

Midway 1 PAD Amendment with Rezone

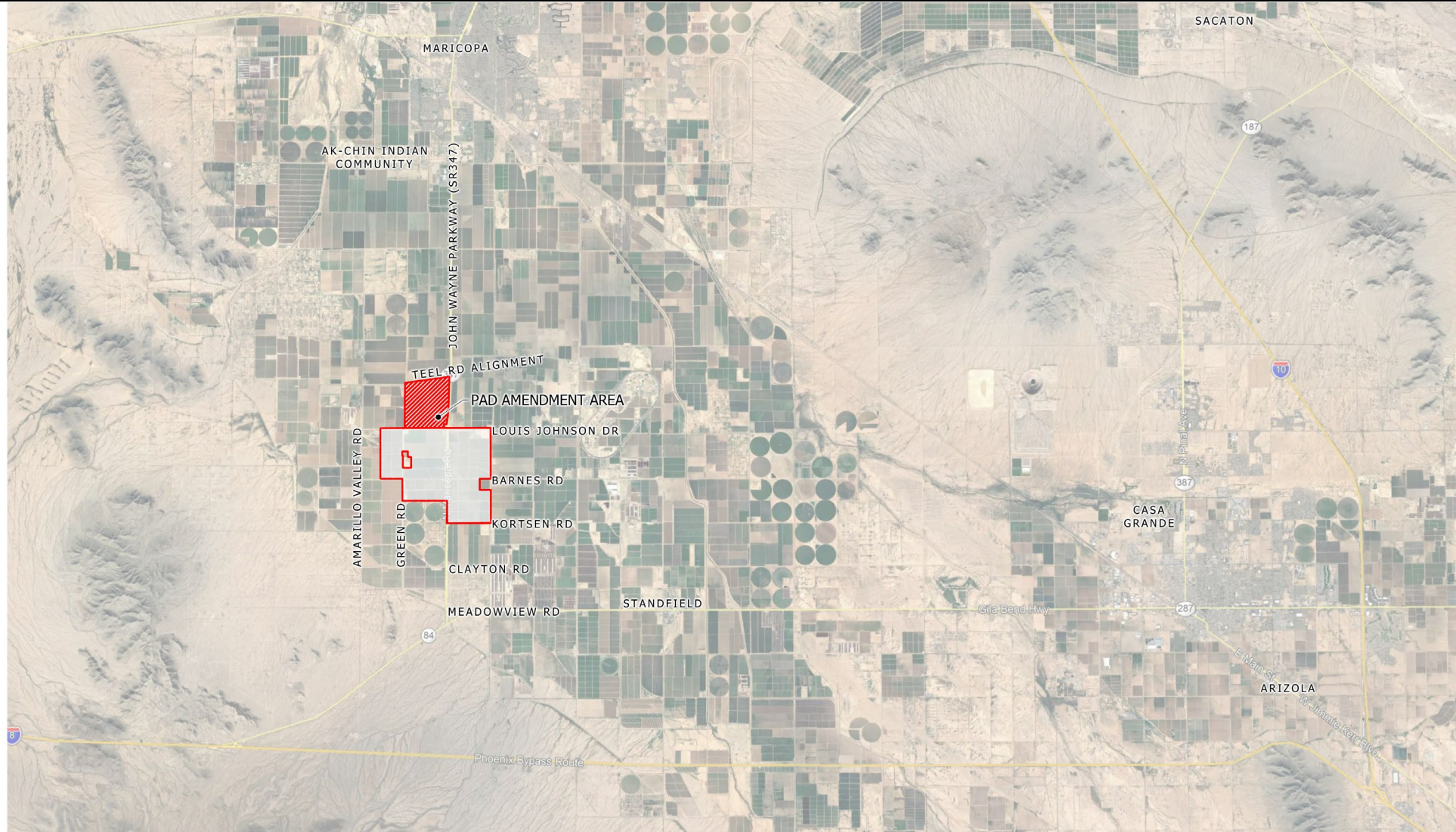
PZ-006-21, PZ-PD-006-21

Board of Supervisors

Pinal County

June 8, 2022

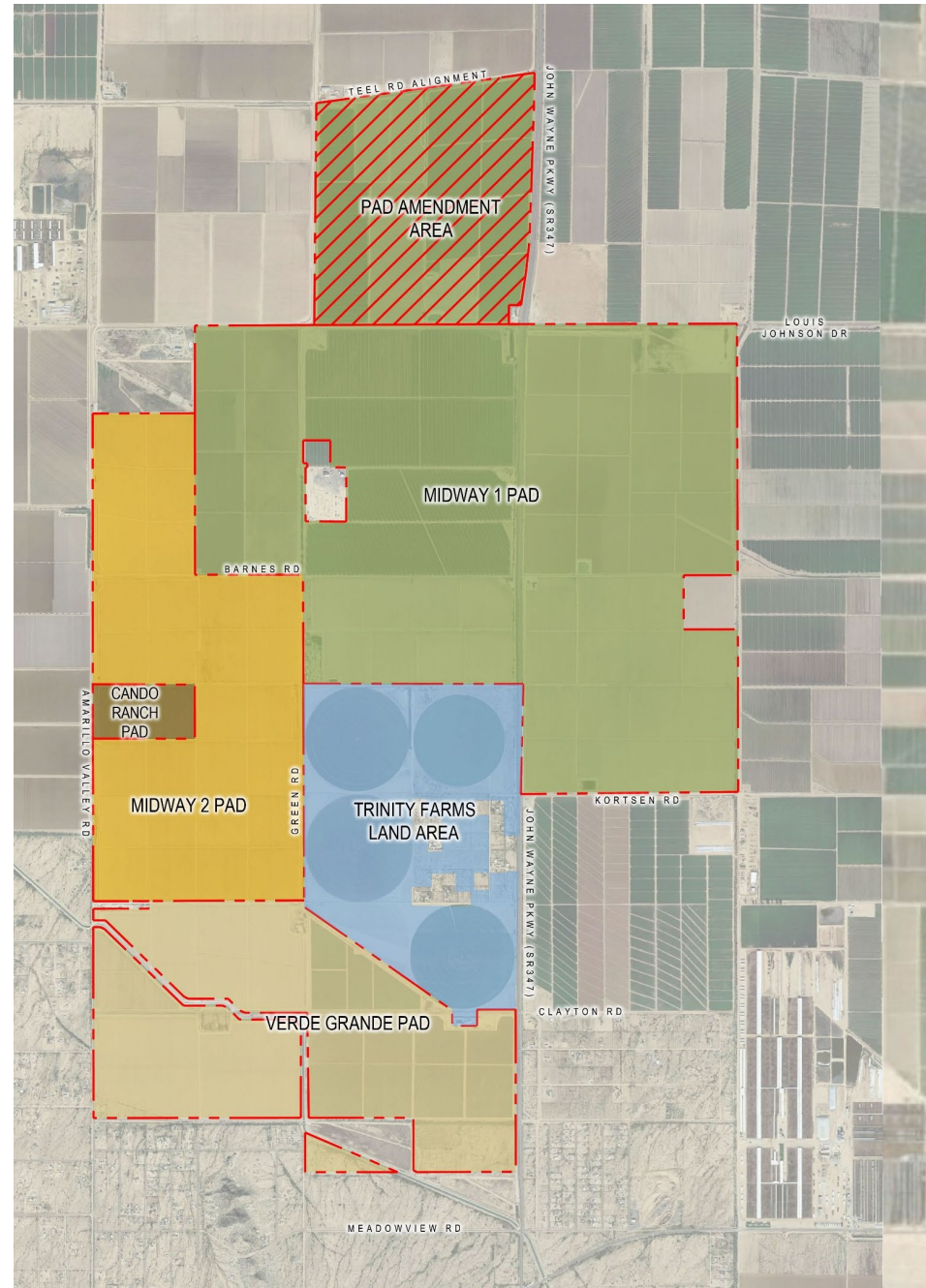
Vicinity Map



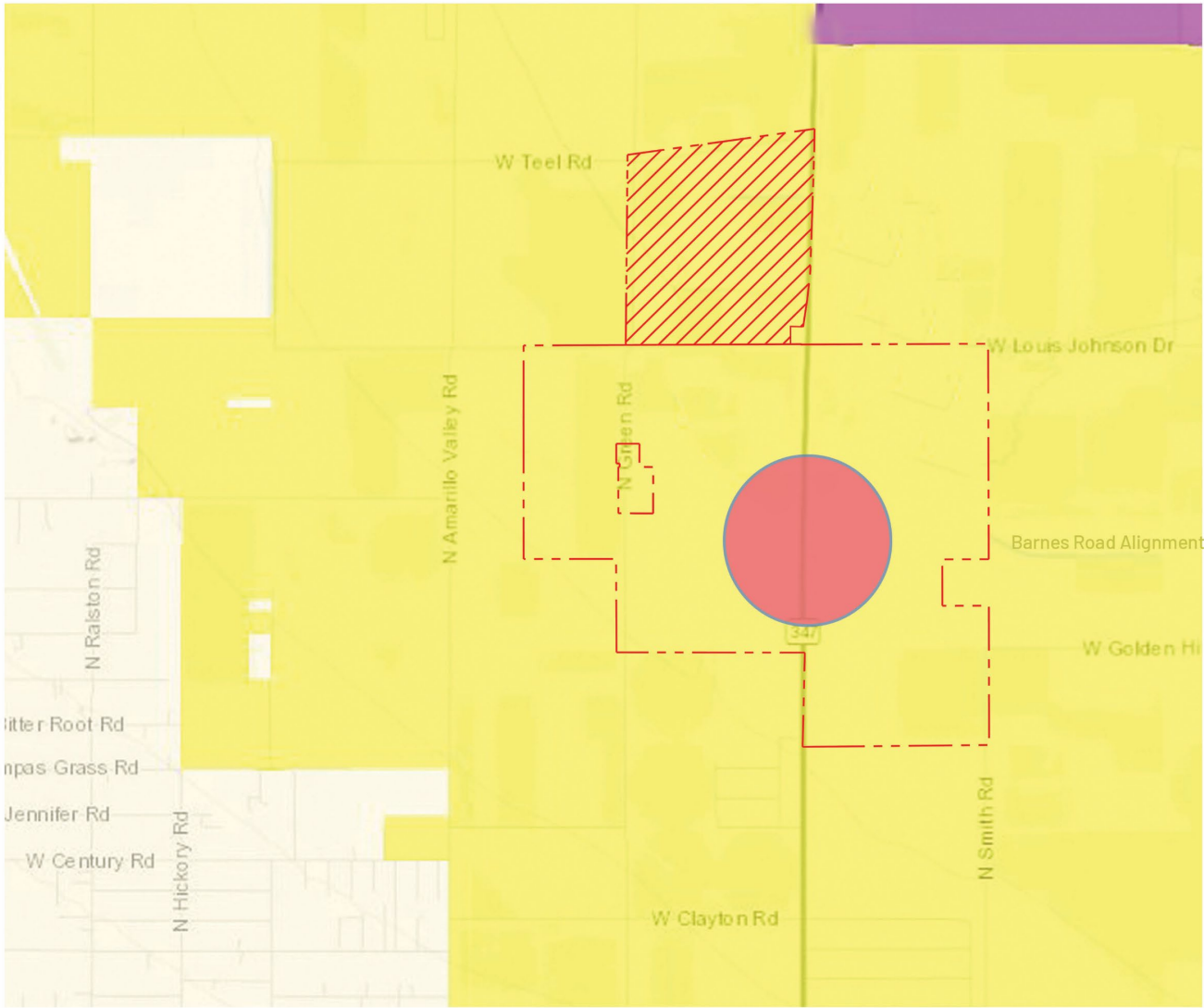
Site History

- The site is currently used for agricultural purposes with no significant development on-site.
- The site is currently zoned as part of the Midway 1 PAD
- The existing zoning is CR-3 PAD, CR-4 PAD, CR-5 PAD, CR-1 PAD, and SR PAD
- The site is in a prime location to capitalize on two Regionally Significant Routes of Louis Johnson Drive and the SR-347

