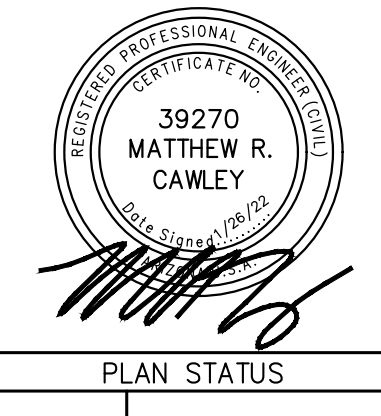
<ul style="list-style-type: none"> ○ HANDICAP PARKING ○ DRYWELL OR CATCH BASIN ○ ELECTRIC BOX ○ FIBER OPTIC MARKER ○ BLOW-OFF VALVE ○ FIRE HYDRANT ○ GAS VALVE ○ LIGHT POLE ○ STORM DRAIN MANHOLE ○ TELEPHONE RISER ○ TELEPHONE JUNCTION BOX ○ TV JUNCTION BOX ○ WATER VALVE ○ SAGUARO ○ GARAGE PARKING ○ COVERED PARKING ○ TRASH ENCLOSURE 	<ul style="list-style-type: none"> --- SECTION LINE --- STREET CENTERLINE --- RIGHT OF WAY LINE --- EASEMENT LINE --- SUBJECT PROPERTY --- FENCE --- EXISTING SEWER LINE --- EXISTING WATER LINE --- EXISTING RECLAIMED WATER LINE --- EXISTING GAS LINE --- EXISTING TELEPHONE LINE --- BACK OF CURB --- RIGHT OF WAY --- PUBLIC UTILITY EASEMENT --- EASEMENT --- LANDSCAPE --- EDGE OF PAVEMENT --- RESERVED PARKING --- ONE BEDROOM --- TWO BEDROOM --- THREE BEDROOM
--	--



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PLANNED AREA DEVELOPMENT
HUNT HIGHWAY SOUTH
SAN TAN VALLEY, AZ
PINAL COUNTY

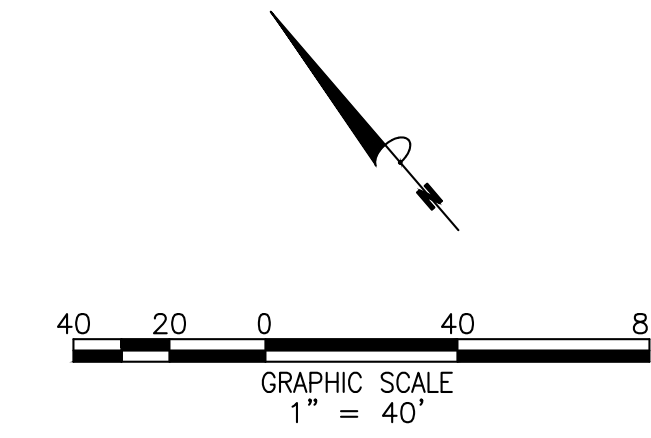
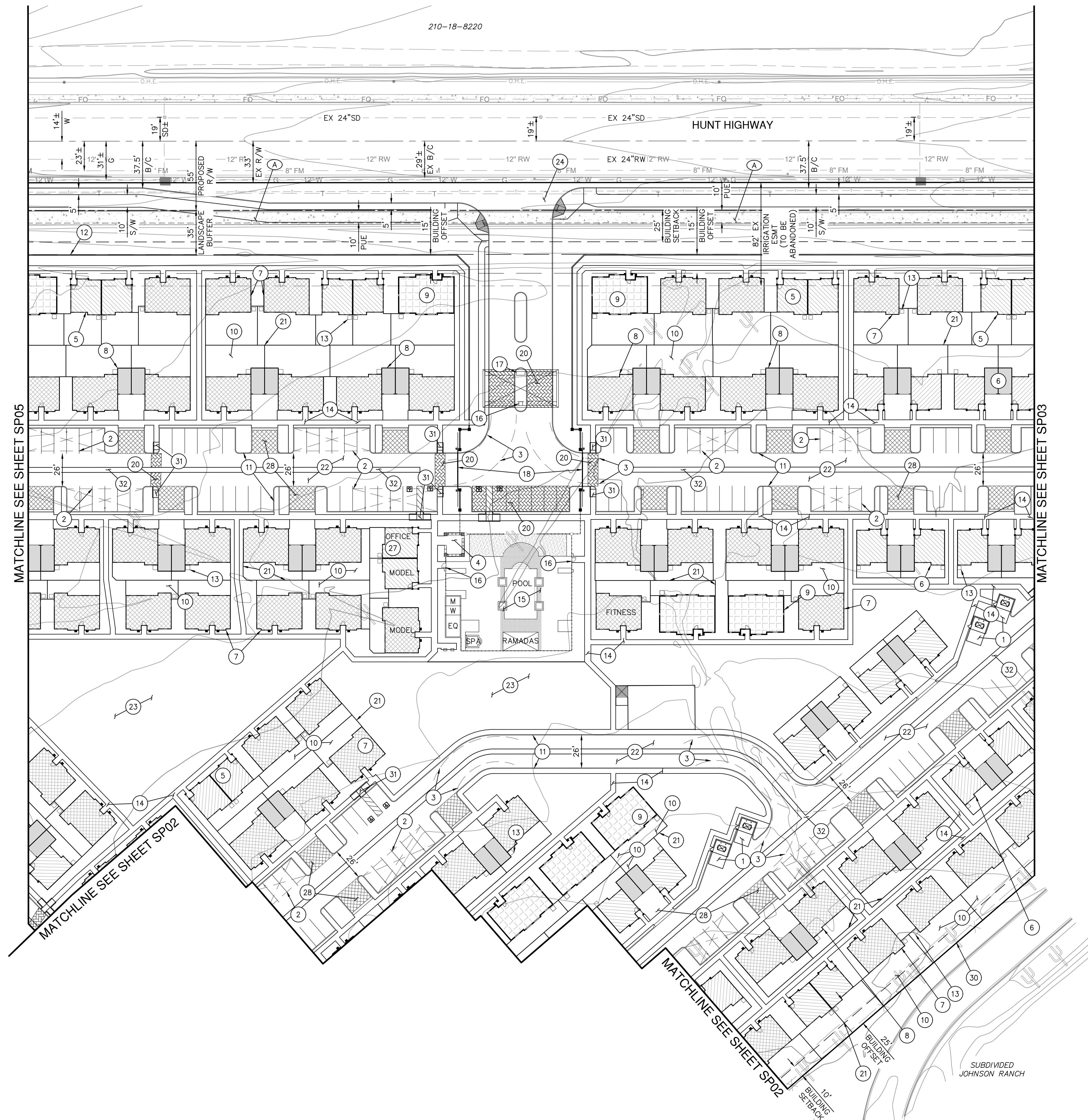
PZ-PA-013-21/PZ-PD-022-21
PROJECT NUMBER



