



MEETING DATE: JUNE 8, 2022

TO: PINAL COUNTY BOARD OF SUPERVISORS

CASE NO.: **PZ-006-21, PZ-PD-006-21 (MIDWAY 1- PAD AMENDMENT)**

CASE COORDINATOR: Sangeeta Deokar, Planner

Executive Summary:

MIDWAY 1 PAD Amendment is a request to rezone 704.05 acres with multiple zoning districts with a Planned Area Development overlay district to provide flexibility for residential and commercial development. The Planned Area Development (PAD) Overlay Zoning District establishes development standards for a commercial zone along with single-family, mixed dwelling, multiple residence for 2,934 dwelling units. The proposed rezone and planned area development is situated at the west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

If This Request is Approved:

The applicant will apply for building permits under the amended PAD and design standards.

Staff Recommendation/Issues for Consideration/Concern:

Staff recommends **approval** of the portion of Midway 1 Rezone (PZ-006-21) and the Planned Area Development (PAD) overlay amendment to Midway 1 PAD (PZ-PD-006-21), with attached stipulations.

LEGAL DESCRIPTION: Parcel of land situated in Section 33, Township 05 South, Range 03 East, G&SRB&M.

TAX PARCEL: 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E

LANDOWNER/AGENT: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, Seth Keeler, W Holdings agent

APPLICANT: Andy Baron, ABLA

REQUESTED ACTION & PURPOSE: (Two cases)

PZ-006-21 – PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting a, approval of a rezone of 704.05 ± acres from **SR PAD (Suburban Rural Zone), CR-3 PAD (Single Residence Zone), CR-4 PAD (Multiple Residence Zone), CR-5 PAD (Multiple Residence Zone), and CB-1 PAD (Local Business Zone) (Case PZ-043-98, PZ-PD-043-98) to R-7 PAD (Single Residence Zoning District) 620.58± acres, MD PAD (Mixed Dwelling Zoning District) 39.45± acres, MR (Multiple Residence Zoning District) 20.02± acres, C-1 PAD (Neighborhood Commercial Zoning District) 24.00± acres** to allow for 2,934 single family residential, multi-family residential, and neighborhood commercial uses; situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

COMMUNITY DEVELOPMENT
Planning Division

And

PZ-PD-006-21 – PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting approval of an amendment to **Midway 1 Planned Area Development (PAD) Overlay Zoning District** (Case PZ-043-98, PZ-PD-043-98), for 704.05 ± acres to allow for 2,934 single family residential, multifamily dwelling units and general commercial uses situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

LOCATION: located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

SIZE: 704.05 ± acres.

COMPREHENSIVE PLAN: Pinal County Comprehensive plan Land-use designation for the subject site is Moderate Low Density Residential (1-3.5 du/ac). Land use for Medium Density Residential (3.5-8 du/ac) and High Density Residential (8-25 du/ac) categories have been used that are allowed as alternative land-uses under Moderate Low Density Residential with large master planned community located along arterials and/or higher roadway classification.

EXISTING ZONING AND LAND USE: Subject parcels are currently zoned as SR-PAD, CR-3 PAD, CR-4 PAD, CR-5 PAD, and CB-1 (PAD) and are vacant.

SURROUNDING ZONING AND LAND USE:

North: Single Residence Zone (CR-3) Residential, Commercial (CB-1 PAD, CB-2 PAD)

South: Single Residence Zone (CR-3), Multiple Residence Zone (CR-4, CR-5), Suburban Ranch (SR-PAD), Commercial (CB-1 PAD, CB-2 PAD)

East: Single Residence Zone (CR-3) Residential

West: General Rural (GR) Residential

PUBLIC PARTICIPATION:

Neighborhood Meeting(s): June 05, 2019

Mail out: Week of March 25, 2022

Agency Mail out: Week of March 9, 2022

Newspaper Advertising: Week of March 28, 2022

Site posting, Applicant: Week of March 23, 2022

Site posting, County: Week of March 28, 2022

COMMISSION ACTION/RECOMMENDATION (PZ-006-21): At the hearing, after discussion with staff and the Commission, together with evidence presented & public testimony, the Commission voted 7-0-1, to recommend approval of **(PZ-006-21)** based upon the record as presented, with the following stipulation:

PZ-006-21 STIPULATIONS

1. Approval of this zone change (PZ-006-21) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals.

COMMISSION ACTION/RECOMMENDATION (PZ-PD-006-21): At the hearing, after discussion with staff and the Commission, together with evidence presented & public testimony, the Commission voted 7-0-1, to recommend approval of **(PZ-PD-006-21)**, based as presented, with the 16 stipulations.

1. Approval of this PAD (PZ-PD-006-21) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation supporting documentation and approvals including but not limited to zone change approval, PAD overlay district, site plan, walls/fencing, signage, lighting, and landscaping plans, as applicable;
2. Midway 1 PAD (PZ-PD-006-21) is to be developed in general conformance with the site plan/development plan submitted on July 2, 2019, along with the applicants other supplementary documentation in accordance with the applicable criteria set forth in Chapter 2.176 of the Pinal County Development Services Code;
3. Approval of this Planned Area Development (PAD) Overlay District is contingent upon the Board of Supervisors zone change approval as set forth in Planning Case PZ-006-21;
4. the property is to be developed with an approved Midway 1 PAD Planned Area Development (PAD) (PZ-PD-006-21), in accordance with the applicable criteria set forth in Chapter 2.176 of the PCSDC and the applicant's submittal documents;
5. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;
6. Dust registration is required if 0.1 acres or more land is disturbed.
7. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District;
8. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer's cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the Tentative Plat being scheduled for the Planning & Zoning Commission;
9. All infrastructure improvements shall be per the current Pinal County Standards and current MAG Uniform Standard Details for Public Works Construction or as approved by the County Engineer;
10. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
11. Half street right-of-way dedication and road improvements will be required along JOHN WAYNE PARKWAY/SR347 (eastern boundary), LOUIS JOHNSON DRIVE (southern boundary, and GREEN ROAD (western boundary). The required minimum half street right-of-way is 100' for JOHN WAYNE PAREKWAY/SR 347, 75' for LOUIS JOHNSON DRIVE, and 55' for GREEN ROAD. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County Engineer;

12. JOHN WAYNE PARKWAY/SR0347 and LOUIS JOHNSON DRIVE have been identified as a “Route of Regional Significance”. Applicant will be required to comply with the “Regionally Significant Routes for Safety and Mobility, Final Report, December 2008” and the current “Access Management Manual” or as approved by the County Engineer;
13. A Traffic Impact Analysis (TIA) will be required to be submitted to the County Engineer at the time of Final Plat and/or Site Plan submittal for review and approval. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer’s cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the first Final Plat and/or Site Plan approval;
14. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
15. All right-of-way dedication shall be free and unencumbered;
16. Any roadway sections, alignments, access locations and access movements shown in the PAD are conceptual only and have not been approved by the Pinal County Engineer.

Date Prepared: 5/16/2022 SD

Revised:

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PINAL COUNTY PLANNING AND ZONING COMMISSION
(PO NUMBER 243360)

Regular Meeting
9:00 a.m.
Thursday, April 21, 2022
Pinal County Administrative Complex
Board of Supervisors Chambers Historic Courthouse
135 N. Pinal Street, Florence, Arizona

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TRANSCRIPTION PROVIDED BY

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ORIGINAL PREPARED FOR:
PINAL COUNTY, ARIZONA

1 unanimously. Thank you very much.

2 DEOKAR: Thank you.

3 RIGGINS: Okay, it is noon. Let's look and see
4 where we are.

5 ABRAHAM: Mr. Chair, I'm happy to announce that the
6 clerk of the Board has provided lunch for us.

7 RIGGINS: Oh my.

8 ABRAHAM: So it is there right now.

9 RIGGINS: Oh my. Well, we have two agenda items
10 left, so if we're going to - well other people have to get
11 lunch too, it should be in an hour, should it not? Okay, it
12 is noon, we will adjourn for one hour for lunch and all be
13 back at 1:00.

14 [Break]

15 RIGGINS: We shall reconvene the regular meeting of
16 the Pinal County Planning and Zoning Commission on April 21,
17 2022 at little after 1:00 p.m. And we are in another case
18 where there are two cases to be discussed together, PZ-006-21
19 and PZ-PD-006-21. And I'll remind the Commission that after
20 we hear this case, there will be two separate votes that we
21 need to take. And with that, Sangeeta if you'll begin our
22 staff report.