Existing PADs



Existing Comprehensive Plan Map

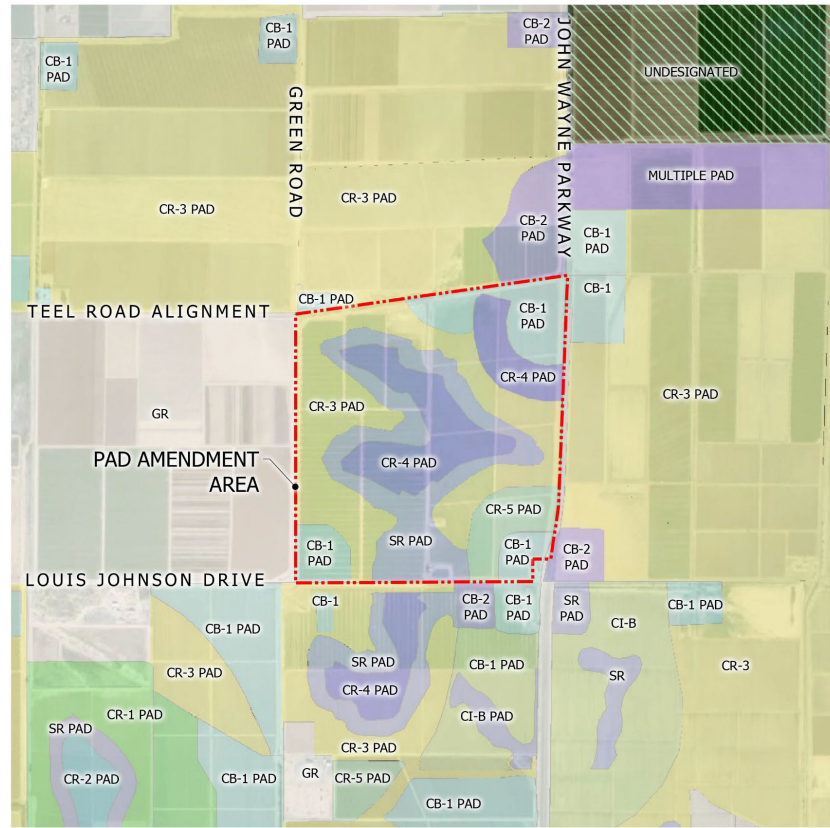


EXISTING COMPREHENSIVE PLAN MAP

LEGEND

- Moderate Low Density Residential (1-3.5 du/ac)
- Employment
- Very Low Density Residential (0-1 du/ac)
- PAD Amendment Area
- Midway 1 PAD
- Mid-Intensity Activity Center

Existing and Proposed Zoning Map

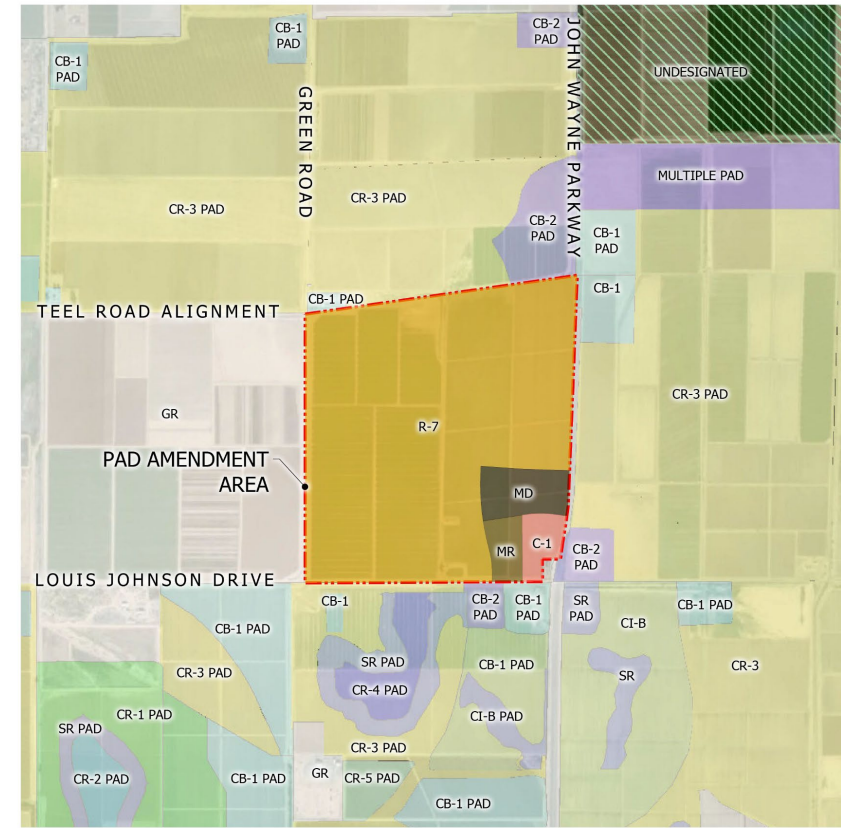


EXISTING ZONING FOR AMENDMENT

- CR-3 SINGLE RESIDENCE ZONE
- CR-4 MULTIPLE RESIDENCE ZONE
- CR-5 MULTIPLE RESIDENCE ZONE
- CB-1 LOCAL BUSINESS ZONE
- SR SUBURBAN RANCH ZONE

Midway I PAD Amendment Area - Comparison									
Land Use	Existing				Proposed				
	Zoning	Gross AC	Units	Density	Zoning	Gross AC	Units	Density	
Moderate Low Density	CR-3	303 AC	1,700 DU	5.6 DU/AC	Moderate Low Density	R-7	620.58 AC	2,172 DU	3.5 DU/AC
	CR-4	153 AC	1,317 DU	8.6 DU/AC		MD	39.45 AC	316 DU	8.0 DU/AC
	CR-5	47 AC	705 DU	15.0 DU/AC		MR	20.02 AC	446 DU	22.3 DU/AC
	CB-1	129 AC				C-1	24.00 AC		
	SR	208 AC							
PAD Amendment Area Total		*840 AC	3,722 DU	4.4 DU/AC		*704.05 AC	2,934 DU	4.2 DU/AC	

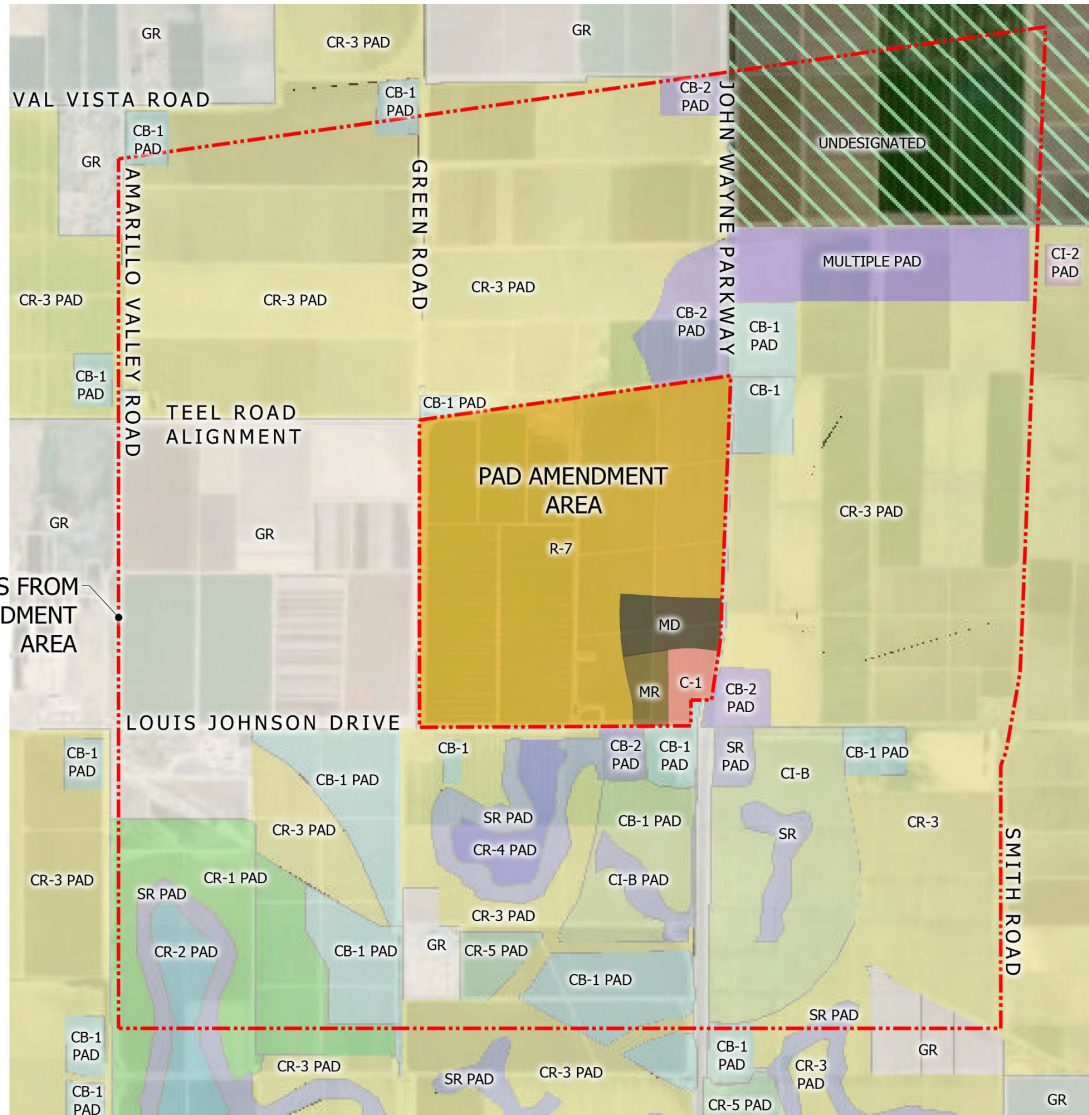
* Proposed acreage varies from existing acreage due to discrepancies within existing Midway I PAD.