PLAN STATUS		
DATE	DESCRIPTION	BY
1/26/22	2nd SUBMITTAL	
DAB	DAB	DF
DESIGN	DRAWN	CHKD
SCALE	H:	V:
JOB No.	050949-01-001	
DATE :	01/26/2022	

SP01
SHEET 01 OF 06





KEY NOTES

- 1 REFUSE CONTAINER
- 2 PROPOSED COVERED PARKING (TYP)
- 3 35' INSIDE RADIUS, 55' OUTSIDE RADIUS (TYP)
- 4 MAIL BOX LOCATION
- 5 (2) ONE BEDROOM UNITS (TYP)
- 6 (2) ONE BEDROOM UNITS WITH GARAGES (TYP)
- 7 TWO BEDROOM UNIT (TYP)
- 8 (2) TWO BEDROOM UNITS WITH GARAGES (TYP)
- 9 THREE BEDROOM UNIT (TYP)
- 10 PRIVATE BACKYARDS W/ACCESS THROUGH GATES (TYP)
- 11 6" CURB
- 12 6' PERIMETER THEME WALL, SEE LANDSCAPE PLANS
- 13 A/C UNIT IN REAR YARDS (TYP)
- 14 CONCRETE SIDEWALK 4' WIDTH UNLESS OTHERWISE SPECIFIED
- 15 POOL COMPLEX
- 16 KEY SWIPE PED. ACCESS GATE
- 17 SITE MAP MONUMENT
- 18 INGRESS/EGRESS GATE (PROVIDE 8 SQ FT OF REFLECTIVE MATERIAL ON BOTH FACES)
- 19 ENTRY MONUMENT
- 20 STAMPED ASPHALT CROSSING
- 21 REAR YARD VINYL FENCE
- 22 ASPHALT
- 23 OPEN SPACE GRASS AMENITY AREA
- 24 PRIMARY PROJECT ENTRY (WIDTH 50')
- 25 NOT USED
- 26 DETACHED GARAGE
- 27 LEASING OFFICE
- 28 PRIVATE RESERVED DRIVEWAY (TYP)
- 29 TEMPORARY OPEN SPACE/DRIVEWAY TO BE INSTALLED WHEN GARY ROAD ACCESS IS PROVIDED
- 30 7' BLOCK WALL, SEE LANDSCAPE PLANS
- 31 PEDESTRIAN RAMP WITH DETECTIVE WARNING
- 32 4' CONCRETE VALLEY GUTTER (TYP)
- A EXISTING IRRIGATION DITCH TO BE REMOVED

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PLANNED AREA DEVELOPMENT
HUNT HIGHWAY SOUTH

PINAL COUNTY
SAN TAN VALLEY, AZ

PZ-PA-013-21/PZ-PD-022-21
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PLAN STATUS