23 DEOKAR: Sure. Steve, would like to take a roll
24 call or no?

25 ABRAHAM: I think we're okay, thank you.

1 DEOKAR: Okay. Thank you, good afternoon Chair,
2 Vice Chair, Commission Members. Sangeeta Deokar once again
3 presenting the next case. It's the Midway 1-PAD Amendment,
4 and the case number is PZ-006-21, PZ-PD-006-21. So the
5 proposal is requesting an approval of rezone of 704.05 acres
6 from multiple zones zoning, which is SR/PAD, CR-3/PAD, CR-4,
7 CR-5/PAD, and CB-1/PAD, to the following that have been
8 mentioned. R-7, MD, MR and C-1/PAD. Most of it as a single
9 residence zoning district, the other two are also residential,
10 however, they are mixed and multiple residence and the 24
11 acres to commercial - Neighborhood Commercial Zoning District.
12 Again, PZ-PD is a proposal for a PAD overlay modifying
13 original development standards and development PAD for a
14 Midway 1 Planned Area Development. This had an earlier
15 overlay which is PZ-PD-043-98, and this proposal is for a
16 portion of an overall 3,508± acres. The amendment is for 704
17 acres, as mentioned earlier, for a portion of the 3,500 acres
18 of the original Midway 1 PAD. Location is along west of North
19 Highway 347, north of West Louis Johnson Drive in the Maricopa
20 area. And owners are multiple owners, FB5 LLC, Entitlements
21 LLC, Meridian 80 LLC, Tres Points LLC. We have the
22 applicant/agent Seth Keeler, West Holdings, Any Baron from
23 ABLA. This is the County map giving a reference and a context
24 where this project is in the Maricopa area, west of Casa
25 Grande, and one can see it is in the western portion of the

1 County. An area map showing further zoomed down areas with
2 surrounding zoning. One can see that it's largely residential
3 and State Land to the west of this area, that is come in for a
4 PAD amendment. This gives you a perspective of what the
5 Comprehensive Plan designation is, which is Moderate Low
6 Density Residential, and one can see that the amendment area
7 is the portion of the dotted red line all across. So that if
8 you see that Mid-Activity Center - Intensity Activity Center,
9 which was - which is in the central portion of the bottom
10 portion of the PAD, of the larger PAD. Existing zoning, as
11 mentioned earlier, is multiple zones, SR/PAD, CR-3, 4 and
12 5/PAD, and CB-1/PAD, so largely residential. The aerial view
13 showing pretty much undeveloped land as of now. And in the
14 inset you can see the portion, the PAD amendment area of the
15 larger pad, which is shown in red. This is the Midway 1 PAD
16 development which was the earlier development plan, and one
17 can see that it is now coming for only a portion of the north,
18 which is going to be earlier designed with golf courses and a
19 different layout and a development plan which no longer is -
20 seems up to today's market, I would say desired market
21 conditions, and therefore they have come in for only first the
22 portion of 704 acres for an amendment. The original plat
23 covered approximately 3,500 acres with a density which was
24 approved for 3.8 dwelling units per acre. The original PAD as
25 what I studied and some of the errors that were noted in this

1 PAD narrative was some calculations in this area. The Table
2 II-4 of the original pad showed that the area was 3,544 acres
3 and the totaling, however, came to 3,540 acres. Similarly,
4 the amendment area also had some discrepancies, where the
5 original tables were calculated showing 840 acres as per Table
6 II-1 of the original PAD document, however, the survey
7 completed for the same area equals just 704.05 acres. There
8 has been no change in terms of the roadways, alignments, or
9 the Section 33 area, and this is Section 33 area that we're
10 talking about. So what I'm trying to point out is the earlier
11 entitlement for that area was held to 840 acres, which no
12 longer holds true as far as today, because today when you see
13 the area is less than what it was entitled for. This map
14 shows the existing and the proposed zoning. One can see that
15 the existing zoning shows a very fluid kind of an, I would
16 say, design with golf courses and a residential area
17 surrounding that with - mixed with commercial and - which is
18 now, if you'll see on the right side, the PAD amendment area
19 shows a larger portion with R-7 that is being proposed as
20 zoning, with MD, MR and C-1 at the southeast corner of this
21 area. This is the development plan for the amendment portion
22 for Midway 1. And one can see that the way the layout has
23 been, it has been with multiple entry points on the eastern
24 side, which is the SR 347. On the southern side, also, you
25 can see entry points into the developed portion. There's a

1 mix of lots, three kinds of lots within the R-7, which is I
2 would say 75 percent of this amendment area. On the western
3 portion also you can see two entry points into the
4 subdivisions and the, I would say, platting of this whole
5 area. You can see a central amenity, which is 9.07 acres.
6 There's a school site and the commercial portion on the
7 southeast is surrounded by higher densities, which is the
8 multiple residence and the MD and the MR zoning. The layout
9 has collector, major collector streets going east to west and
10 also has the interspersed with a small pockets which are the
11 neighborhood parks and larger parks at each, I would say,
12 phase level which I will go over in the next portion of the
13 open space and recreation plan. We can see that the way the
14 layout has been, it is each corner or each portion of the plan
15 would have its own amenities that are being provided in terms
16 of various things - trails connections, the pedestrian
17 movements that have been along those major corridors within
18 the whole layout. I forgot to mention one part of this,
19 there's a whole channel, a drainage channel which is on the
20 northern portion and the western portion of this whole PAD,
21 taking away, ensuring drainage is taken care of for onsite and
22 offsite, with retention basins within the plats. Amendment
23 area, land density, land data and density, what I would like
24 to show in this is the plat amendment area is 704.05 acres,
25 the total number of units are 2,934 dwelling units, and the

1 total density comes to 4.2 dwelling units per acre. And one
2 can see that larger portion is in the R-7, which is 2,172
3 dwelling units with MD and MR taking over 316,446 dwelling
4 units. The commercial portion is 24 acres and you can see the
5 overall lots in this also showing a variety in three lot
6 sizes, which shows - which has been shown 4,500 and 1,550 by
7 120, and 55 by 125 feet with lots. So it's a mixed
8 residential area with 18 percent of overall open space that
9 has been provided in this whole portion of this amendment
10 area. The phasing plan in this shows the different phases
11 shown in different colors. Phase 1, 2, 3, 4, 5, the last
12 phase includes the commercial zone. Phase 1, 2 is largely the
13 R-7. Phase 3 shows a portion of commercial and the
14 multifamily and the multiple dwelling units. And R-7 is -
15 again shows R-7, and then Phase 5 shows the development of the
16 southeast corner, which is the multifamily and the commercial
17 portion of this amendment area. The circulation trails and
18 connectivity plan, as I was talking earlier, this shows a
19 better - an (inaudible) picture of conceptual trails all
20 across, connecting from each one phase to the other. The
21 parcel in the center is the larger amenity for this whole
22 area, which is the Park Central Community Park. It has
23 sidewalks, which have been designed based on the sizes of the
24 streets and the network of the roads. There are sections that
25 have been taken across, which show clearly how the landscaping

1 along with sidewalks have been taken care of in this whole
2 amendment area. Some pictures to the north. You can see that
3 it is a totally undeveloped land and (inaudible) on this side,
4 so it's a little hazy. To the south. To the east, and to the
5 west. Some items for Commission consideration. The amendment
6 area is 704.05 acres. Access points, two along - there are
7 two access points along each on John Wayne Parkway, two along
8 Louis Johnson, and two along the Green Road. Density total
9 number of units is 2,934, with an overall density coming to
10 4.2 dwelling units per acre. There are multiple housing
11 alternatives, multiple residences, mixed dwellings, single
12 family housing has a variety of three lot mixes, as mentioned
13 earlier, based on the current market demand. Drainage
14 channels along the north and west of the development to ensure
15 stormwater management has been taken care of. The strategic
16 locations of retention basins within the development has been
17 done. Traffic circulation within the masterplan community
18 designed to be able to handle traffic generated with major and
19 minor collectors for traffic movement and dispersal. All road
20 improvements with associated development would be conducted
21 phase-wise as shared in the TIA. There's 18 percent of open
22 space, which amounts to almost 111.70 acres designed and
23 planned with parks, amenities, trail systems that connects
24 open spaces with well laid pedestrian network systems. We
25 received one letter in opposition, and I've shared that with

1 you. Staff recommends approval for PZ-006-21with two
2 stipulations, and PZ-PD- with 006 - with 15 stipulations.

3 RIGGINS: Thank you very much. Commissioners,
4 questions on the staff report? Commissioner Fliss.

5 FLISS: Sangeeta, can you summarize the opposition
6 letter, just briefly?

7 DEOKAR: Sure. Basically, this letter is from Rick
8 Williams, he's the planning manager for the City of Maricopa,
9 and he is talking about if - first of all, he is looking at
10 this as an extended area for the City of Maricopa, which at
11 this point is not. He's also talking about the city having a
12 regional trail planned essentially around the perimeter of
13 this amendment area, which again is at this time not part of
14 the City of Maricopa. The other thing he's talking about is
15 the commercial land use designation provides for commercial
16 routes on individual parcels. Neighborhood and community
17 scale uses are to incorporate pedestrian and neighborhood
18 needs, and larger parcels over 40 acres anticipates regional
19 retail development. So he's talking about that portion on the
20 southeast portion that needs regional retail development.
21 However, the parcel is not 40 acres for that portion, it is
22 around 25 acres, as I have talked about in commercial portion
23 of this development and PAD amendment.

24 RIGGINS: Commissioners, any other questions?
25 Commissioner Hardick.

1 HARDICK: After taking in the considerations on this
2 letter, have you made any adjustments to the proposal?

3 DEOKAR: We received this just two days back, and
4 yesterday's when I shared the same with you.

5 HARDICK: But based on this, you wouldn't make any
6 changes?

7 DEOKAR: I would first question the basic thing - at
8 this point in time, this is part of Pinal County
9 unincorporated area, and what he's talking about the extension
10 of, or a planned extension of the City of Maricopa, so I'm not
11 sure how that would impact this development at this point in
12 time.