PROPOSED ZONING FOR AMENDMENT AREA

- R-7 SINGLE RESIDENCE ZONE
- MD MIXED DWELLING ZONE
- MR MULTIPLE RESIDENCE ZONE
- C-1 NEIGHBORHOOD COMMERCIAL ZONE

Surrounding Zoning Map



ONE MILE RADIUS FROM THE PAD AMENDMENT AREA

ZONING LEGEND

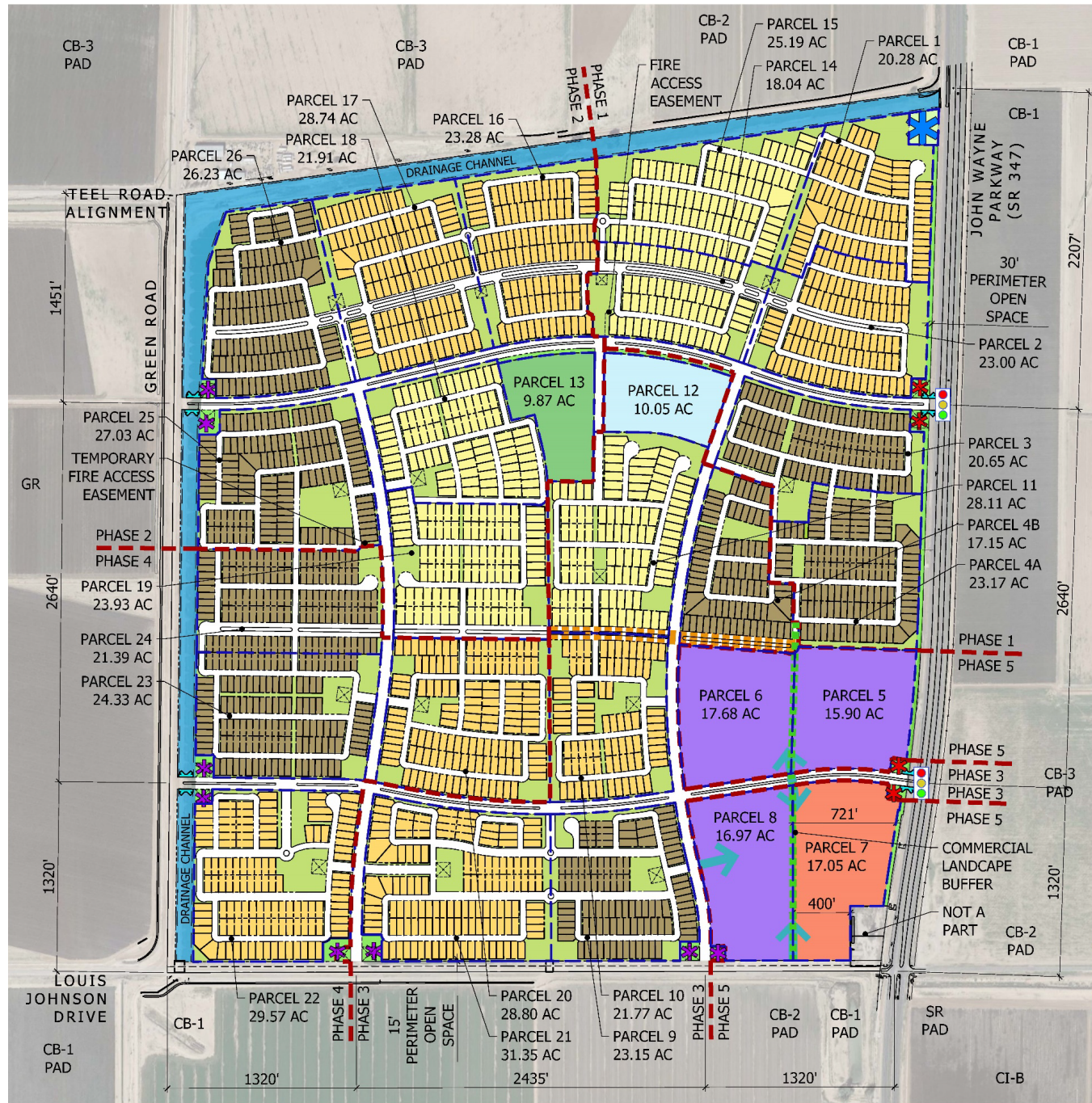
	CR-1	SINGLE RESIDENCE ZONE		CB-1	LOCAL BUSINESS ZONE
	CR-2	SINGLE RESIDENCE ZONE		CB-2	GENERAL BUSINESS ZONE
	CR-3	SINGLE RESIDENCE ZONE		SR	SUBURBAN RANCH ZONE
	CR-4	MULTIPLE RESIDENCE ZONE		GR	GENERAL RURAL ZONE
	CR-5	MULTIPLE RESIDENCE ZONE		R-7	SINGLE RESIDENCE ZONE
	CI-B	INDUSTRIAL BUFFER ZONE		MD	MIXED DWELLING ZONE
	C-1	NEIGHBORHOOD COMMERCIAL ZONE		MR	MULTIPLE RESIDENCE ZONE

Request

- Currently the Amendment Area is entitled to allow 3,722 units
- However, to ensure conformance with the County's Comprehensive Plan designation of Moderate Low Density Residential 1-3.5 du/ac the Amendment is proposing a total of 2,942 units
- This is a reduction of 780 units.

This Amendment is requested to allow the development of the 704.05 acres of the Midway I PAD while the remainder land is rezoned L-CMP with other PAD's and land in the area into a larger master-planned community.

Conceptual Site Plan



CLIENT/OWNER AGENT

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 EMAIL: SETHK@WHOLDINGS.COM
 CONTACT: SETH KEELER

CONSULTANT TEAM:

CIVIL ENGINEER

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 P: (602)-730-3809
 EMAIL: ATHOMAS@HILGARTWILSON.COM
 CONTACT: AUBREY THOMAS

PLANNER/LANDSCAPE ARCHITECT

ABLA
 310 E. RIO SALADO PARKWAY
 TEMPE, AZ 85281
 P. (480)-530-0077
 EMAIL: ANDY.BARON@ABLASTUDIO.COM
 CONTACT: ANDY BARON

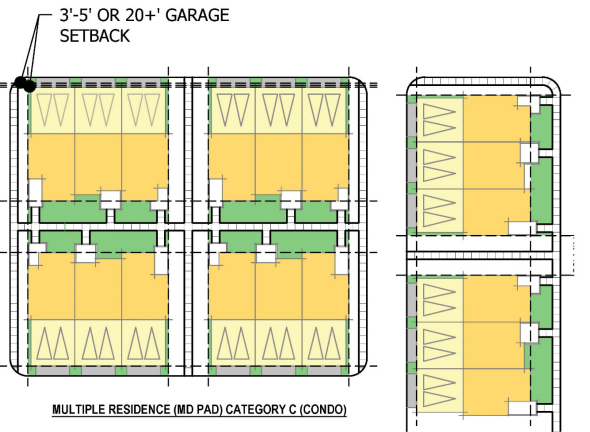
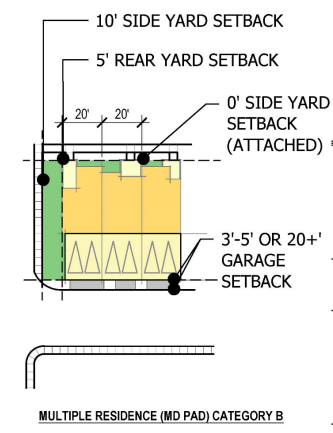
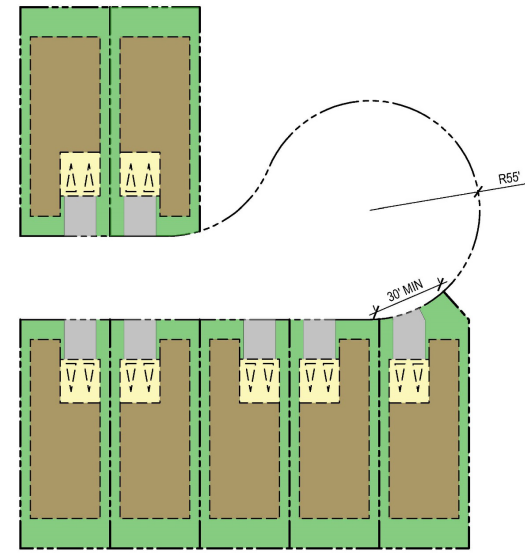
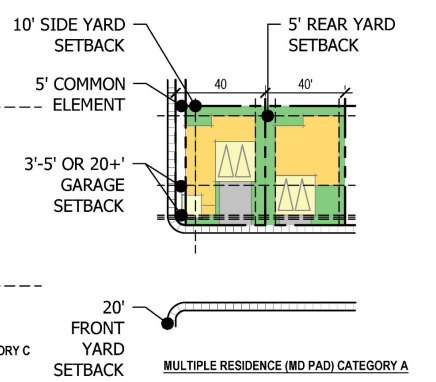
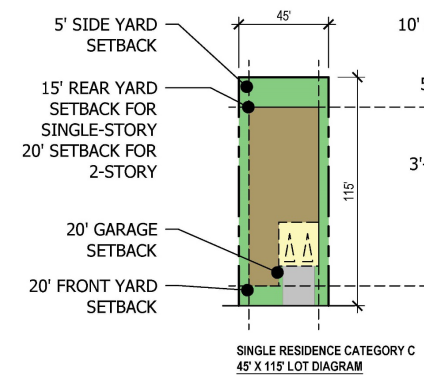
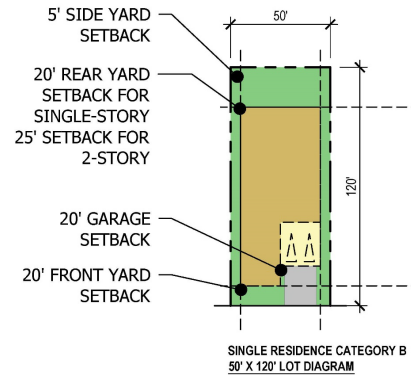
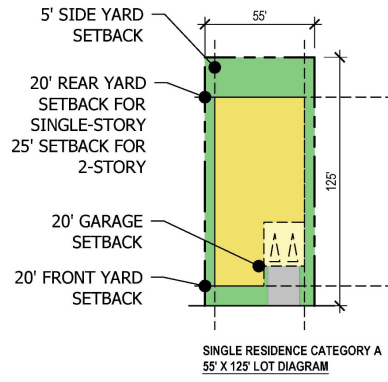
PROJECT LOCATION