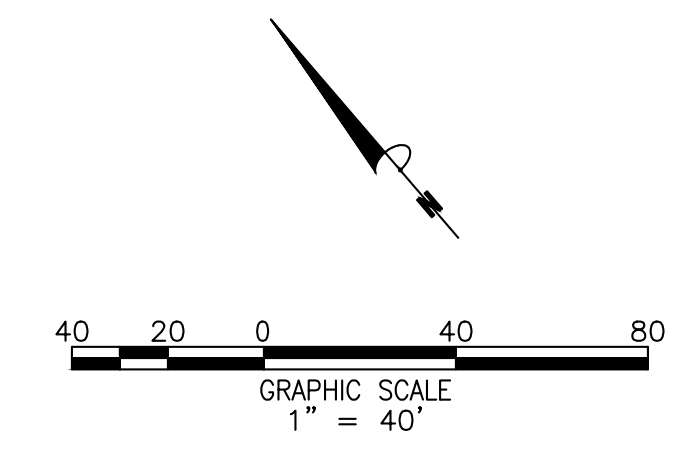
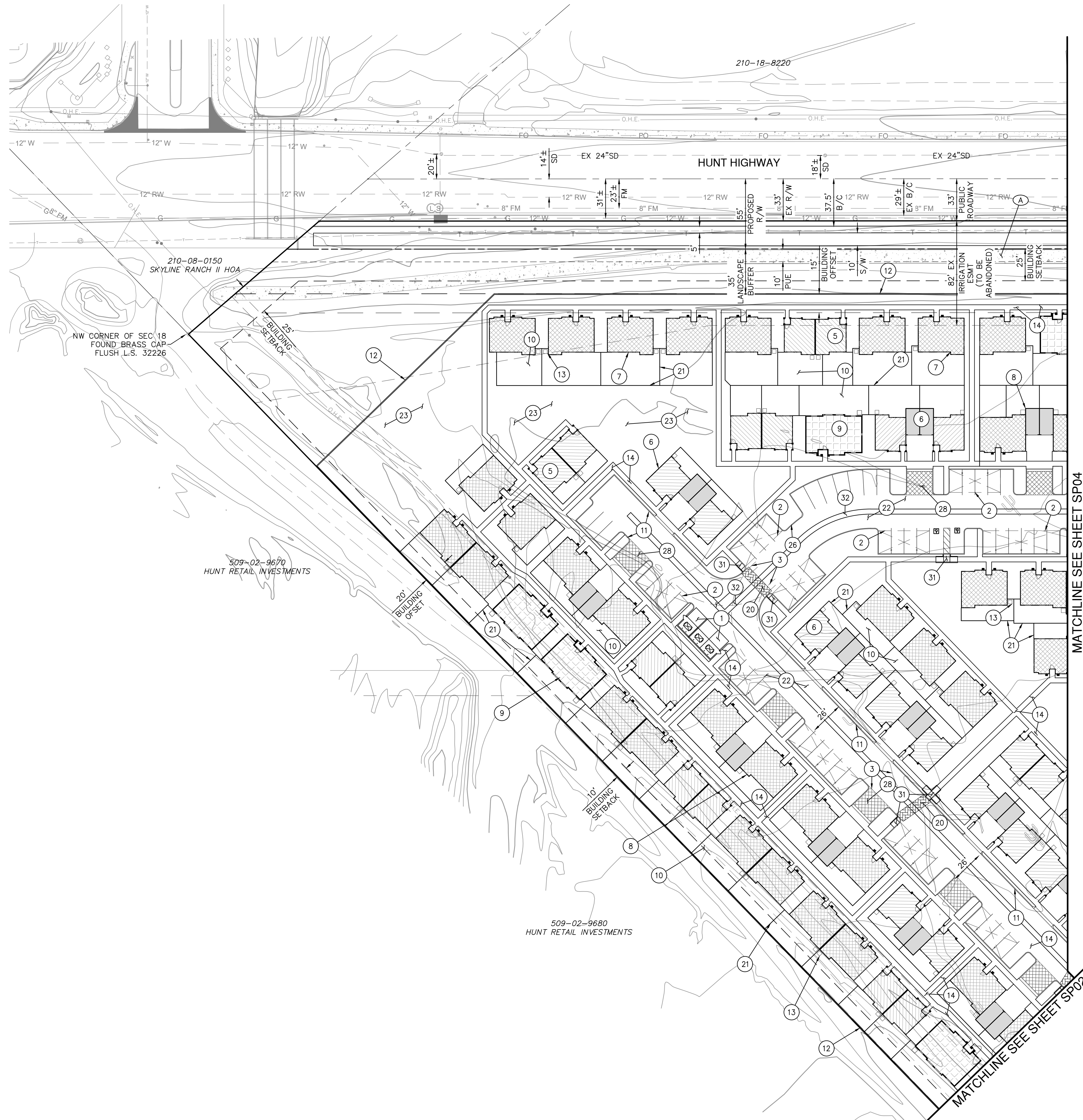
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DAB DESIGN	DAB DRAWN
DF	CHKD