13 HARDICK: What he's saying is he - you're saying he
14 doesn't really have the authority because he's not within his
15 boundaries.

16 DEOKAR: Yes.

17 ??: Yes, you're right.

18 RIGGINS: Entirely.

19 ABRAHAM: Mr. Chair, may comment on that?

20 RIGGINS: Yes, go ahead and explain that please.

21 ABRAHAM: So that is correct. However, we bring the
22 towns and cities into our planning processes and ask them for
23 comments on development proposals that occur near their
24 planning, and within their planning area. This is on the
25 south side of Ak-Chin, so the City of Maricopa's north of Ak-

1 Chin. You have the Indian community, then this property is
2 right by there. Looking at their proposal, it appears there
3 is a trail around the perimeter. His other concern is about
4 the commercial areas?

5 DEOKAR: The open space not meeting by two percent.

6 ABRAHAM: So there - looks like their open space
7 requirements as terms of a percentage are a little bit higher
8 than ours are, so this would meet our requirements. And then
9 the third requirement?

10 DEOKAR: The 40 acre that asks for retail, regional
11 retail development, if it is greater than 40 acres.

12 ABRAHAM: And how much is this the proposed?

13 DEOKAR: This is - the portion which is commercial
14 is 25 acres, approximately.

15 ABRAHAM: So just for the Commission, they would
16 like to see more commercial there or less?

17 DEOKAR: They - I'm not sure if he saw that, that it
18 is less than 40 acres, so it does not call for a retail
19 development.

20 ABRAHAM: Okay.

21 DEOKAR: So he assumed that that whole red portion,
22 which is - includes the MB and MR, is part of the of the
23 commercial.

24 ABRAHAM: Okay. Well Commissioners, then we have
25 the trail for - from their concerns that they presented there.

1 It's just differences in communities in terms of some
2 communities have certain numbers and we have one and they have
3 another. And then it sounds like the third concern was most
4 likely a null hypothesis and needs more explanation to the
5 City of Maricopa for description, because it sounds like he
6 was looking at the - maybe he doesn't have the complete
7 picture.

8 HARDICK: Do we know if he's trying to annex that
9 property?

10 ABRAHAM: I'm not aware of that, but the applicant
11 may want to talk about that.

12 FLISS: And Steve, if I might, a city's planning
13 boundaries, just briefly, are what?

14 ABRAHAM: So that means that they have gone and
15 included areas that are outside of their municipal limits, but
16 they appear on their general plan. They're equivalent of our
17 Comprehensive Plan.

18 FLISS: Okay, but they're outside of their
19 boundaries, so the cities assume that at some point they will
20 become part of the city. Is that -

21 ABRAHAM: That is correct, yeah. They're
22 anticipating and planning on future growth in their immediate
23 area of influence. Oftentimes the municipal boundaries are
24 one thing, but the general plan boundaries are much, much,
25 much larger, and that's a cooperative effort between us and

1 the cities to try to, you know, really coordinate regional
2 planning on a large scale.

3 RIGGINS: And I think that's the important aspect of
4 it, is it's to assure connectivity and various aspects that
5 will cause major problems. As far as small issues of zoning,
6 it really is irrelevant.

7 ABRAHAM: Yeah.

8 RIGGINS: Vice Chair Hartman.

9 HARTMAN: Steve, is it really possible for Maricopa
10 to come jump Ak-Chin and come over and annex this property
11 eventually? Because you also have Stanfield.

12 ABRAHAM: Right.

13 HARTMAN: Which is not incorporated, which is Pinal
14 County. But Stanfield is actually closer to this property,
15 this project, then City of Maricopa without the Ak-Chin
16 barrier. That's my question. The Ak-Chin, is it really a
17 barrier?

18 ABRAHAM: It is, and the city would have to annex
19 around the east or western sides of the Indian community and
20 come down and capture this piece.

21 RIGGINS: They wouldn't only have to go around the
22 boundaries, but then they would also have to come all the way
23 to it.

24 ABRAHAM: That's correct.

25 RIGGINS: It would be a large annexation.

1 ABRAHAM: Yeah.

2 ??: Chairman. So there's very little chance that
3 that's ever going to happen.

4 ABRAHAM: You know, I can't really speak to that.
5 I've seen things, but a lot of folks would be involved in that
6 annexation if they went around the west side, and a number of
7 large properties wouldn't be involved if it went around the
8 east side.

9 HARTMAN: Steve, one - excuse me Chair.

10 RIGGINS: Vice Chair Hartman.

11 HARTMAN: Steve, one more question. Is there an
12 older easement that goes along with this, because you have a
13 lot of dairies in that area. You have, what, you have 12,000?
14 I think you have like 40,000 cattle and milking cows in that
15 area, within a three mile area. And in Maricopa, the
16 (inaudible) Kristofferson feed yard was moved out, even though
17 they had an odor easement.

18 ABRAHAM: Right. Well the odor easement discussion
19 usually ends up talking about at the tentative plat stage.
20 Further, there's - and we can bring the Commission up to speed
21 - and I hope I'm not getting off the agenda here, but there
22 are protections for dairies under state law nowadays that the
23 odor easement is, in my opinion, if the dairy is immediately
24 next door to the development. But we can certainly talk about
25 that at a future date, and when the project comes into

1 platting, we can talk to the applicant about odor easements.

2 HARTMAN: Okay. Thank you.

3 RIGGINS: Any other questions of staff? There none
4 being, thank you.

5 DEOKAR: Thank you.

6 RIGGINS: And will the applicant please come up?
7 And if you'd make sure and get your name and address down on
8 the log and then give that to us before you begin.

9 FISH: Okay. My name is Alex Fish, I represent ABLA
10 on behalf of the applicant. Chairman, Vice Chair,
11 Commissioners, thank you for having us here. We're excited to
12 be - have this project here with you today. This is for the
13 Midway 1 PAD Amendment with rezone, which is part of the
14 larger Midway product that we will be bringing into the
15 project, into the County here after this amendment is
16 complete. It includes the Midway 1, Midway 2, and other PAD
17 projects in this area, which are equal to about roughly 5,800
18 acres. As some of you may know from 2020, is that we had a
19 Comprehensive Plan Amendment that moved the Mid Intensity area
20 that's shown here in this exhibit from the intersection of
21 Louis Johnson and 347 down to the future alignment of the I-11
22 and where the 347 intersects. So that is probably part of the
23 reason why the City of Maricopa had the comments about the
24 commercial area. Mid Intensity used to be located at that
25 intersection and it has now been moved, which makes a little

1 bit more sense for us in terms of putting it where the future
2 major corridor for I-11 will be for the higher intensity uses.
3 Sangeeta did a great job on touching on most of these items
4 for the zoning changes from the various existing zonings, to
5 the current proposal for R-7, MD, MR and C-1. The surrounding
6 zoning uses here are in compatibility with our proposal.
7 Currently the amendment area is entitled to roughly 3,700
8 units and we are proposing to reduce that down to about 2,900
9 units, which is a more than 700 unit reduction. And as
10 mentioned before, we're going to be coming back in with the
11 overall Midway to change everything south of this amendment
12 area currently to the L-CMP, which is a new zoning category
13 that was approved last year. This is the current site plan
14 that is - development plan as proposed for the project from
15 various lot categories that we can - are able to be used
16 within this project. The circulation that we have proposed
17 for the roadways, which has a various number of - the parkway
18 for the 347 on the east side, major arterial on the south side
19 for Louis Johnson, and minor arterial for Green Road on the
20 west side, and various collector roads internally to promote
21 various levels of circulation to allow residents to vehicle
22 circulation, as well as pedestrian level. With some
23 (inaudible) street sections in here. When we were developing
24 the site, we were looking at ways to try to promote pedestrian
25 lifestyle throughout to allow circulation throughout the

1 community, as to each of the individual parks that will be
2 planned on here, as well as the circulation on the perimeters,
3 and that these will then tie into the overall Midway to the
4 south. This identifies the overall landscape plan for the
5 project and identifies various locations that we intend to put
6 in neighborhood as well as pocket parks to facilitate the
7 pedestrian level experience. The open space plan here helps
8 to show the, as Sangeeta mentioned, the drainage on the west
9 side and the drainage on the north side and also the trails
10 that will be highlighted along those edges, and the locations
11 of the open space internally to facilitate pedestrian
12 circulation. These are the conceptual neighborhood park, as
13 well as conceptual pocket parks that kind of highlight the
14 level of design and finish that we intend to have for these
15 individual parks and inside the community. The wall plan is
16 to give you an idea of where we are intending to have these
17 walls for the community, as well as the level of finish that
18 we plan for the walls themselves to create a high level
19 project. This is the regional monument that is on the very
20 northeast corner of the project. That will be what you will
21 see as you travel south on the 347 coming up to the Midway
22 project. So we're trying to take elements of the current
23 heritage of the project and the region, in general, to create
24 a (inaudible) theme for the project. This is the primary
25 entry that would be located off of 347, and so if you look