NORTHWEST CORNER OF JOHN WAYNE
 FREEWAY (SR 347) AND MILLER ROAD
 PINAL COUNTY, AZ

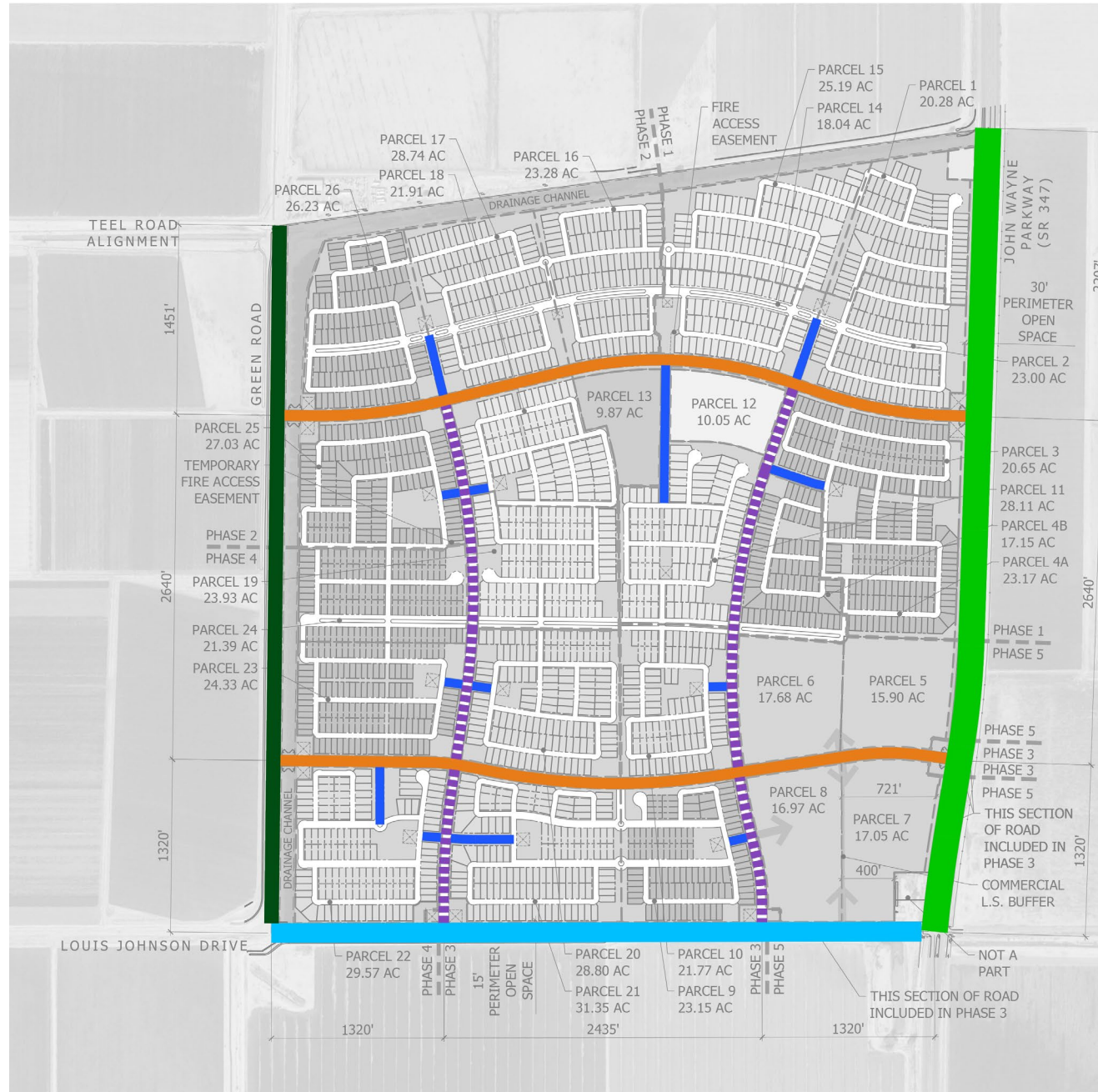
LEGEND

- REGIONAL ENTRY MONUMENT
- PRIMARY ENTRY MONUMENT
- SECONDARY ENTRY MONUMENT
- PROPOSED TRAFFIC SIGNAL
- HEADWALL
- PARKS
- PARCEL BOUNDARY LINE
- TEMPORARY SECONDARY ACCESS ROAD TO BE USED FOR PHASES 1 & 2
- THIS SECTION OF ROAD TO BE BUILT AS A PART OF PHASE 2
- PHASE BOUNDARY LINE
- PROPOSED ACCESS

Lot Fit Diagrams



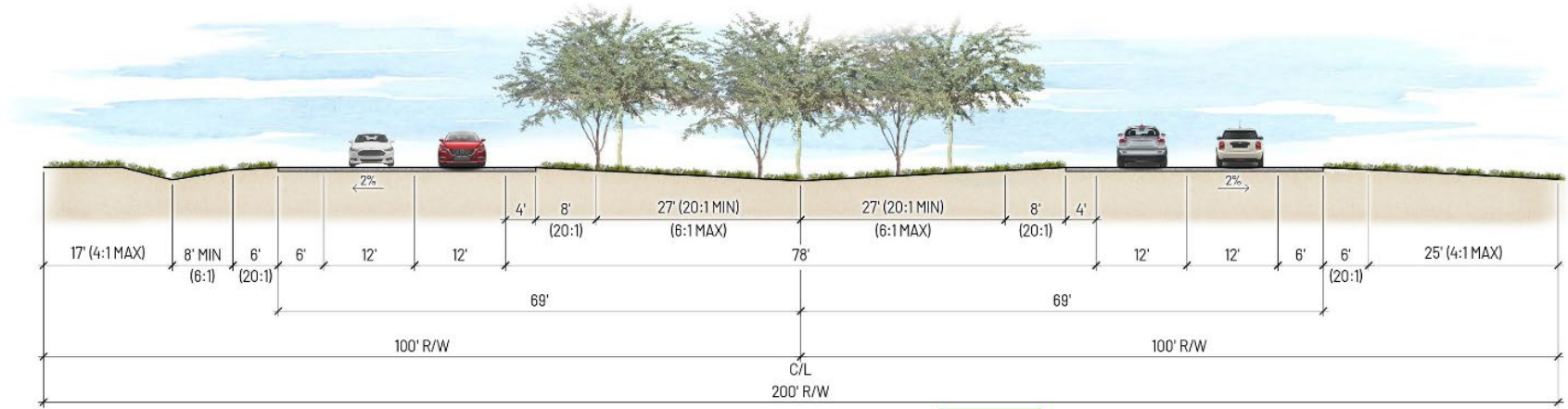
Street Network



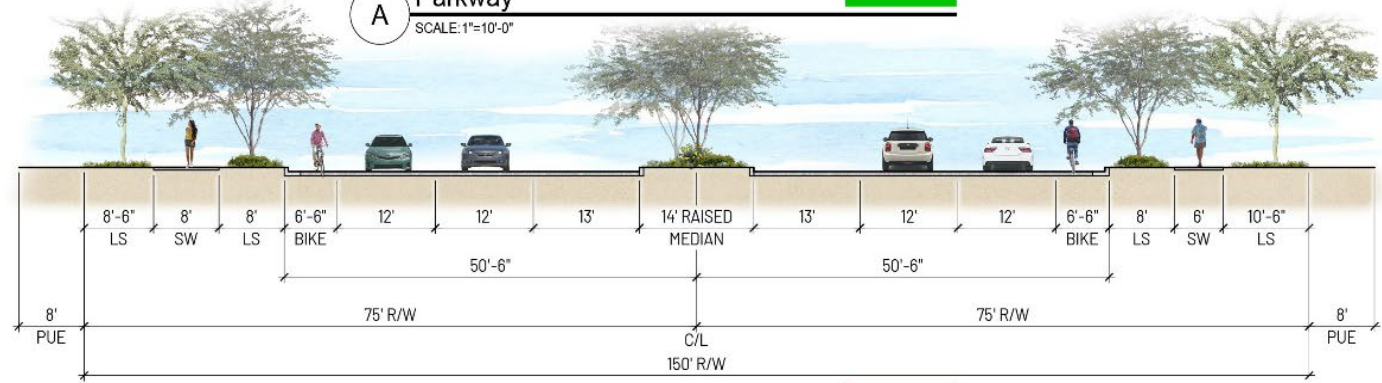
ROADWAY LEGEND

- (A) PARKWAY
- (B) MAJOR ARTERIAL
- (C) MINOR ARTERIAL
- (D) MAJOR COLLECTOR - A
- (E) MAJOR COLLECTOR - B
- (F) MINOR COLLECTOR

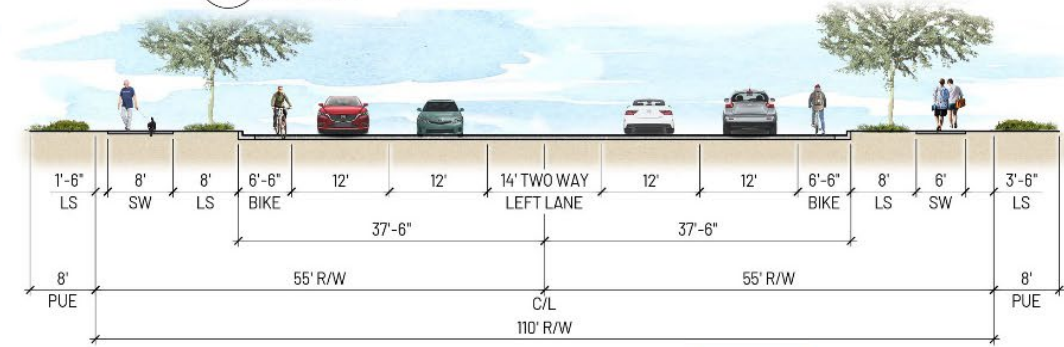
Street Sections



A Parkway
SCALE: 1"=10'-0"