SCALE: H: V:
JOB No. 050949-01-001

DATE: 01/26/2022

SP04
SHEET 04 OF 06





- KEY NOTES**
- 1 REFUSE CONTAINER
 - 2 PROPOSED COVERED PARKING (TYP)
 - 3 35' INSIDE RADIUS, 55' OUTSIDE RADIUS (TYP)
 - 4 MAIL BOX LOCATION
 - 5 (2) ONE BEDROOM UNITS (TYP)
 - 6 (2) ONE BEDROOM UNITS WITH GARAGES (TYP)
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PLANNED AREA DEVELOPMENT
HUNT HIGHWAY SOUTH
SAN TAN VALLEY, AZ
PINAL COUNTY

PZ-PA-013-21/PZ-PD-022-21
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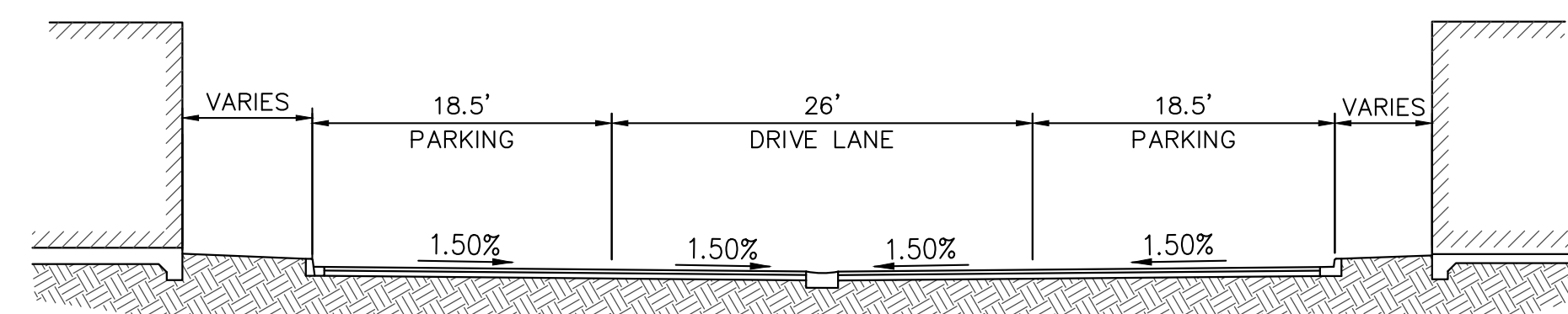


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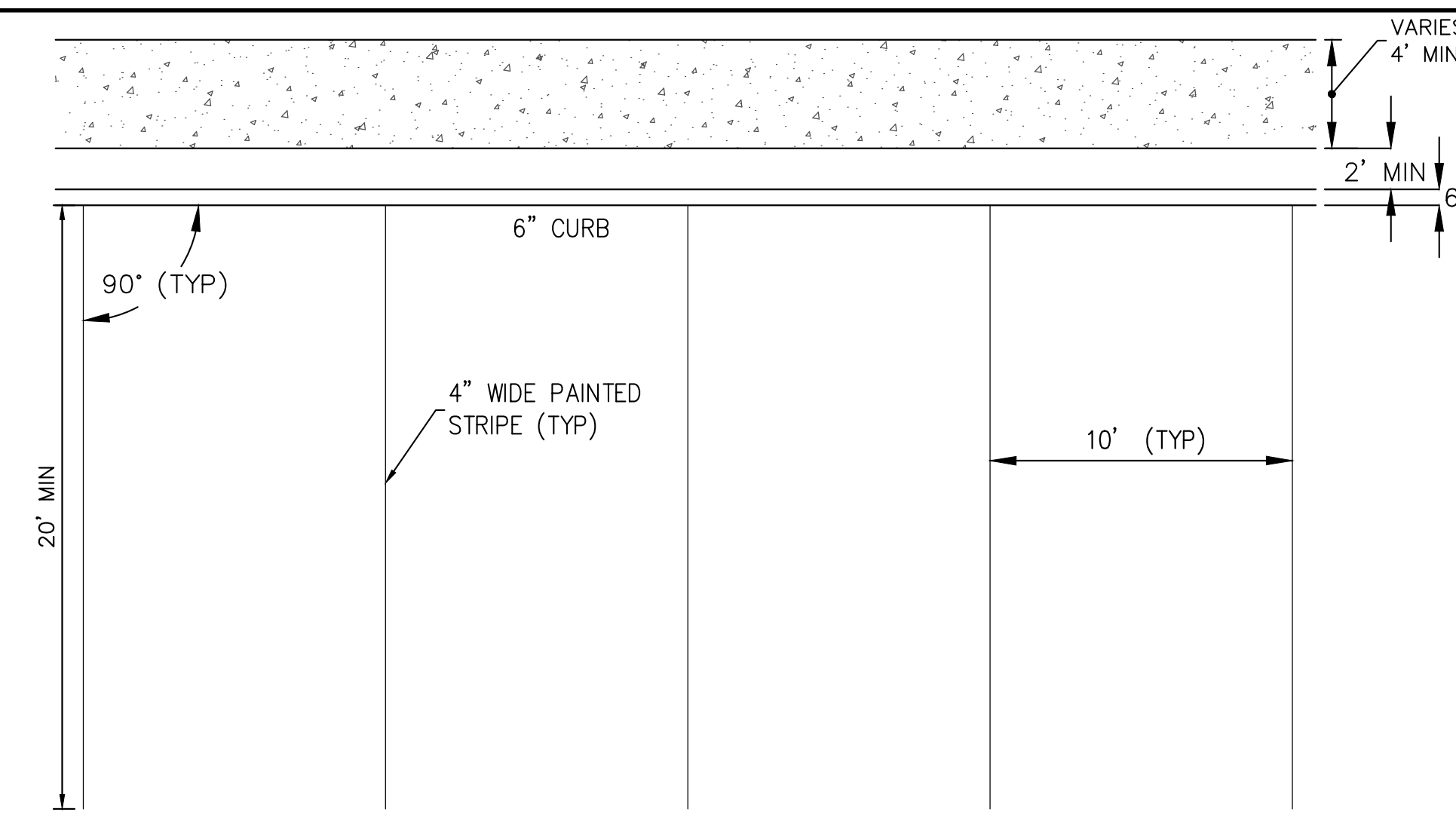
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SCALE	H: V:
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SP05
SHEET 05 OF 06