1 here on this location up in the northeast corner where the two
2 red symbols are, that is the (inaudible) location for the
3 primary monument. Secondary entry monuments would be located
4 in any other locations that are also identified on plan. This
5 is a conceptual site plan that was developed for the
6 commercial area there, and the MD and MR categories. This is
7 just to facilitate what could be planned there. We don't have
8 any interested parties yet, and those areas could be developed
9 in other ways, but this is just to give members of the
10 Commission an idea of what could be developed in this
11 location. And this is a bird's eye view of that same area.
12 The phasing plan, obviously we're going to start on the
13 northeast portion of the project here and develop the north
14 end of the project and work our way south. So this is market
15 driven, so it could be - the year ranges shown here may or may
16 not be accelerated or slowed down, depending on the market,
17 and the order of these phasing could change if somebody came
18 in and wanted to develop the commercial portion first. So
19 next steps is to, after this project is approved, is to submit
20 a tentative plat submittal for the residential portions of the
21 Midway 1 PAD amendment area, and then move onto developing the
22 consolidated Midway 1 and get that submitted for zoning later
23 this year. So this exhibit kind of shows the new location of
24 the Mid Intensity Area that was approved in 2020, as well as
25 the current proposal for Midway 1 PAD area. And then the

1 remaining portions of the Midway 1 that would be submitted
2 later this year. In conclusion, we are requesting approval of
3 both zoning cases for this Midway 1 PAD Amendment to establish
4 a high quality neighborhood that we are trying to facilitate
5 here.

6 RIGGINS: Thank you. Commissioners, questions from
7 the applicant? Vice Chair Hartman.

8 HARTMAN: Thank you, Chair Riggins. Shane, I'm from
9 that area over there on Maricopa. I have lived there all my,
10 basically all my life and I know that area is basically a
11 water short area. It's not our obligation to judge whether
12 there's water there or not, but I know historically, because
13 the Department of Water Resources is the one that will give
14 you the final say, have you and your community had any
15 discussion with the Department of Water Resources?

16 FISH: We've had discussions with Global Water who's
17 the water provider in the area, and they have established that
18 they will provide water for our site, and we have had
19 discussions with them about potentially giving them a well
20 site on our property as well. And in terms of water use, we
21 are reducing the amount of water that is already allowed - or
22 excuse me, reducing the amount of water that would be used on
23 the site if we develop the project as currently approved, by
24 removing the golf courses and reducing the residential
25 intensity.

1 HARTMAN: Since that - you gave a real good
2 explanation, that's good. But I - going back a little bit,
3 that area originally was, a lot of it was farmed by Louis
4 Johnson and John Wayne, 26 Bar and all that, and they went in
5 the early days to drip irrigation because they were so short
6 on water, then they found out the drip didn't work. And today
7 I think I kind of - there's 16 or thereabouts center pivot
8 sprinklers in that area, which in agriculture a pivot will
9 work, but it's not the best means of irrigation. Flood
10 irrigation is the best way, but it takes a pretty good amount
11 of water to be able to flood irrigate. So I'm really
12 concerned with the density. I've been on this Commission
13 quite a while and I, I - when I started on the Commission we
14 were at 2.5 was the maximum that this Commission would allow.
15 Dwelling, this is dwellings per acre. And so this development
16 would be 4.17 or thereabouts, which is to me - I'm a native
17 Arizonan, and I think that that's too many homes to have on an
18 acre, but I just - those are some of the things that concern
19 me. I know that, I think El Dorado owns some land kind of
20 northeast of you, and so that was one of the areas that they
21 originally started to look at before they developed the
22 Maricopa area, and I know that this is going to happen. I
23 know with the packet that you gave us is almost too much to
24 carry, the paperwork. God bless you guys for going ahead and
25 getting all that information together. So I see that you've

1 done your homework, sure, but the density is my thing that I -
2 and I'm happy to see that you have reduced it from the
3 original number that you had stated.

4 FISH: Yeah, I completely understand and I
5 appreciate it. All I can really say is that we are in
6 conformance with the Comprehensive Plan in terms of density.

7 HARTMAN: What about the City of Maricopa, or I
8 actually heard economic development was one of the ones that
9 was concerned about the open space. What's your thoughts on
10 your open space?

11 FISH: We're required to provide a minimum of 18
12 percent of open space, and we're complying with that
13 requirement. We can't reduce it any further.

14 HARTMAN: Okay, thank you.

15 RIGGINS: Other Commissioners.

16 FLISS: Mr. Chair.

17 RIGGINS: Commissioner Fliss.

18 FLISS: So is the idea that this community would be
19 completely separated from the L-MPC that you propose
20 (inaudible)?

21 FISH: Sorry. Yes, they will be - it will not be
22 separated. I mean, Louis Johnson is a major arterial, so that
23 does create a barrier, but the roadways that we are planning
24 internally to our community will connect directly with the
25 roadways to the south and provide pedestrian crossings as well

1 as vehicle connection points. So the overall Midway to the
2 south will be a part of this project.

3 FLISS: Okay. But it won't have necessarily the
4 same freedoms as that new zoning district - or I mean, you're
5 going to be planning this completely separately ultimately.

6 FISH: I guess I'm not quite sure what you mean by
7 completely separate. We're going to -

8 FLISS: Physically they'll be connected, but they're
9 two separate. They will be part of the same overall HOA.

10 FISH: Okay, is that the question?

11 FLISS: More or less, but they're zoned differently
12 at this point.

13 FISH: Yeah. It'll be - this is a PAD, the other
14 one will be using the new L-CMP, which will have us still have
15 to come back in and submit tentative plats and other items
16 that comply with the L-CMP.

17 FLISS: The L-CMP.

18 FISH: Yeah.

19 FLISS: Thanks.

20 RIGGINS: Any other questions of the applicant?
21 Commissioner Hardick.

22 HARDICK: There seems to be a lot of open ended in
23 your proposal. You know, it seems like you're leaving
24 yourself a lot of leeway to make changes without coming back,
25 it sounds to me. I mean many of the times in your proposal

1 you said or after, you know, it sounds to me like you're not
2 quite fixed in your own mind exactly what you're going to do
3 with all of the if and ands and maybes, and changes. Maybe I
4 misunderstood, but it doesn't sound like - it sounds to me
5 like there's too many open ends.

6 FISH: So for this PAD amendment area, we're
7 planning on submitting tentative plats next month. So what we
8 are proposing here as soon as it's approved, the tentative
9 plats will be coming in for a review by the County.

10 HARDICK: So this is preliminary.

11 FISH: Excuse me?

12 HARDICK: So you're kind of giving us a preliminary
13 look before you come back, or you have to have this approval
14 to where you can go further?

15 FISH: We can't submit tentative plats until after
16 the P&Z.

17 HARDICK: So all of these if, ands and buts will be
18 answered in that PAD?

19 FISH: We will be complying with the PAD that you're
20 reviewing right now.

21 HARDICK: Okay.

22 RIGGINS: Any other questions of the applicant?
23 There none being, thank you.

24 FISH: Thank you.

25 RIGGINS: I'll go ahead and open up the public

1 participation portion of this case and ask out in the audience
2 if there's anybody that wishes to come up and speak to this
3 case. And if you can please get your name and address down on
4 the log and then give that to us before you begin your
5 discussion, please.

6 FLANAGAN: Okay. My name is Mary Eileen Flanagan,
7 and I am from P.O. Box 640, Stanfield, or 4990 North Appaloosa
8 Road. Chairman Riggins, Commissioners, I'm one of the houses
9 that's the closest to this proposed subdivision. I'm about
10 three miles from it. Louis Johnson is our main entrance and
11 exit out of our house onto the 347. If something like this
12 goes in, the congestion in our area is going to be amazing.
13 As a native Arizonan, I share your concern about water, and so
14 did several people who had to work today that couldn't be here
15 that I discussed this with, water was always the number one
16 concern. The other concern that we had that I haven't heard
17 anybody bring up is right now we have dark skies. This is an
18 area south of Maricopa called Hidden Valley, and Hidden Valley
19 is where people come to look at the stars. You can't see them
20 in Maricopa anymore, and we would hope that this - that
21 somewhere in this planning process our dark skies would be
22 protected. We already have the Rio Bravo Dairy at Louis
23 Johnson and Amarillo Valley, which took away part of our
24 northern sky, but if this goes in, there just won't be any
25 northeastern sky either. So that's something that we'd like

1 to talk about - like you all to talk about. And then the
2 other thing is, is fencing. We're a agricultural/equestrian
3 kind of community out there and the fences, the blocks fences
4 wall people away from us and wall us away from them. I'd like
5 to suggest rail fences, pipe and rail, split rail, but
6 something that feels more open. One of the problems that I've
7 heard discussed in town is, is that the different communities
8 have actually developed gangs because of the walled
9 communities. The kids are like, well I'm from this gang. And
10 it's caused problems within the school district. I'm a
11 substitute teacher and I have heard other teachers talking
12 about this. So I would ask you to consider those things. I
13 know that traditionally we put up brick walls around our
14 communities in Arizona, but I'm a Tempe girl and I watched
15 what that did in Tempe, and the communities that don't have
16 the walls around them really feel like they're part of the
17 town. And I would like to suggest that maybe without a wall,
18 the people that move out here, even though they'll be in a
19 much more densely packed community than 3.3 acres per house,
20 would feel that they were part of us and not separate and
21 tucked away.