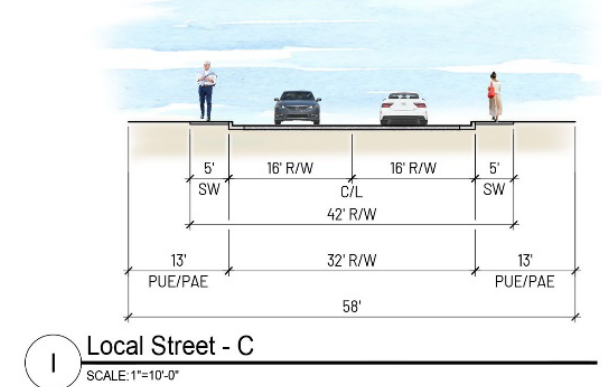
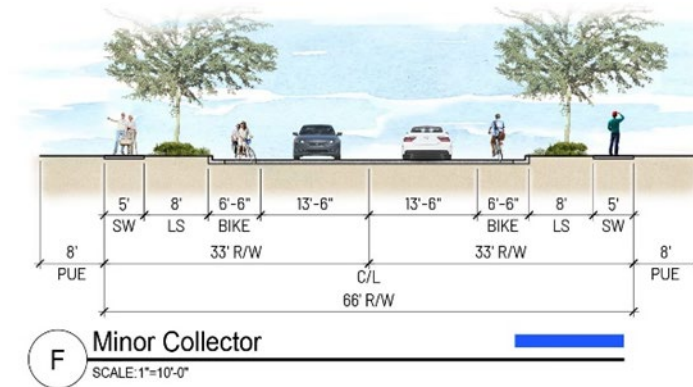
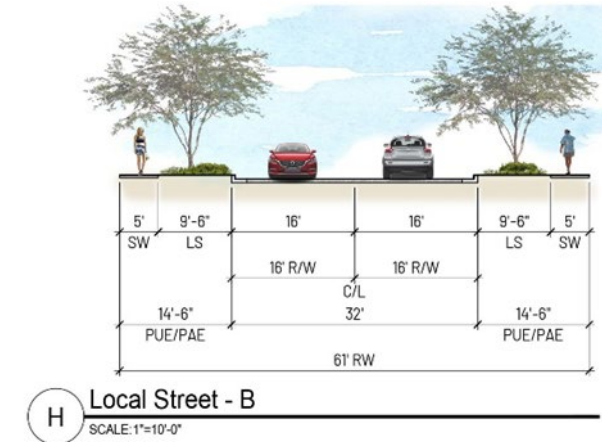
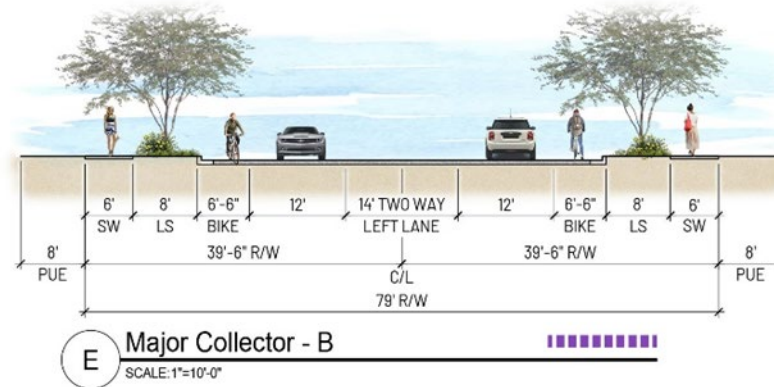
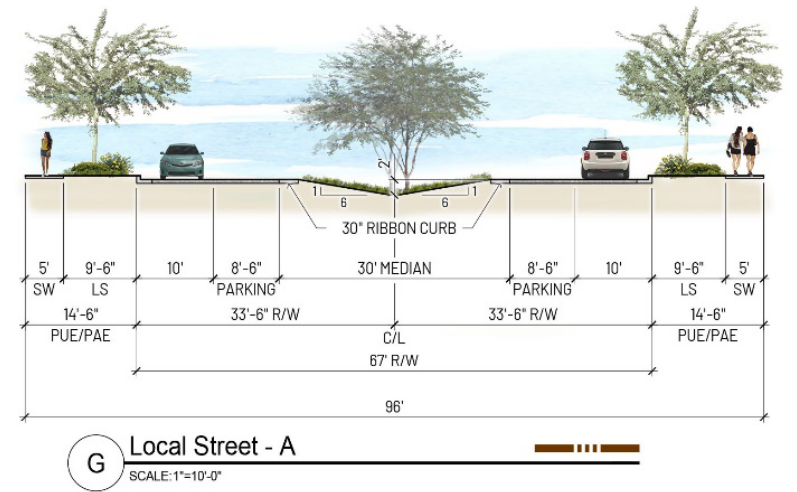
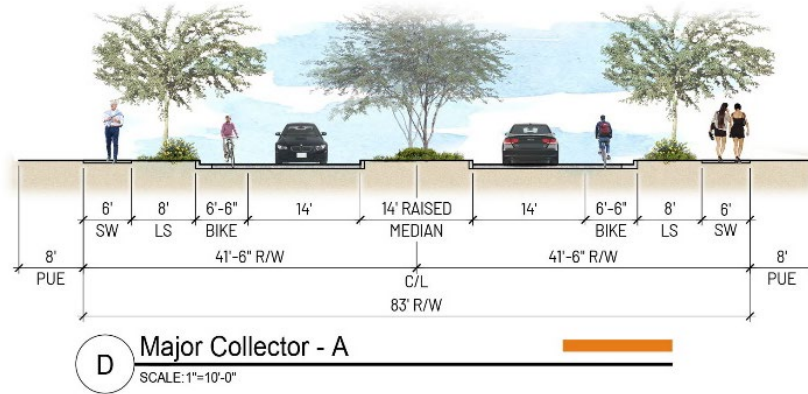


B Major Arterial
SCALE: 1"=10'-0"



C Minor Arterial
SCALE: 1"=10'-0"


Street Sections



Conceptual Circulation and Trails Plan



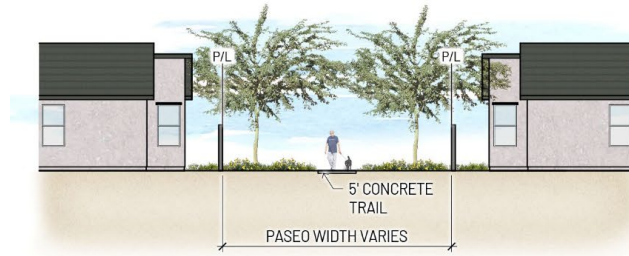
LEGEND

- 5' SIDEWALK
- 6' SIDEWALK
- 5' CONCRETE TRAIL
- 5' PERIMETER TRAIL
-  CONCEPTUAL TRAIL SECTION LOCATIONS

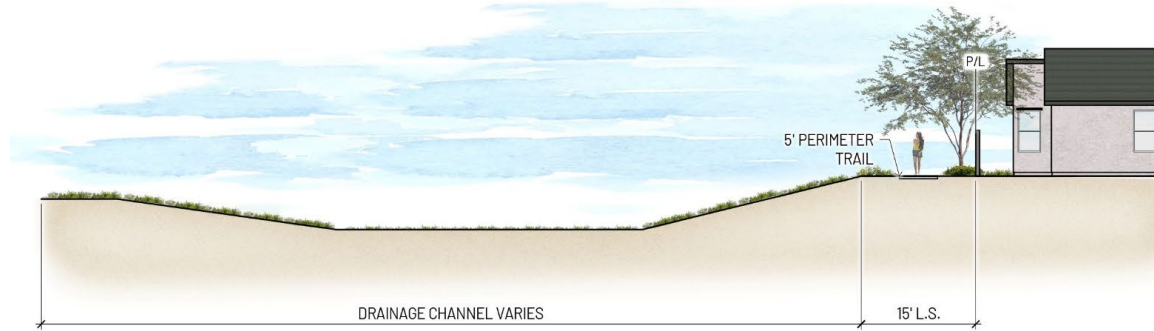
NOTE: REFERENCE EXHIBITS 14-15: CONCEPTUAL TRAIL SECTIONS FOR DETAILED CROSS SECTIONS

NOTE: FOR DETAILED STREET CROSS SECTIONS SEE STREET SECTIONS EXHIBIT

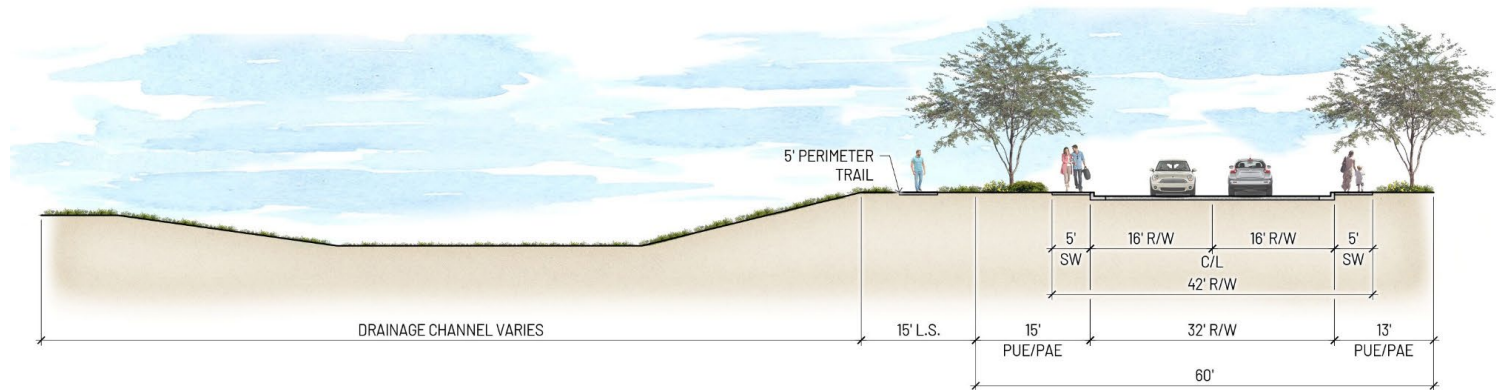
Trail Sections 1-3



1 Concrete Trail Within Paseo
SCALE: 1"=10'-0"

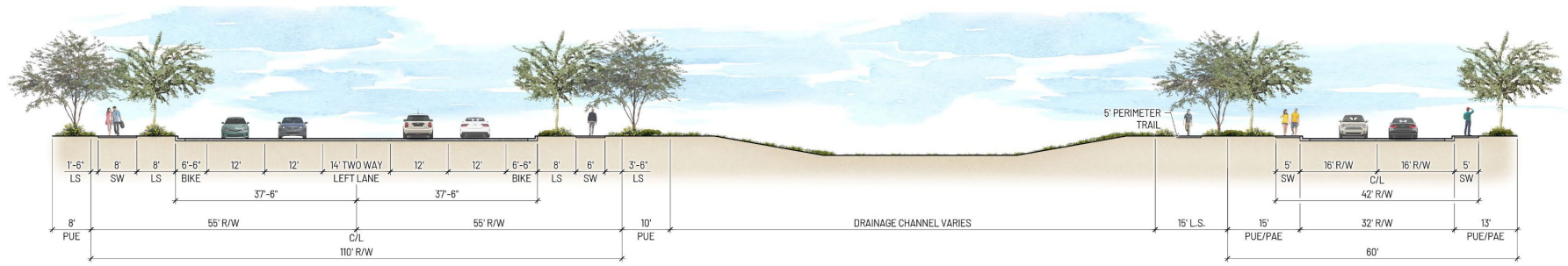


2 North Perimeter Trail Adjacent to Home
SCALE: 1"=10'-0"

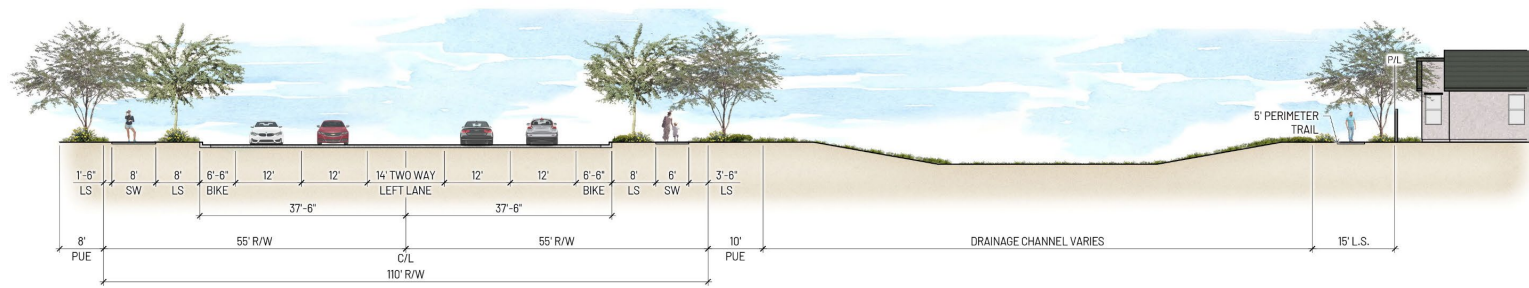


3 North Perimeter Trail Adjacent to Road
SCALE: 1"=10'-0"

Trail Sections 4-5



4 West Perimeter Trail Adjacent to Road
SCALE: 1"=10'-0"





5 West Perimeter Trail Adjacent to Home
SCALE: 1"=10'-0"


Conceptual Landscape Plan





LEGEND

- 

 CANOPY AND ORNAMENTAL TREES
 TREES TO BE SELECTED AND PLANTED PER ANA STANDARDS 15 GALLON -24" BOX
- 

 SHRUBS AND GROUNDCOVER
 SHRUB DENSITY PER PINAL COUNTY STANDARDS
 ALL LANDSCAPE AREAS TO RECEIVE 2" COVER OF DECOMPOSED GRANITE 1-5 GALLON
- 