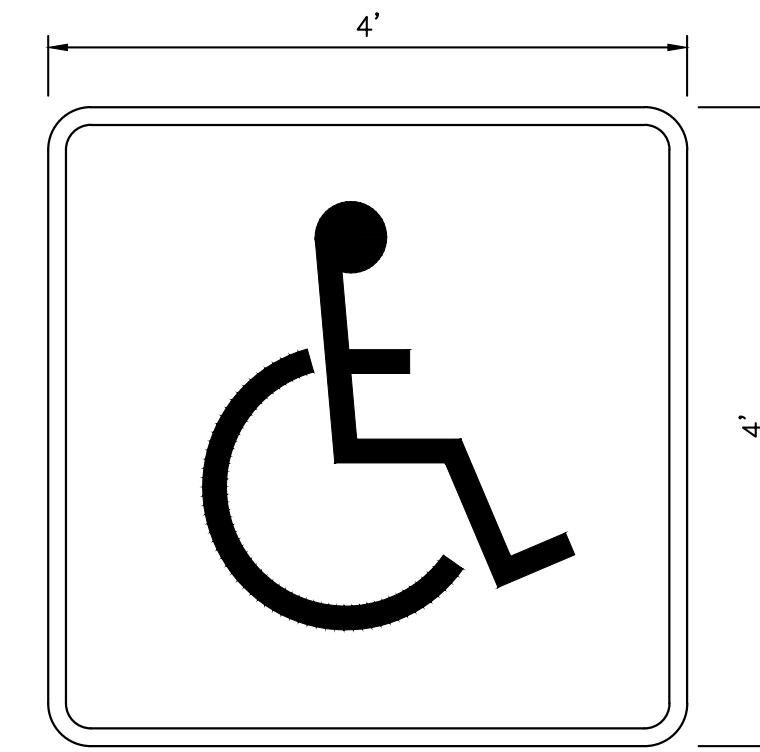




TYPICAL ROAD SECTION
NTS

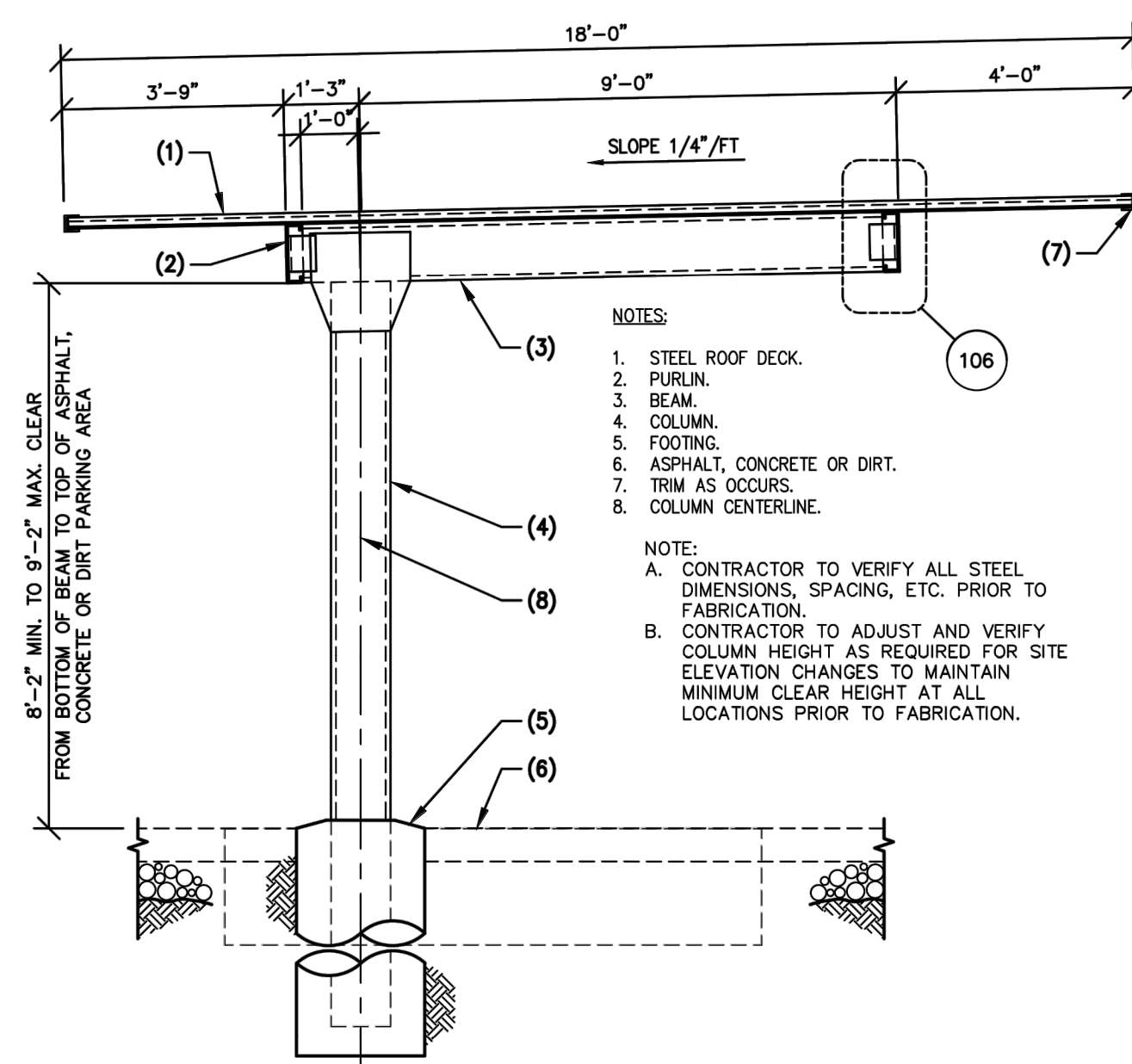


STANDARD PARKING DETAIL
NTS

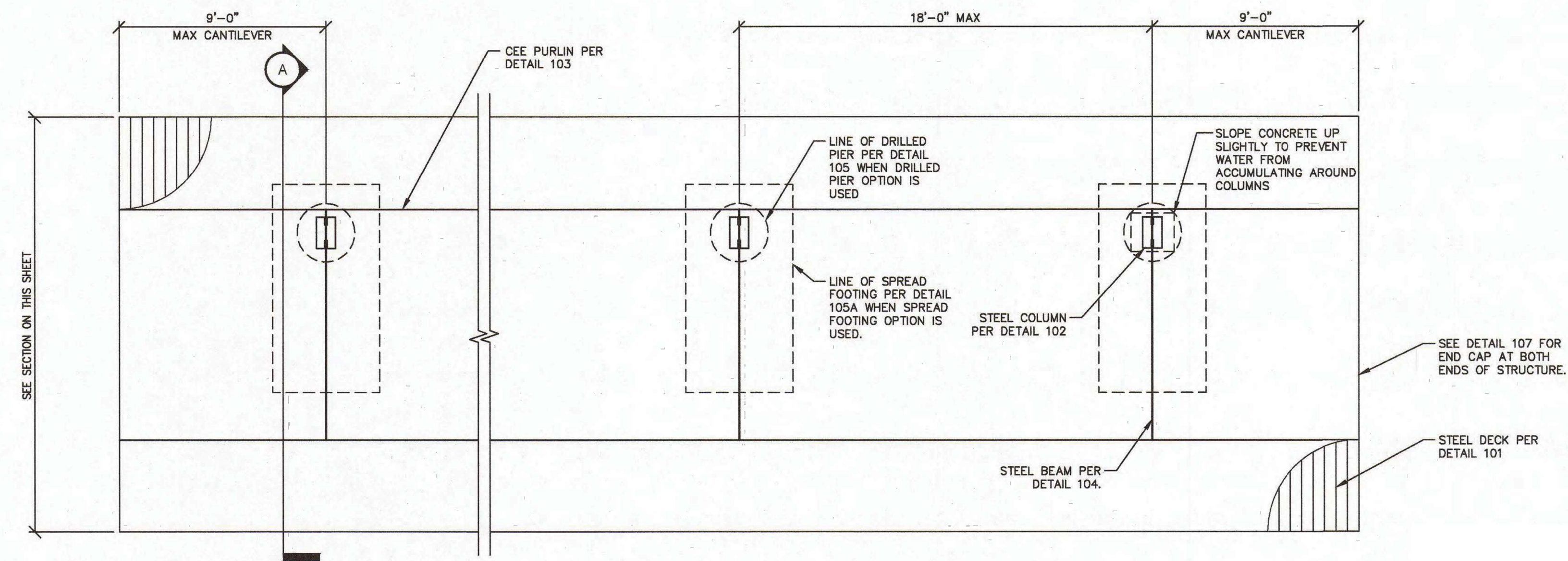


NOTE:
- THERMOPLASTIC PAVEMENT MARKINGS SHALL BE WHITE SYMBOL ON A 4' X 4' BLUE SQUARE.

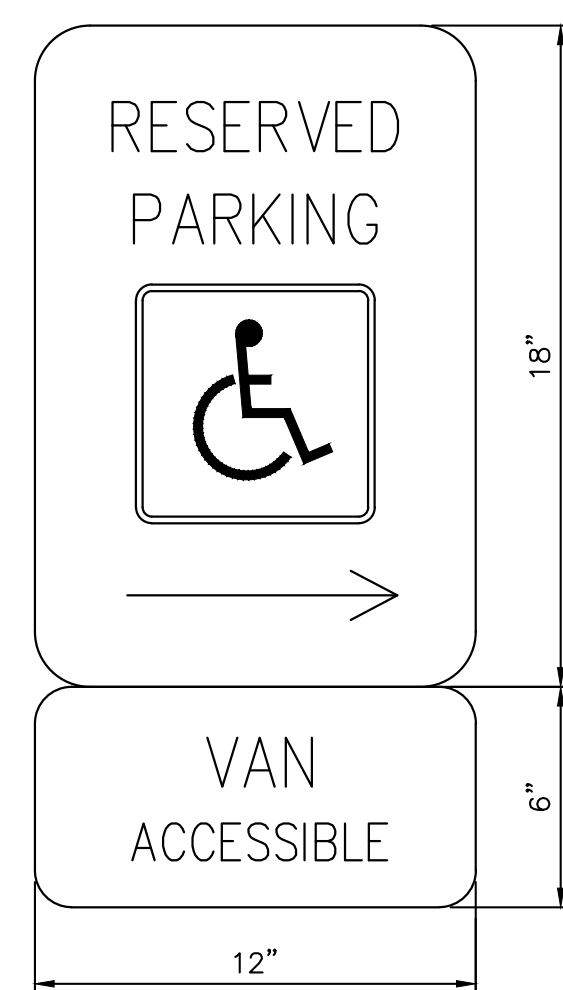
HANDICAP PAVEMENT MARKING SYMBOL
NTS



SEMI CANT TILTDOWN SECTION (COVERED PARKING)
SCALE: 3/8" = 1'-0"