22 RIGGINS: Thank you. Before you step down, any
23 questions of the presenter? Thank you very much. Would
24 anybody else like to come up and speak to this case? Anyone
25 at all? None being, I'll go ahead and close the public

1 participation portion of this case and ask the applicant if
2 there's any reason he wants to come back to say anything at
3 this point.

4 FISH: Thank you. The traffic study has been
5 prepared for this community and submitted to staff for their
6 review. In regards to dark skies, we are going to be meeting
7 Pinal County's requirements for lighting and we, like
8 everybody, likes to try to reduce any effect that we have on
9 the - our night skies. Thank you.

10 RIGGINS: Thank you. Any questions? Before you
11 step down, any questions? Okay.

12 FISH: Thanks.

13 RIGGINS: We'll turn it back over to the Commission
14 then for any discussion among ourselves on this case. Any
15 questions of staff, or if someone is prepared to make a
16 motion. Vice Chair Hartman.

17 HARTMAN: As a Commission Member from basically this
18 area, I'm going to kind of step down from making a motion
19 today. I'm kind of limited on my eyesight and the packets of
20 material that I received, I just didn't really get to
21 thoroughly go through it. So I would like to relinquish my
22 duty as a representative of that area over to one of the other
23 Commission Members.

24 ABRAHAM: Mr. Chairman if I may. McD, are you
25 suggesting abstention from the vote?

1 HARTMAN: No, I'm just asking one of the other
2 Commission Members to make a motion either way.

3 ABRAHAM: Okay, fair enough.

4 RIGGINS: Insofar as it is in his neighborhood.

5 HARTMAN: Yes.

6 RIGGINS: Yeah. Okay, other Commission Members?
7 Commissioner Mennenga.

8 MENNENGA: I move the Planning and Zoning Commission
9 forward a recommendation of approval for case PZ-006-21.

10 ABRAHAM: Can you use your microphone, please?

11 MENNENGA: Yeah, sorry about that. I move the
12 Planning Commission forward a recommendation of approval of
13 case PZ-006-21 to the Board of Supervisors. Is there any
14 stips - there's no stips with this one. One stipulation as
15 listed in the report.

16 RIGGINS: We have a motion, do we have a second on
17 that motion?

18 FLISS: Second.

19 RIGGINS: Commissioner Fliss seconds the motion.
20 All in favor stipulate by saying aye.

21 COLLECTIVE: Aye.

22 RIGGINS: Any opposed?

23 HARTMAN: Abstention.

24 RIGGINS: We have an abstention. Okay. No opposed,
25 one abstention. All right, the motion passes. We have

1 another case.

2 MENNENGA: How many stipulations are on that, Scott?

3 RIGGINS: That's - there's 16 on that one. Would
4 you like to make a motion?

5 MENNENGA: Yes.

6 RIGGINS: Commissioner Mennenga for a motion.

7 MENNENGA: I move the Planning Commission forward a
8 recommendation of approval of case PZ-PD-006-21 to the Board
9 Supervisors with its 16 stipulations as listed on the staff
10 report.

11 RIGGINS: We have a motion, do we have a second?

12 FLISS: Second.

13 RIGGINS: Second from Commissioner Fliss. All those
14 in favor signify by saying aye.

15 COLLECTIVE: Aye.

16 RIGGINS: Any opposed?

17 HARTMAN: One abstention.

18 RIGGINS: One abstention. Okay.

19 DEOKAR: Thank you.

20 RIGGINS: It passes. Thank you. Okay. All right.

21 Anybody want a ten minute break before we hear the last one or
22 do we want to get right into it?

23 MENNENGA: No, let's get it done.

24 HARTMAN: Let's go.

25 RIGGINS: Okay, then we're going to get right into



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**INFORMATION ABOUT CONSENT TO CONDITIONS/STIPULATIONS AND WAIVER
OF CLAIMS FOR DIMINUTION IN VALUE**

Pinal County, as part of the application process concerning land use requests, is now requesting that property owners or their authorized agents execute and return the attached Consent and Waiver. This policy is a result of that part of the Private Property Rights Protection Act (Proposition 207) that deals with regulatory takings and changes in land uses (A.R.S. §§12-1134 – 12-1138).

By signing the Consent and Waiver, the property owner agrees and consents to all conditions and stipulations in conjunction with the property owner's application, acknowledges that approval of the application might affect current or existing rights to use, divide, sell or possess the owner's property, and waives any right to compensation for diminution in value that may result from approval.

The Consent and Waiver form will be provided at the Concept Review Meeting to allow ample time for review. Should the Pinal County Planning and Zoning Commission ("Commission") recommend approval of the property owner's application, the form will again be provided to applicant together with the Commission's recommended stipulations/conditions. These materials will be provided to the applicant via e-mail, within three business days of the Planning Commission hearing. The property owner is requested to return the executed document to the Pinal County Planning and Development Department within 10 working days so that the document can be inserted into the packet to be presented to the Supervisors as part of the planning staff's report.

If an owner does not sign the Consent and Waiver, the application will continue through the normal County process. The Supervisors will be informed of the refusal and this will be one of the factors considered by the Supervisors.

If the Commission recommends denial of the property owner's application but the Supervisors decide to approve the application, the property owner will be requested to sign the Consent and Waiver with attached conditions/stipulations and conditions, after the Board of Supervisors' hearing.

When recorded return to:
Clerk
Pinal County Board of Supervisors
P.O. Box 827
Florence, AZ 85132

**CONSENT TO SCHEDULE FOR DEVELOPMENT AND
CONDITIONS/STIPULATIONS AND WAIVER OF CLAIMS FOR DIMINUTION IN
VALUE**

This Consent to Schedule for Development and Conditions/Stipulations and Waiver of Claims for Diminution in Value (“Consent and Waiver”) is made in favor of Pinal County (the “County”) by Meridian 80, LLC (“Owner”).

Owner warrants and represents that Owner is the fee title owner of the property described herein, and that no other entity or person has an ownership interest in the property. Prior to Owner’s transfer, sale or conveyance of all or any part of its right, title and interest in the Property at any time within thirty (30) days of the County’s approval of Owner’s application described herein, Owner shall notify the County of said transfer, sale or conveyance and shall require the new Owner to execute and agree to this Consent and Waiver as part of any transfer, sale or conveyance of the property described herein.

Owner acknowledges that A.R.S. § 12-1134 of the Arizona Private Property Rights Protection Act provides in some cases that a county is required to pay just compensation to a landowner if the County approves a land use law that reduces the fair market value of the owner’s property. Owner further acknowledges that A.R.S. § 12-1134 authorizes a private property owner to waive any claim for diminution in value of property in connection with any action proposed by a county or any action requested by the property owner.

Owner has submitted an application to Pinal County (“County”) requesting the County approve a Midway I PAD Amendment for development of the following described property (“Property”):

[“Legal description is attached hereto as Exhibit “A.”]

By signing below, Owner agrees and consents to the Schedule for Development and all the conditions/stipulations imposed by Pinal County in conjunction with the approval of the Midway I PAD Amendment, Case No. PZ-006-21 and PZ-PD-006-21, which are attached hereto as

[“Stipulations are attached here to as Exhibit “B.”]

By signing below, Owner acknowledges that the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, might affect existing rights to use, divide, sell or possess the Property. By signing below, Owner hereby waives any and all rights to claim compensation for diminution in value pursuant to A.R.S. §12-1134 that may now or in the future exist as a result of the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, and the Schedule for Development and conditions/stipulations imposed in conjunction with the approval. Owner waives any and all rights to claim compensation for diminution in value for any ^{PZ-006-21 and} action taken by the County to rescind approval of Midway I PAD Amendment in Case No. PZ-PD-006-21 because of non-compliance with the Schedule for Development and/or any of the approved conditions/stipulations.

This Consent and Waiver shall run with the land and shall be binding upon all present and subsequent property owners.

Owner consents to the recordation of this Consent and Waiver after approval of the above-referenced case by the County. If Owner withdraws its application prior to final action of the County or the County denies the application, Owner is released from this Consent and Waiver.

OWNER: Meridian 80, LLC
[Print Entity Name]

C I R A
Signature

Its: Member
[Title, if applicable]

Dated: 5/19/2022

OWNER: _____
[Print Entity Name]

Signature

Its: _____
[Title, if applicable]

Dated: _____

INDIVIDUAL ACKNOWLEDGMENT

[To be filled out if NOT a corporation, partnership, or trust]

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____,
_____, by _____.
[Insert Name of Signor(s)]

Notary Public

My commission expires: _____

CORPORATION, OFFICER, PARTNER OR TRUSTEE ACKNOWLEDGMENT

[To be filled out if a corporation, partnership, or trust]

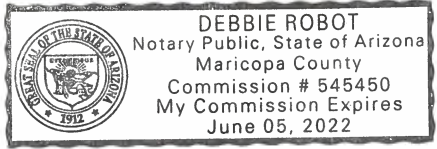
STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 19 day of May,
2022, by Carson L. Brown as member,
[Insert Name of Officer] [Insert Title]
of Meridian 80 LLC, an _____ corporation,
[Insert Name of Company] [Insert State of Incorporation]
who being authorized to do so, executed the foregoing instrument on behalf of said entity for the
purposes stated therein.