 TURF
 MID-IRON SOD
- 

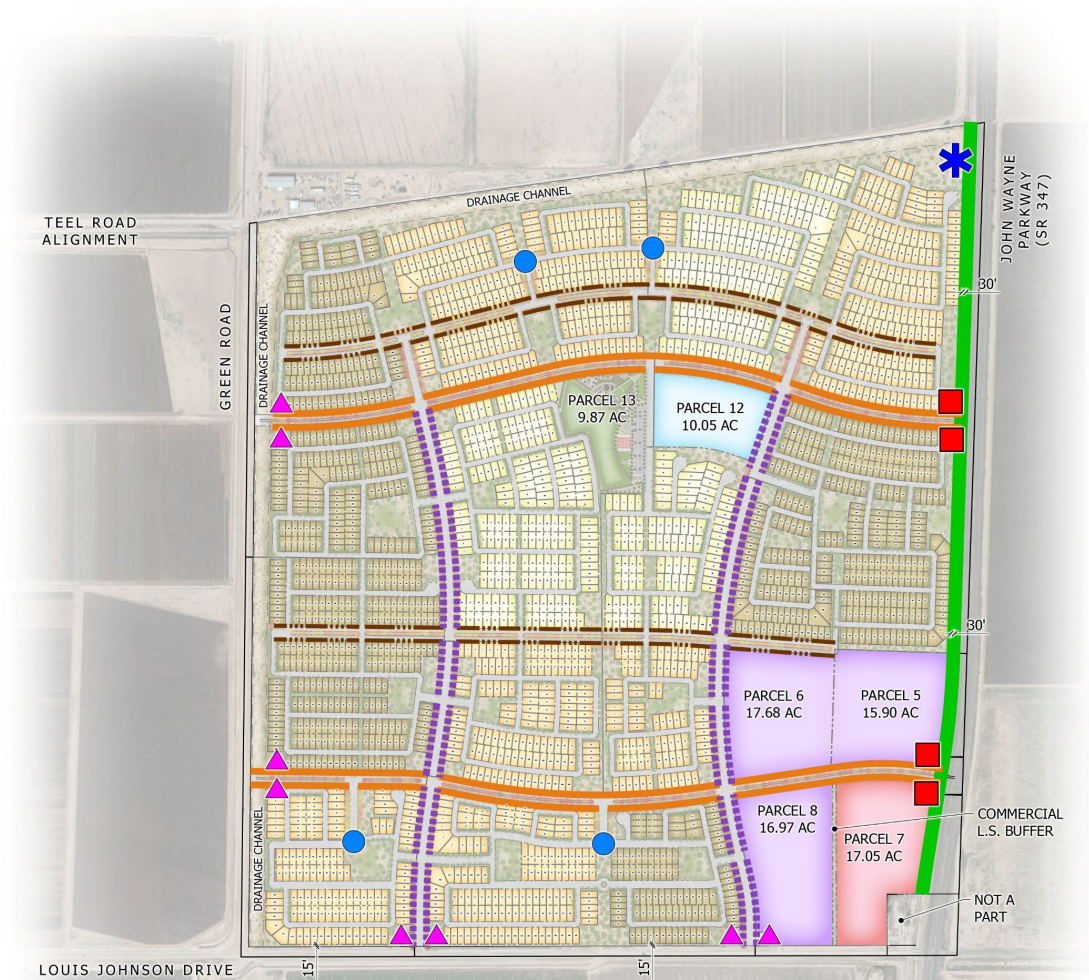
 NEIGHBORHOOD PARK - SEE EXHIBIT 21: NEIGHBORHOOD PARK FOR CONCEPTUAL LIST OF AMENITIES
- 

 POCKET PARK - SEE EXHIBITS 22-23: CONCEPTUAL POCKET PARK VIGNETTES FOR CONCEPTUAL LIST OF AMENITIES

NOTE:
PLEASE REFER TO THE MASTER PLANT PALETTE IN THE PAD FOR A COMPLETE LIST OF PROPOSED PLANT MATERIALS

- PLANTING NOTES:
- ALL FIVE (5) GALLON SHRUBS SHALL BE PLANTED AT A RATE OF FIVE SHRUBS PER 30 FEET OF LINEAR STREET FRONTAGE
 - FIVE (5) GALLON SHRUBS WITHIN RECREATION AREAS SHALL BE PLANTED AT A RATE OF SEVEN (7) SHRUBS PER 1,000 SQUARE FEET OF SURFACE AREA PROVIDED
 - THE MINIMUM NUMBER OF TREES REQUIRED SHALL BE PLANTED PER THE OPEN SPACE AND RECREATION AREA MANUAL
 - TWENTY-FIVE PERCENT (25%) OF THE TREES REQUIRED SHALL BE AT LEAST 24" BOX SIZE
 - DECORATIVE DESIGN ELEMENTS SUCH AS BENCHES AND PAVING ACCENTS SHALL BE PROVIDED WHERE APPROPRIATE TO ENHANCE THE OPEN SPACE AREAS
 - NO WASH CORRIDORS OR NATURAL FEATURES EXIST WITHIN THE SITE
 - A VEGETATIVE SALVAGE PLAN DOES NOT EXIST FOR THE SITE AS IT IS EXISTING FARMLAND
 - THERE IS NO CONSERVATION OPEN SPACE WITHIN THE SITE OR VICINITY
 - LOCATION OF TREES AND SHRUBS SHALL BE PROVIDED DURING THE CONSTRUCTION DOCUMENTATION PROCESS AND SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ARIZONA NURSERYMAN'S ASSOCIATION OR ARIZONA ASSOCIATION OF NURSERYMEN
 - RIPARIAN VEGETATION AND BIOLOGICAL HABITATS ARE NOT PRESENT ON THE SITE
 - A MINIMUM OF 25% OF EACH RECREATION AREA WILL SHALL BE DRY AND NOT USED AS RETENTION/DETENTION

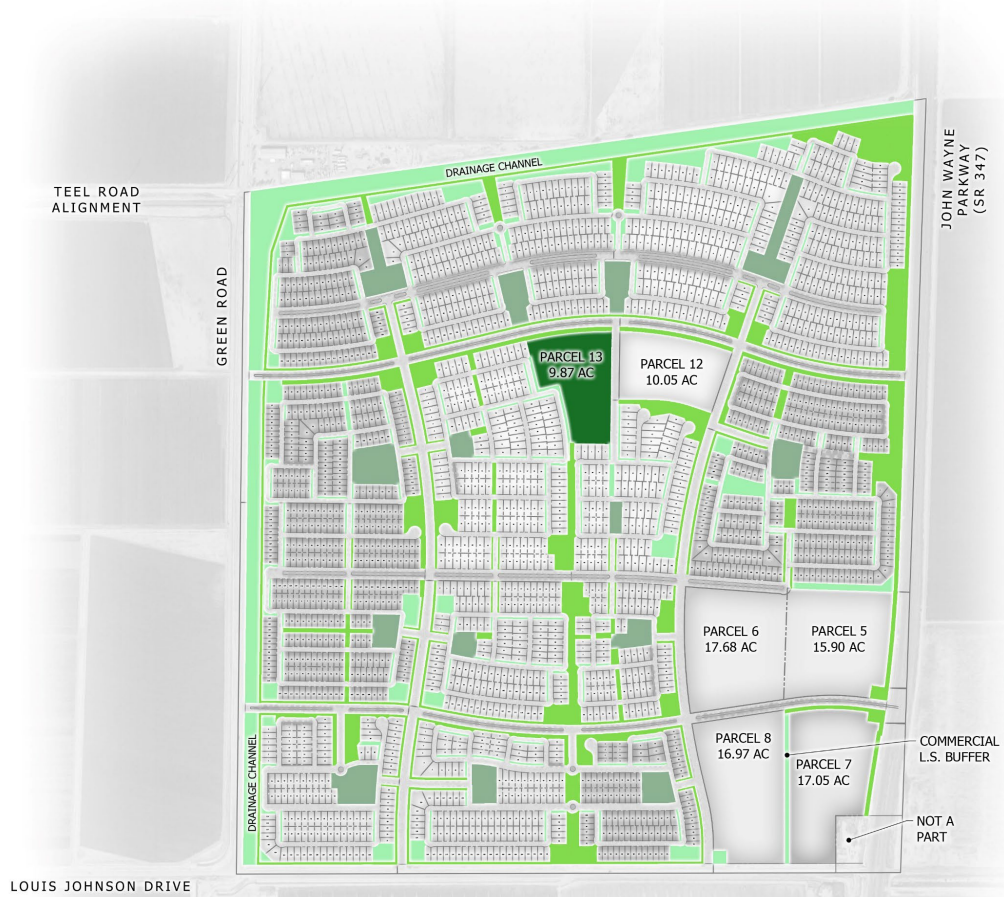
Conceptual Landscape Character



LEGEND

	REGIONAL ENTRY MONUMENT
	PRIMARY ENTRY MONUMENT
	SECONDARY ENTRY MONUMENT
	MAJOR ROUNDABOUT CHARACTER
	PARKWAY CHARACTER
	MAJOR COLLECTOR A CHARACTER
	MAJOR COLLECTOR B CHARACTER
	LOCAL CHARACTER

Open Space Plan



LEGEND

Amendment Area Open Space Table				
*Net Acreage	620.58 Ac.			
Description	Required (%)	Required (Acreage)	Provided (%)	Provided (Acreage)
Neighborhood Park (Active Recreational)				** 9.87 Ac.
Pocket Park (Active Recreational)				** 7.24 Ac.
Trail Areas (Active Recreational)				** 26.33 Ac.
Total Active Recreational Open Space	7.00%	** 43.44 Ac.	7.00%	43.44 Ac.
Passive Open Space	11.00%	68.26	11.00%	68.26 Ac.
Total Open Space	18.00%	111.70 Ac.	18.00%	111.70 Ac.

*NET ACREAGE BASED OFF OF TOTAL ACREAGE MINUS COMMERCIAL AREA AND MIXED-USE AREA FOR OPEN SPACE CALCULATIONS. ANY PORTIONS OF MIXED-USE AREA DEVELOPED AS RESIDENTIAL OR NON-RESIDENTIAL, SHALL CONFORM WITH PINAL COUNTY REQUIRED OPEN SPACE PERCENTAGE

**ACTIVE RECREATIONAL OPEN SPACE ACREAGE MAY INCREASE OR DECREASE BETWEEN CATEGORIES, SO LONG AS THE TOTAL REQUIRED ACTIVE RECREATIONAL OPEN SPACE IS PROVIDED.