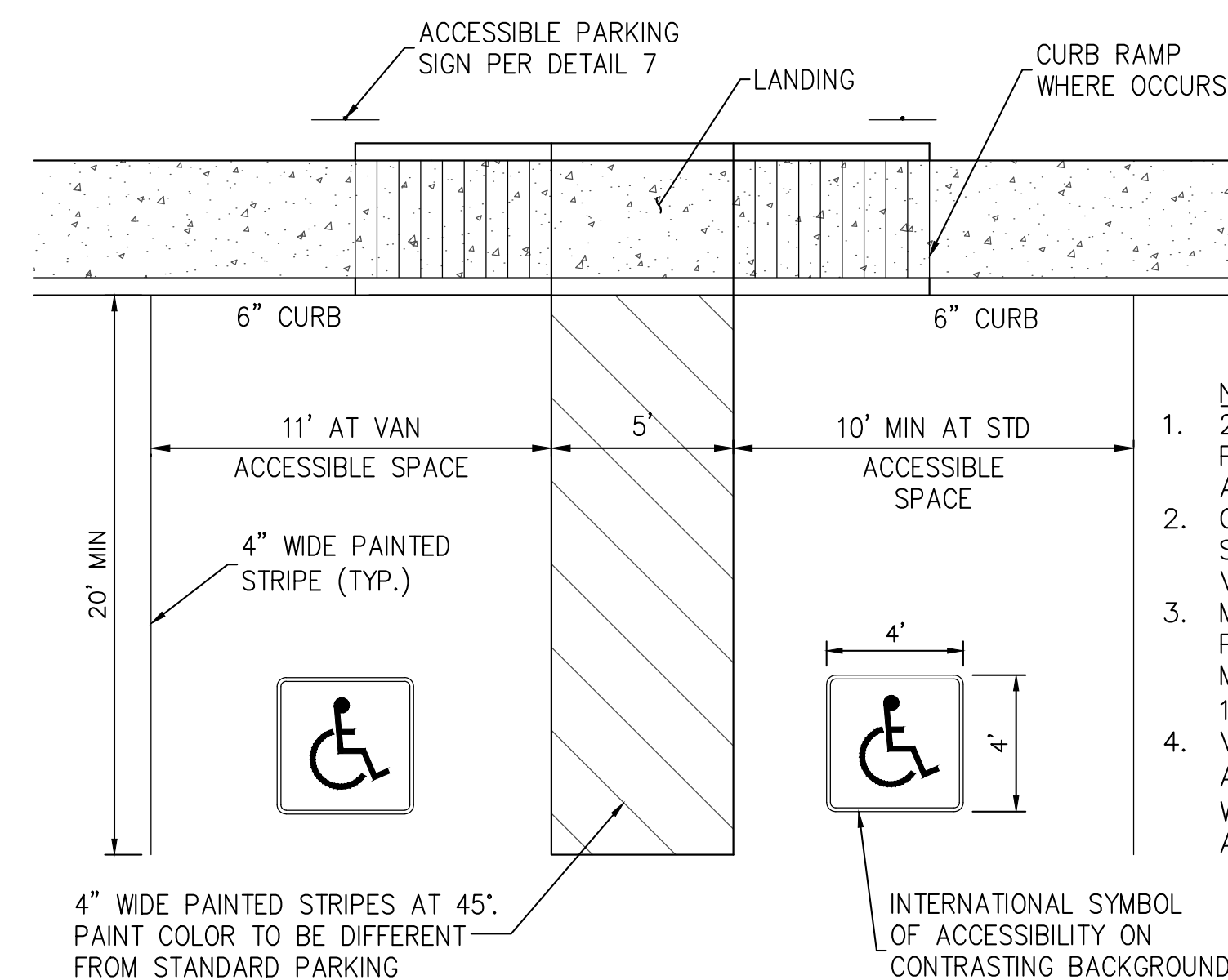


SEMI CANT TILTDOWN PLAN VIEW (COVERED PARKING)
SCALE: 1/4" = 1'-0"



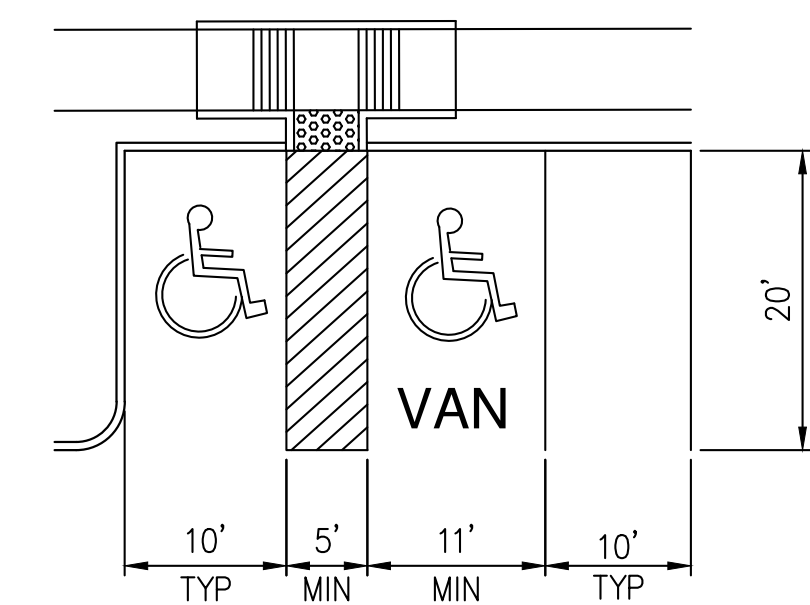
HANDICAP PARKING SIGN
NTS

- NOTES:
- THE BOTTOM OF THE SIGN SHALL BE 5 FEET ABOVE FINISHED GRADE.
 - SIGN SHALL BE CENTERED ON THE PARKING SPACE AND PLACED 1.5 FEET FROM FACE OF CURB. IN PARKING LOT SITUATIONS WITHOUT CURBING, SIGN MAY BE PLACED AT THE END OF THE STALL. VAN ACCESSIBLE TAB TO BE USED IF APPLICABLE



ACCESSIBLE (ADA) PARKING STRIPING AND SIGNAGE
NTS

- NOTES:
- 2% OF THE REQUIRED PARKING SPACES MUST BE ACCESSIBLE.
 - OF THE TOTAL ACCESSIBLE SPACES 1 IN 6 MUST BE VAN ACCESSIBLE.
 - MAXIMUM SLOPE OF PARKING AND MANEUVERING AREAS IS 1:50 (2%).
 - VAN ACCESSIBLE SPACE ALTERNATIVE MAY BE 8' WIDE WITH 8' STRIPED ACCESS AISLE.



TYPICAL PARKING DETAIL
NTS



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DETAILS
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PINAL COUNTY
SAN TAN VALLEY, AZ

PZ-PA-013-21/PZ-PD-022-21
PROJECT NUMBER



PLAN STATUS

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SP06
SHEET 06 OF 06