Debbie Robot

Notary Public

My commission expires: 6/5/2022



ALTERNATE ACKNOWLEDGMENT: *Use only when a second company is signing on behalf of owner:*

STATE OF _____)
) ss.

COUNTY OF _____)

The foregoing instrument was acknowledged before me, this ____ day of _____,
_____, by _____ as

_____ *[Insert Signor's Name]* _____ *[Insert Title]*
of _____, an _____ corporation,
[Insert Name of Second Company] *[Insert State of Incorporation]*
as _____ for _____
[i.e. member, manager, etc.] *[Owner's Name]*

who being authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____



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VALUE**

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Owner warrants and represents that Owner is the fee title owner of the property described herein, and that no other entity or person has an ownership interest in the property. Prior to Owner’s transfer, sale or conveyance of all or any part of its right, title and interest in the Property at any time within thirty (30) days of the County’s approval of Owner’s application described herein, Owner shall notify the County of said transfer, sale or conveyance and shall require the new Owner to execute and agree to this Consent and Waiver as part of any transfer, sale or conveyance of the property described herein.

Owner acknowledges that A.R.S. § 12-1134 of the Arizona Private Property Rights Protection Act provides in some cases that a county is required to pay just compensation to a landowner if the County approves a land use law that reduces the fair market value of the owner’s property. Owner further acknowledges that A.R.S. § 12-1134 authorizes a private property owner to waive any claim for diminution in value of property in connection with any action proposed by a county or any action requested by the property owner.

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[“Stipulations are attached here to as Exhibit “B.”]

By signing below, Owner acknowledges that the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, might affect existing rights to use, divide, sell or possess the Property. By signing below, Owner hereby waives any and all rights to claim compensation for diminution in value pursuant to A.R.S. §12-1134 that may now or in the future exist as a result of the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, and the Schedule for Development and conditions/stipulations imposed in conjunction with the approval. Owner waives any and all rights to claim compensation for diminution in value for any action taken by the County to rescind approval of Midway I PAD Amendment in Case No. ^{PZ-006-21 and} PZ-PD-006-21 because of non-compliance with the Schedule for Development and/or any of the approved conditions/stipulations.

This Consent and Waiver shall run with the land and shall be binding upon all present and subsequent property owners.

Owner consents to the recordation of this Consent and Waiver after approval of the above-referenced case by the County. If Owner withdraws its application prior to final action of the County or the County denies the application, Owner is released from this Consent and Waiver.

OWNER: FB5, LLC
[Print Entity Name]

OWNER: _____
[Print Entity Name]

C I P A.
Signature

Signature

Its: Member/Authorized Agent
[Title, if applicable]

Its: _____
[Title, if applicable]

Dated: 5/19/2022

Dated: _____

INDIVIDUAL ACKNOWLEDGMENT

[To be filled out if NOT a corporation, partnership, or trust]

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____,
_____, by _____.
[Insert Name of Signor(s)]

Notary Public

My commission expires: _____

CORPORATION, OFFICER, PARTNER OR TRUSTEE ACKNOWLEDGMENT

[To be filled out if a corporation, partnership, or trust]

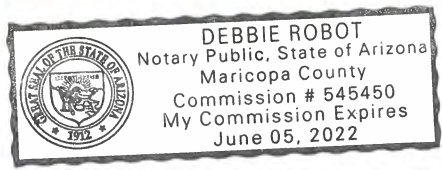
STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 19 day of May,
2022, by Carson L. Brown as member
[Insert Name of Officer] [Insert Title]
of FB5, LLC, an _____ corporation,
[Insert Name of Company] [Insert State of Incorporation]
who being authorized to do so, executed the foregoing instrument on behalf of said entity for the
purposes stated therein.

Debbie Robot

Notary Public

My commission expires: 6/5/2022



ALTERNATE ACKNOWLEDGMENT: Use only when a second company is signing on behalf of owner:

STATE OF _____)
) ss.

COUNTY OF _____)

The foregoing instrument was acknowledged before me, this ____ day of _____,
_____, by _____ as

_____ *[Insert Signor's Name]* _____ *[Insert Title]*
of _____, an _____ corporation,
[Insert Name of Second Company] *[Insert State of Incorporation]*
as _____ for _____
[i.e. member, manager, etc.] *[Owner's Name]*

who being authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____



PINAL COUNTY
wide open opportunity

**INFORMATION ABOUT CONSENT TO CONDITIONS/STIPULATIONS AND WAIVER
OF CLAIMS FOR DIMINUTION IN VALUE**

Pinal County, as part of the application process concerning land use requests, is now requesting that property owners or their authorized agents execute and return the attached Consent and Waiver. This policy is a result of that part of the Private Property Rights Protection Act (Proposition 207) that deals with regulatory takings and changes in land uses (A.R.S. §§12-1134 – 12-1138).

By signing the Consent and Waiver, the property owner agrees and consents to all conditions and stipulations in conjunction with the property owner's application, acknowledges that approval of the application might affect current or existing rights to use, divide, sell or possess the owner's property, and waives any right to compensation for diminution in value that may result from approval.

The Consent and Waiver form will be provided at the Concept Review Meeting to allow ample time for review. Should the Pinal County Planning and Zoning Commission ("Commission") recommend approval of the property owner's application, the form will again be provided to applicant together with the Commission's recommended stipulations/conditions. These materials will be provided to the applicant via e-mail, within three business days of the Planning Commission hearing. The property owner is requested to return the executed document to the Pinal County Planning and Development Department within 10 working days so that the document can be inserted into the packet to be presented to the Supervisors as part of the planning staff's report.

If an owner does not sign the Consent and Waiver, the application will continue through the normal County process. The Supervisors will be informed of the refusal and this will be one of the factors considered by the Supervisors.

If the Commission recommends denial of the property owner's application but the Supervisors decide to approve the application, the property owner will be requested to sign the Consent and Waiver with attached conditions/stipulations and conditions, after the Board of Supervisors' hearing.

When recorded return to:
Clerk
Pinal County Board of Supervisors
P.O. Box 827
Florence, AZ 85132

**CONSENT TO SCHEDULE FOR DEVELOPMENT AND
CONDITIONS/STIPULATIONS AND WAIVER OF CLAIMS FOR DIMINUTION IN
VALUE**

This Consent to Schedule for Development and Conditions/Stipulations and Waiver of Claims for Diminution in Value (“Consent and Waiver”) is made in favor of Pinal County (the “County”) by Tres Points, LLC (“Owner”).

Owner warrants and represents that Owner is the fee title owner of the property described herein, and that no other entity or person has an ownership interest in the property. Prior to Owner’s transfer, sale or conveyance of all or any part of its right, title and interest in the Property at any time within thirty (30) days of the County’s approval of Owner’s application described herein, Owner shall notify the County of said transfer, sale or conveyance and shall require the new Owner to execute and agree to this Consent and Waiver as part of any transfer, sale or conveyance of the property described herein.

Owner acknowledges that A.R.S. § 12-1134 of the Arizona Private Property Rights Protection Act provides in some cases that a county is required to pay just compensation to a landowner if the County approves a land use law that reduces the fair market value of the owner’s property. Owner further acknowledges that A.R.S. § 12-1134 authorizes a private property owner to waive any claim for diminution in value of property in connection with any action proposed by a county or any action requested by the property owner.

Owner has submitted an application to Pinal County (“County”) requesting the County approve a Midway I PAD Amendment for development of the following described property (“Property”):

[“Legal description is attached hereto as Exhibit “A.”]

By signing below, Owner agrees and consents to the Schedule for Development and all the conditions/stipulations imposed by Pinal County in conjunction with the approval of the Midway I PAD Amendment, Case No. PZ-006-21 and PZ-PD-006-21, which are attached hereto as

[“Stipulations are attached here to as Exhibit “B.”]

By signing below, Owner acknowledges that the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, might affect existing rights to use, divide, sell or possess the Property. By signing below, Owner hereby waives any and all rights to claim compensation for diminution in value pursuant to A.R.S. §12-1134 that may now or in the future exist as a result of the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, and the Schedule for Development and conditions/stipulations imposed in conjunction with the approval. Owner waives any and all rights to claim compensation for diminution in value for any action taken by the County to rescind approval of Midway I PAD Amendment in Case No. ^{PZ-006-21 and} PZ-PD-006-21 because of non-compliance with the Schedule for Development and/or any of the approved conditions/stipulations.

This Consent and Waiver shall run with the land and shall be binding upon all present and subsequent property owners.

Owner consents to the recordation of this Consent and Waiver after approval of the above-referenced case by the County. If Owner withdraws its application prior to final action of the County or the County denies the application, Owner is released from this Consent and Waiver.