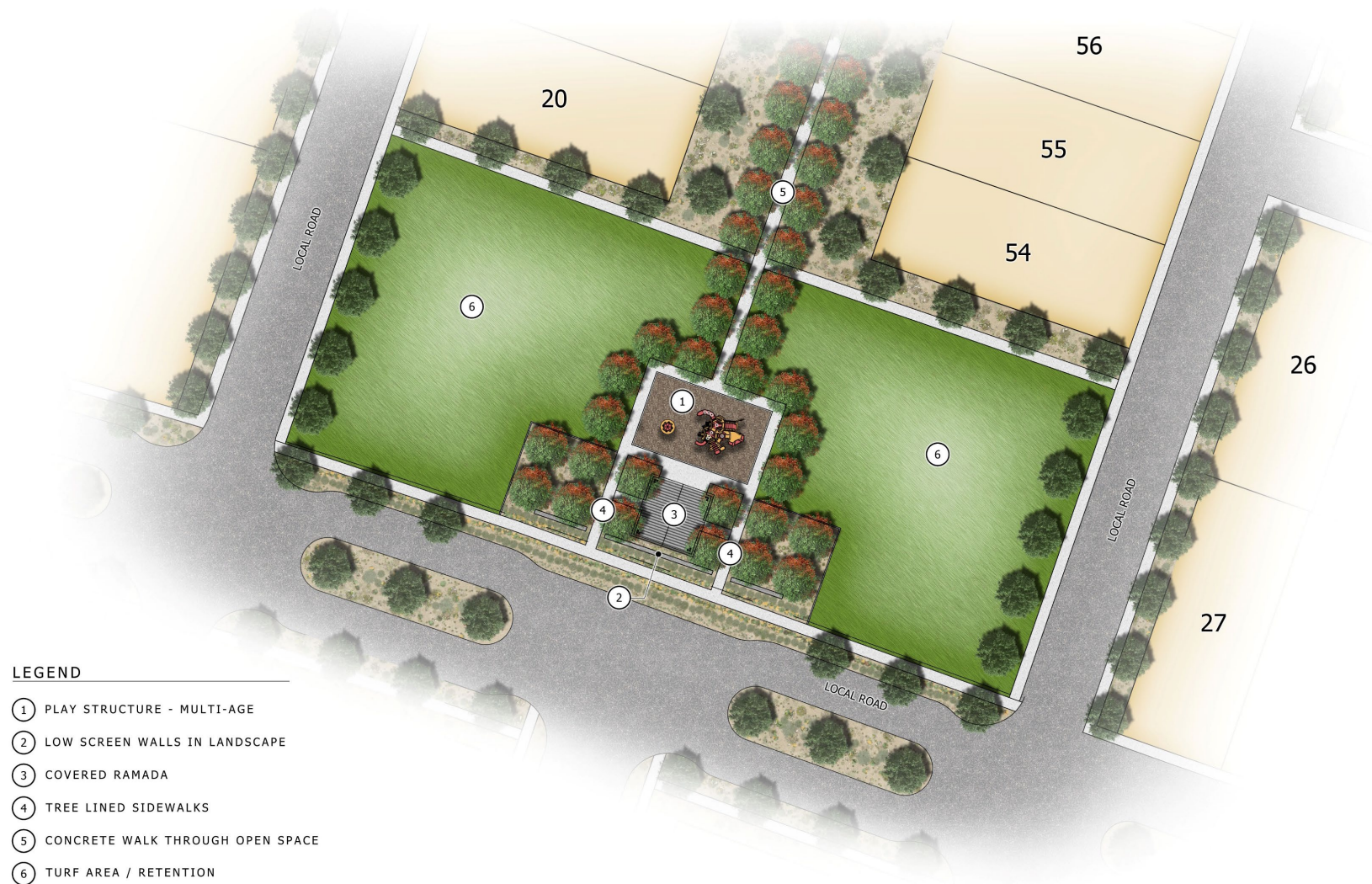
Conceptual Neighborhood Park

LEGEND

- | | |
|--------------------------------------|--------------------------|
| ① TURF / RETENTION | ⑧ PARK ENTRY PLAZA |
| ② MULTI-USE SPORTS FIELD | ⑨ TOT LOT PLAY STRUCTURE |
| ③ BASKETBALL COURT | ⑩ RAMADA AT TOT LOT |
| ④ DOG PARK - LARGE & SMALL DOG AREAS | ⑪ TURF AMPHITHEATER |
| ⑤ PICNIC AREA W/COVERED SHADE | ⑫ TREE GROVE |
| ⑥ PARKING LOT | ⑬ CONCRETE SIDEWALK |
| ⑦ DROPOFF | |



Conceptual Pocket Park Vignette 1



Conceptual Pocket Park Vignette 2

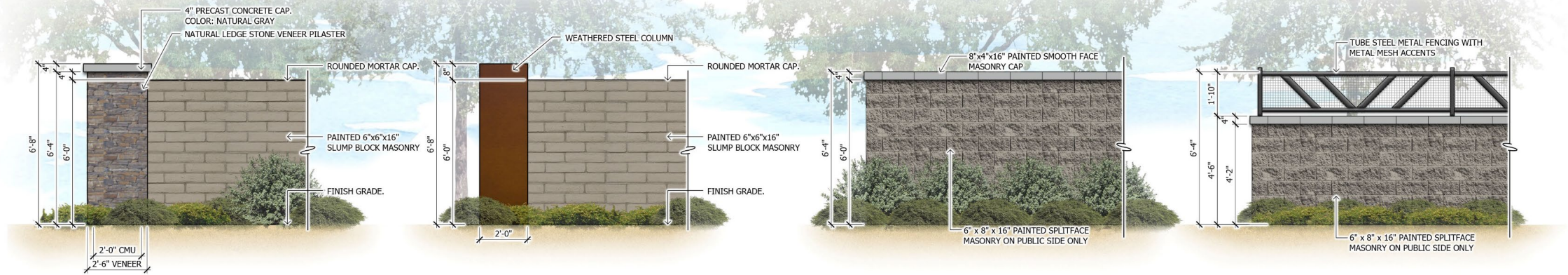


Wall Plan



- LEGEND**
- THEME WALL
 - SECONDARY WALL
 - PARTIAL VIEW WALL
 - ✱ REGIONAL ENTRY MONUMENT
 - ✱ PRIMARY ENTRY MONUMENT
 - ✱ SECONDARY ENTRY MONUMENT

Wall Details



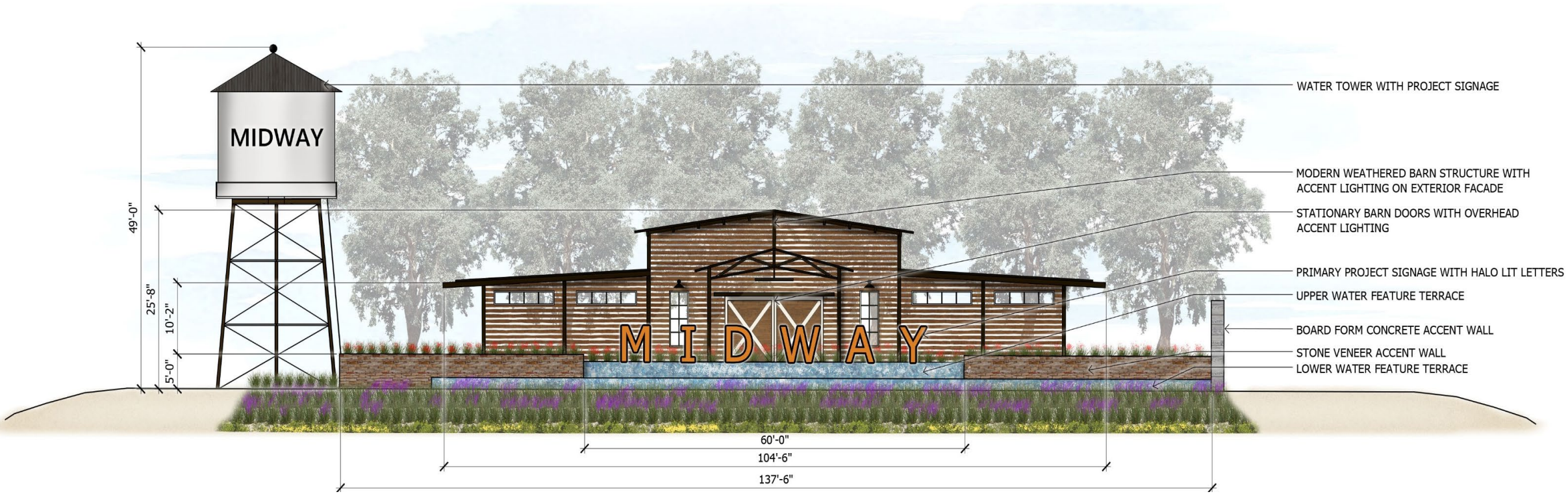
1 Theme Wall With Stone Column
SCALE: 1/2"=1'-0"

2 Theme Wall With Steel Column
SCALE: 1/2"=1'-0"

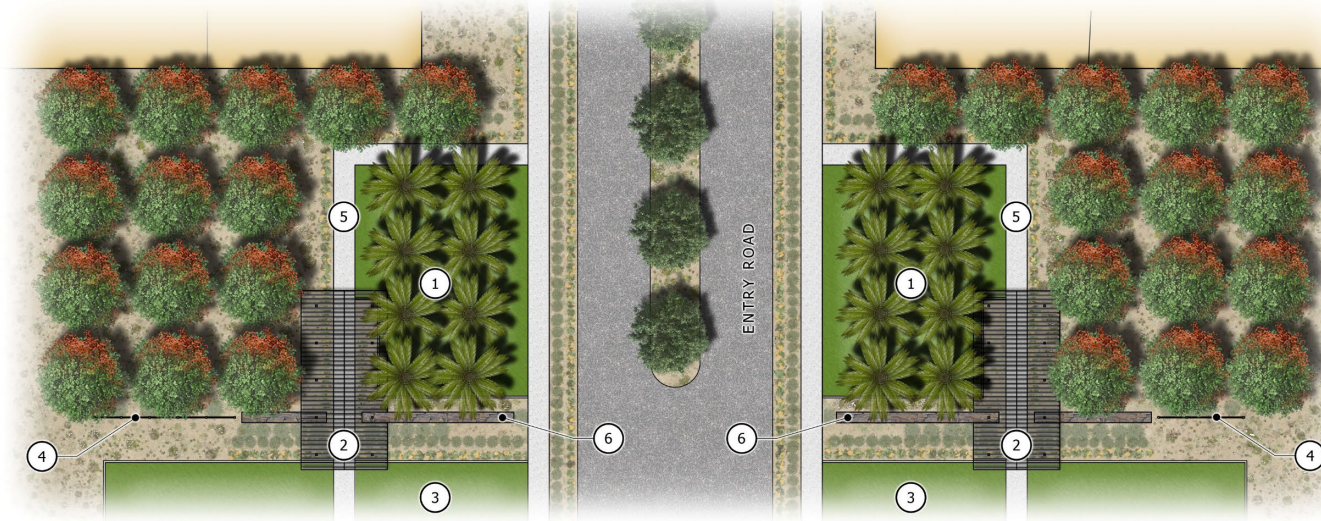
3 Secondary Wall
SCALE: 1/2"=1'-0"

4 Partial View Wall
SCALE: 1/2"=1'-0"

Regional Entry Monument



Primary Entry Monument



LEGEND

- ① PALM GROVE
- ② ENTRY PORTAL
- ③ TURF
- ④ RAIL FENCING
- ⑤ CONCRETE SIDEWALK
- ⑥ MONUMENT SIGN WALL

NOTE:
DESIGNS ARE CONCEPTUAL AND
SUBJECT TO CHANGE AT FINAL DESIGN

1 Primary Entry Monument Plan

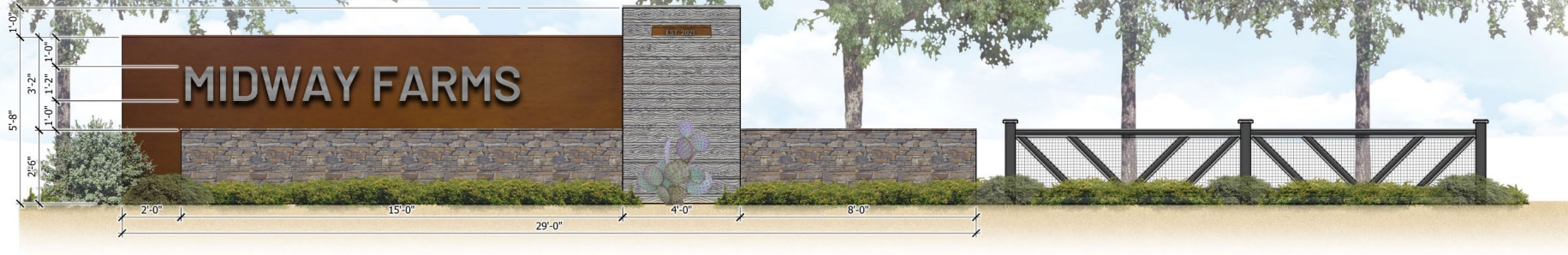
SCALE: 1/16" = 1'-0"



2 Primary Entry Monument Elevation

SCALE: 3/32" = 1'-0"

Secondary Entry Monument



1 Secondary Entry Monument
SCALE: 1/2" = 1'-0"

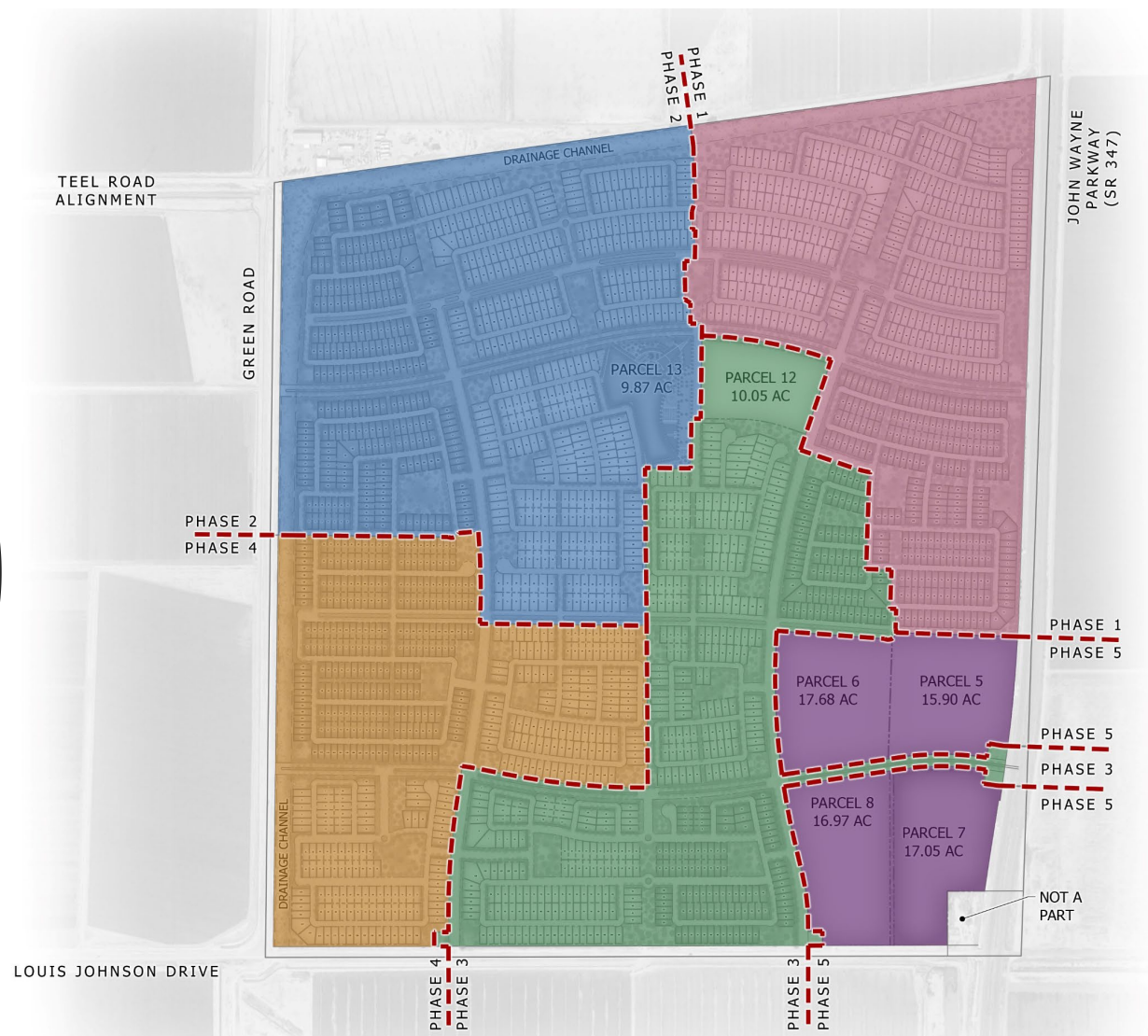
Conceptual Commercial / Mixed Use Site Plan



Conceptual Render of Commercial/Mixed Use Area



Phasing Plan



- LEGEND**
- PHASE 1
 - PHASE 2
 - PHASE 3
 - PHASE 4
 - PHASE 5

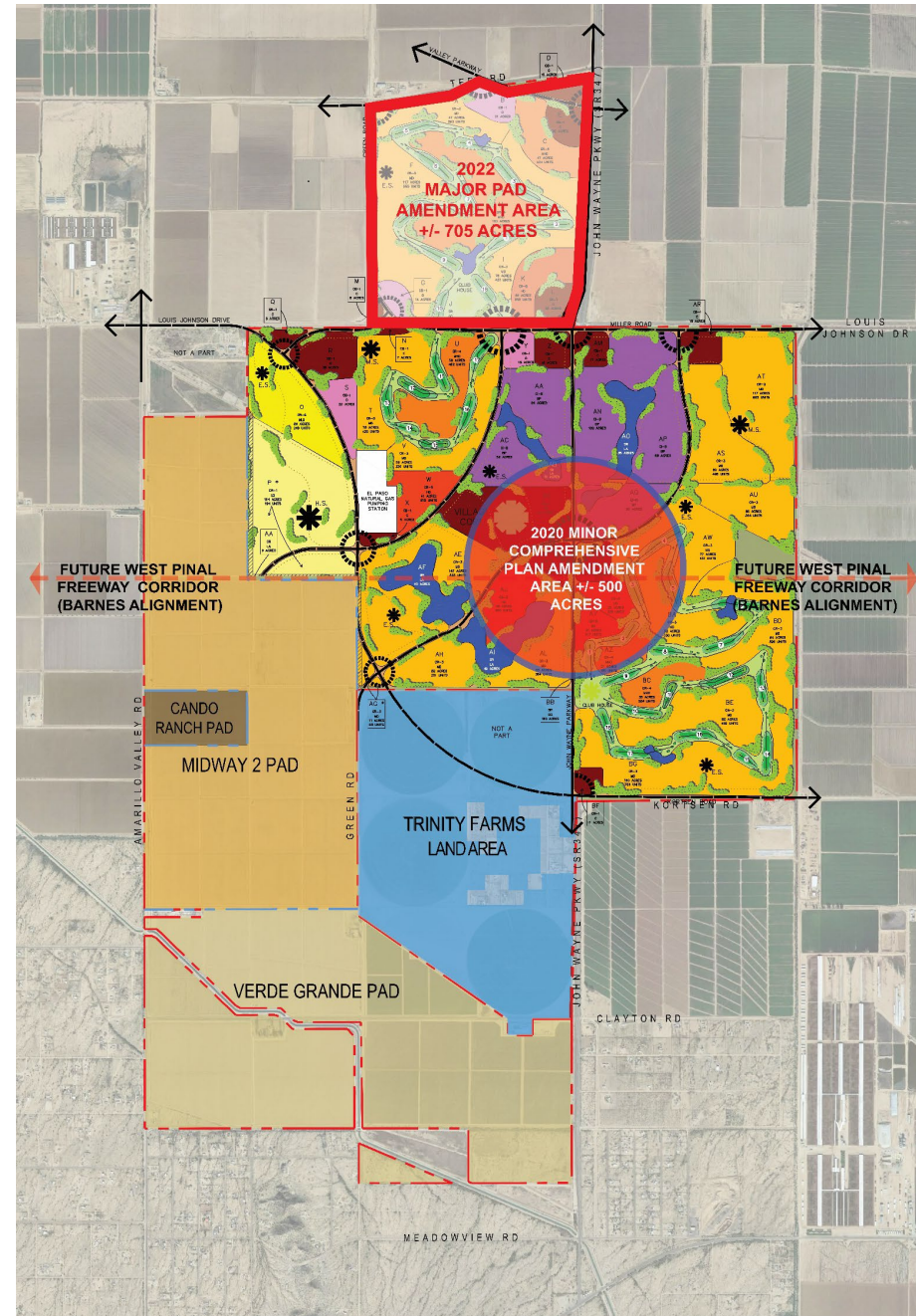
PHASE BUILDOUT					
PHASE	GROSS ACREAGE	* UNITS	DENSITY	ZONING	*** PROJECTED BUILDOUT TIMEFRAME
PHASE 1	156.33 AC.	546	3.49	R-7	2024-2029
PHASE 2	193.42 AC.	639	3.30	R-7	2029-2034
PHASE 3	155.22 AC.	495	3.19	C-1, MD, MR & R-7	2034-2038
PHASE 4	123.46 AC.	492	3.99	R-7	2038-2042
PHASE 5	75.62 AC.	762	10.08	C-1, MD & MR	2042-2047
TOTAL	704.05 AC.	** 2,934	4.17	C-1, MD, MR & R-7	16-25 YEARS

* QUANTITIES OF UNITS PER PHASE MAY INCREASE OR DECREASE, SO LONG AS THE OVERALL UNIT TOTAL IS NOT EXCEEDED.
 ** OVERALL UNIT TOTAL.
 *** PROJECTED BUILDOUT TIMEFRAME SUBJECT TO CHANGE BASED ON MARKET CONDITIONS.

Next Steps

- Submittal of preliminary plat materials for the PAD Amendment Area
- Submittal of final improvement plans for phase one of the PAD Amendment Area
- Future amendments to the remaining Midway I PAD combining numerous existing PAD's and land areas into one overall master-planned community utilizing the L-CMP zoning district.

Future PAD Amendment Area



Conclusion

- Request Approval of PZ-006-21 and PZ-PD-006-21
- This will allow the development of the Amendment Area
- Establishes the presence of a high-quality neighborhoods that are a part of a large master-planned community

Questions?