OWNER: Tres Points, LLC
[Print Entity Name]

OWNER: _____
[Print Entity Name]


Signature

Signature

Its: member
[Title, if applicable]

Its: _____
[Title, if applicable]

Dated: 5-19-22

Dated: _____

INDIVIDUAL ACKNOWLEDGMENT

[To be filled out if NOT a corporation, partnership, or trust]

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____,
_____, by _____.
[Insert Name of Signor(s)]

Notary Public

My commission expires: _____

CORPORATION, OFFICER, PARTNER OR TRUSTEE ACKNOWLEDGMENT

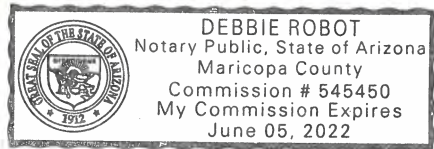
[To be filled out if a corporation, partnership, or trust]

STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 19 day of May,
2022, by Brandon J. Walfswinkel as member
[Insert Name of Officer] [Insert Title]
of Tres Points LLC, an _____ corporation,
[Insert Name of Company] [Insert State of Incorporation]
who being authorized to do so, executed the foregoing instrument on behalf of said entity for the
purposes stated therein.

Debbie Robot
Notary Public

My commission expires: 6/5/2022



ALTERNATE ACKNOWLEDGMENT: *Use only when a second company is signing on behalf of owner:*

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me, this ____ day of _____,
_____, by _____ as

_____ *[Insert Signor's Name]* _____ *[Insert Title]*
of _____, an _____ corporation,
[Insert Name of Second Company] *[Insert State of Incorporation]*
as _____ for _____
[i.e. member, manager, etc.] *[Owner's Name]*

who being authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____



PINAL COUNTY
wide open opportunity

INFORMATION ABOUT CONSENT TO CONDITIONS/STIPULATIONS AND WAIVER OF CLAIMS FOR DIMINUTION IN VALUE

Pinal County, as part of the application process concerning land use requests, is now requesting that property owners or their authorized agents execute and return the attached Consent and Waiver. This policy is a result of that part of the Private Property Rights Protection Act (Proposition 207) that deals with regulatory takings and changes in land uses (A.R.S. §§12-1134 – 12-1138).

By signing the Consent and Waiver, the property owner agrees and consents to all conditions and stipulations in conjunction with the property owner's application, acknowledges that approval of the application might affect current or existing rights to use, divide, sell or possess the owner's property, and waives any right to compensation for diminution in value that may result from approval.

The Consent and Waiver form will be provided at the Concept Review Meeting to allow ample time for review. Should the Pinal County Planning and Zoning Commission ("Commission") recommend approval of the property owner's application, the form will again be provided to applicant together with the Commission's recommended stipulations/conditions. These materials will be provided to the applicant via e-mail, within three business days of the Planning Commission hearing. The property owner is requested to return the executed document to the Pinal County Planning and Development Department within 10 working days so that the document can be inserted into the packet to be presented to the Supervisors as part of the planning staff's report.

If an owner does not sign the Consent and Waiver, the application will continue through the normal County process. The Supervisors will be informed of the refusal and this will be one of the factors considered by the Supervisors.

If the Commission recommends denial of the property owner's application but the Supervisors decide to approve the application, the property owner will be requested to sign the Consent and Waiver with attached conditions/stipulations and conditions, after the Board of Supervisors' hearing.

When recorded return to:
Clerk
Pinal County Board of Supervisors
P.O. Box 827
Florence, AZ 85132

**CONSENT TO SCHEDULE FOR DEVELOPMENT AND
CONDITIONS/STIPULATIONS AND WAIVER OF CLAIMS FOR DIMINUTION IN
VALUE**

This Consent to Schedule for Development and Conditions/Stipulations and Waiver of Claims for Diminution in Value (“Consent and Waiver”) is made in favor of Pinal County (the “County”) by Entitlements, LLC (“Owner”).

Owner warrants and represents that Owner is the fee title owner of the property described herein, and that no other entity or person has an ownership interest in the property. Prior to Owner’s transfer, sale or conveyance of all or any part of its right, title and interest in the Property at any time within thirty (30) days of the County’s approval of Owner’s application described herein, Owner shall notify the County of said transfer, sale or conveyance and shall require the new Owner to execute and agree to this Consent and Waiver as part of any transfer, sale or conveyance of the property described herein.

Owner acknowledges that A.R.S. § 12-1134 of the Arizona Private Property Rights Protection Act provides in some cases that a county is required to pay just compensation to a landowner if the County approves a land use law that reduces the fair market value of the owner’s property. Owner further acknowledges that A.R.S. § 12-1134 authorizes a private property owner to waive any claim for diminution in value of property in connection with any action proposed by a county or any action requested by the property owner.

Owner has submitted an application to Pinal County (“County”) requesting the County approve a Midway I PAD Amendment for development of the following described property (“Property”):

[“Legal description is attached hereto as Exhibit “A.”]

By signing below, Owner agrees and consents to the Schedule for Development and all the conditions/stipulations imposed by Pinal County in conjunction with the approval of the Midway I PAD Amendment, Case No. PZ-006-21 and PZ-PD-006-21, which are attached hereto as

[“Stipulations are attached here to as Exhibit “B.”]

By signing below, Owner acknowledges that the approval of the Midway I PAD Amendment, Case No. PZ-006-21 and PZ-PD-006-21, might affect existing rights to use, divide, sell or possess the Property. By signing below, Owner hereby waives any and all rights to claim compensation for diminution in value pursuant to A.R.S. §12-1134 that may now or in the future exist as a result of the approval of the Midway I PAD Amendment, Case No. PZ-006-21 and PZ-PD-006-21, and the Schedule for Development and conditions/stipulations imposed in conjunction with the approval. Owner waives any and all rights to claim compensation for diminution in value for any action taken by the County to rescind approval of Midway I PAD Amendment in Case No. PZ-006-21 and PZ-PD-006-21 because of non-compliance with the Schedule for Development and/or any of the approved conditions/stipulations.

This Consent and Waiver shall run with the land and shall be binding upon all present and subsequent property owners.

Owner consents to the recordation of this Consent and Waiver after approval of the above-referenced case by the County. If Owner withdraws its application prior to final action of the County or the County denies the application, Owner is released from this Consent and Waiver.

OWNER: Entitlements, LLC
[Print Entity Name]

OWNER: ERIC KERBS
[Print Entity Name]

Signature 

Signature _____

Its: member
[Title, if applicable]

Its: _____
[Title, if applicable]

Dated: 5/19/22

Dated: _____

INDIVIDUAL ACKNOWLEDGMENT

[To be filled out if NOT a corporation, partnership, or trust]

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____,
_____, by _____
[Insert Name of Signor(s)]

Notary Public

My commission expires: _____

CORPORATION, OFFICER, PARTNER OR TRUSTEE ACKNOWLEDGMENT

[To be filled out if a corporation, partnership, or trust]

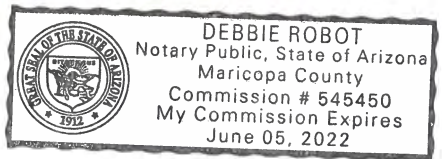
STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 19 day of May,
2022, by Eric Kerbs as member
[Insert Name of Officer] [Insert Title]
of Entitlements LLC, an _____ corporation,
[Insert Name of Company] [Insert State of Incorporation]
who being authorized to do so, executed the foregoing instrument on behalf of said entity for the
purposes stated therein.

Debbie Robot

Notary Public

My commission expires: 6/5/2022



ALTERNATE ACKNOWLEDGMENT: *Use only when a second company is signing on behalf of owner:*

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me, this ____ day of _____,
_____, by _____ as

_____ *[Insert Signor's Name]* _____ *[Insert Title]*
of _____, an _____ corporation,
[Insert Name of Second Company] *[Insert State of Incorporation]*
as _____ for _____
[i.e. member, manager, etc.] *[Owner's Name]*

who being authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____

Richardson



PINAL COUNTY
wide open opportunity

INFORMATION ABOUT CONSENT TO CONDITIONS/STIPULATIONS AND WAIVER OF CLAIMS FOR DIMINUTION IN VALUE

Pinal County, as part of the application process concerning land use requests, is now requesting that property owners or their authorized agents execute and return the attached Consent and Waiver. This policy is a result of that part of the Private Property Rights Protection Act (Proposition 207) that deals with regulatory takings and changes in land uses (A.R.S. §§12-1134 – 12-1138).

By signing the Consent and Waiver, the property owner agrees and consents to all conditions and stipulations in conjunction with the property owner's application, acknowledges that approval of the application might affect current or existing rights to use, divide, sell or possess the owner's property, and waives any right to compensation for diminution in value that may result from approval.

The Consent and Waiver form will be provided at the Concept Review Meeting to allow ample time for review. Should the Pinal County Planning and Zoning Commission ("Commission") recommend approval of the property owner's application, the form will again be provided to applicant together with the Commission's recommended stipulations/conditions. These materials will be provided to the applicant via e-mail, within three business days of the Planning Commission hearing. The property owner is requested to return the executed document to the Pinal County Planning and Development Department within 10 working days so that the document can be inserted into the packet to be presented to the Supervisors as part of the planning staff's report.

If an owner does not sign the Consent and Waiver, the application will continue through the normal County process. The Supervisors will be informed of the refusal and this will be one of the factors considered by the Supervisors.

If the Commission recommends denial of the property owner's application but the Supervisors decide to approve the application, the property owner will be requested to sign the Consent and Waiver with attached conditions/stipulations and conditions, after the Board of Supervisors' hearing.

When recorded return to:
Clerk
Pinal County Board of Supervisors
P.O. Box 827
Florence, AZ 85132

**CONSENT TO SCHEDULE FOR DEVELOPMENT AND
CONDITIONS/STIPULATIONS AND WAIVER OF CLAIMS FOR DIMINUTION IN
VALUE**

This Consent to Schedule for Development and Conditions/Stipulations and Waiver of Claims for Diminution in Value (“Consent and Waiver”) is made in favor of Pinal County (the “County”) by Stephen E and Vicki L Richardson (“Owner”).

Owner warrants and represents that Owner is the fee title owner of the property described herein, and that no other entity or person has an ownership interest in the property. Prior to Owner’s transfer, sale or conveyance of all or any part of its right, title and interest in the Property at any time within thirty (30) days of the County’s approval of Owner’s application described herein, Owner shall notify the County of said transfer, sale or conveyance and shall require the new Owner to execute and agree to this Consent and Waiver as part of any transfer, sale or conveyance of the property described herein.

Owner acknowledges that A.R.S. § 12-1134 of the Arizona Private Property Rights Protection Act provides in some cases that a county is required to pay just compensation to a landowner if the County approves a land use law that reduces the fair market value of the owner’s property. Owner further acknowledges that A.R.S. § 12-1134 authorizes a private property owner to waive any claim for diminution in value of property in connection with any action proposed by a county or any action requested by the property owner.

Owner has submitted an application to Pinal County (“County”) requesting the County approve a Midway I PAD Amendment for development of the following described property (“Property”):

[“Legal description is attached hereto as Exhibit “A.”]

By signing below, Owner agrees and consents to the Schedule for Development and all the conditions/stipulations imposed by Pinal County in conjunction with the approval of the Midway I PAD Amendment, Case No. PZ-006-21 and PZ-PD-006-21, which are attached hereto as

[“Stipulations are attached here to as Exhibit “B.”]

By signing below, Owner acknowledges that the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, might affect existing rights to use, divide, sell or possess the Property. By signing below, Owner hereby waives any and all rights to claim compensation for diminution in value pursuant to A.R.S. §12-1134 that may now or in the future exist as a result of the approval of the Midway I PAD Amendment, Case No. ^{PZ-006-21 and} PZ-PD-006-21, and the Schedule for Development and conditions/stipulations imposed in conjunction with the approval. Owner waives any and all rights to claim compensation for diminution in value for any action taken by the County to rescind approval of Midway I PAD Amendment in Case No. ^{PZ-006-21 and} PZ-PD-006-21 because of non-compliance with the Schedule for Development and/or any of the approved conditions/stipulations.

This Consent and Waiver shall run with the land and shall be binding upon all present and subsequent property owners.

Owner consents to the recordation of this Consent and Waiver after approval of the above-referenced case by the County. If Owner withdraws its application prior to final action of the County or the County denies the application, Owner is released from this Consent and Waiver.

OWNER: Stephen E Richardson
[Print Entity Name]

Stephen Richardson
Signature

Its: _____
[Title, if applicable]

Dated: 5-19-2022

OWNER: Vicki L Richardson
[Print Entity Name]

Vicki Richardson
Signature

Its: _____
[Title, if applicable]

Dated: 5-19-22

INDIVIDUAL ACKNOWLEDGMENT

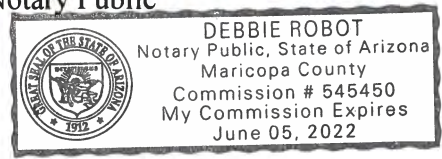
[To be filled out if NOT a corporation, partnership, or trust]

STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me this 19 day of May, 2022, by Stephen E. & Vicki L. Richardson.
[Insert Name of Signor(s)]

Debbie Robot
Notary Public

My commission expires: 6/5/2022



CORPORATION, OFFICER, PARTNER OR TRUSTEE ACKNOWLEDGMENT

[To be filled out if a corporation, partnership, or trust]

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me, this ____ day of _____, _____, by _____ as _____ of _____, an _____ corporation, who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

Notary Public

My commission expires: _____

ALTERNATE ACKNOWLEDGMENT: *Use only when a second company is signing on behalf of owner:*

STATE OF _____)
) ss.

COUNTY OF _____)

The foregoing instrument was acknowledged before me, this ____ day of _____,
_____, by _____ as

_____ *[Insert Signor's Name]* _____ *[Insert Title]*
of _____, an _____ corporation,
[Insert Name of Second Company] *[Insert State of Incorporation]*
as _____ for _____
[i.e. member, manager, etc.] *[Owner's Name]*

who being authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____

EXHIBIT A

LEGAL DESCRIPTION

MIDWAY R-7 ZONE (SINGLE RESIDENCE ZONING DISTRICT)

A portion of land being situated within Section 33, Township 5 South, Range 3 East of the Gila and Salt River Meridian, Pinal County, Arizona, being more particularly described as follows:

COMMENCING at a found Pinal County Highway Department brass cap in hand hole stamped SW COR SEC 34, accepted as the Southeast corner of said Section 33 from which a found Arizona Department of Transportation (ADOT) brass cap flush accepted as the East quarter corner thereof, bears North $01^{\circ}54'06''$ East, 3074.39 feet;

Thence South $89^{\circ}52'40''$ West, 1528.66 feet along the south line of the Southeast quarter of said Section 33 to the **POINT OF BEGINNING**;

Thence continuing South $89^{\circ}52'40''$ West, 1113.12 feet along said south line to a found 3 inch brass cap flush with sectional markings accepted as the South quarter corner of said Section 33

Thence South $89^{\circ}54'35''$ West, 264.30 feet along the south line of said Section 33 to a found 2 inch aluminum cap RLS 18214 accepted as the North quarter corner of Section 5, Township 6 South, Range 3 East of the Gila and Salt River Meridian, Pinal County, Arizona;

Thence South $89^{\circ}52'36''$ West, 2377.95 feet along the south line of said Section 33 to a found 3 inch brass cap flush with sectional markings accepted as the Southwest corner of said Section 33;

Thence North $00^{\circ}39'59''$ East, 2705.61 feet along the west line of the Southwest quarter of said Section 33 to a found 1/2 inch rebar without identification accepted as the West quarter corner thereof;

Thence North $00^{\circ}39'52''$ East, 2705.89 feet along the west line of the Northwest quarter of said Section 33 to a found 2 inch aluminum cap RLS 18214 accepted as the Northwest corner thereof;

Thence North $82^{\circ}10'39''$ East, 2737.73 feet along the north line of the Northwest quarter of said Section 33 to a found 1/2 inch rebar without identification accepted as the North quarter corner thereof;

Thence North $82^{\circ}10'45''$ East, 2737.80 feet along the north line of the Northeast quarter of said Section 33 to a found ADOT brass cap flush accepted as the Northeast corner of said Section 33;

Thence South $01^{\circ}53'24''$ West, 3074.11 feet along the east line of the Northeast quarter of said Section 33 to a found ADOT brass cap flush accepted as the East quarter corner of said Section 33;

Thence South $01^{\circ}54'06''$ West, 847.03 feet along the east line of the Southeast quarter of said Section 33;

Thence leaving said east line, North $88^{\circ}06'12''$ West, 975.06 feet;

Thence North $85^{\circ}45'33''$ West, 847.35 feet to a non-tangent curve, concave northeasterly, having a radius of 5006.25 feet, the center of which bears South $85^{\circ}45'33''$ East;

Thence southeasterly along said curve, through a central angle of $17^{\circ}32'46''$, an arc length of 1533.11 feet to a tangent line;

Thence South $13^{\circ}18'20''$ East, 241.44 feet to the beginning of a tangent curve concave southwesterly, having a radius of 1500.00 feet;

Thence southeasterly along said curve, through a central angle of $13^{\circ}11'00''$, an arc length of 345.14 feet to a tangent line;

Thence South $00^{\circ}07'20''$ East, 225.00 feet to the **POINT OF BEGINNING**.

The above described parcel contains a computed area of 27,032,665 sq. ft. (620.5846 acres) more or less and being subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

LEGAL DESCRIPTION

MIDWAY C-1 (NEIGHBORHOOD COMMERCIAL ZONING DISTRICT)

A portion of land being situated within the Southeast Quarter of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Meridian, Pinal County, Arizona, being more particularly described as follows:

BEGINNING at a found Pinal County Highway Department brass cap in hand hole stamped SW COR SEC 34, accepted as the Southeast corner of said Section 33 from which a found Arizona Department of Transportation (ADOT) brass cap flush accepted as the East quarter corner thereof, bears North $01^{\circ}54'06''$ East, 3074.39 feet;

Thence South $89^{\circ}52'40''$ West, 915.01 feet along the south line of said Southeast quarter;

Thence leaving said south line, North $00^{\circ}07'24''$ West, 1294.21 feet;

Thence North $08^{\circ}26'23''$ West, 41.50 feet

Thence North $81^{\circ}33'37''$ East, 77.77 feet to the beginning of a tangent curve concave southerly, having a radius of 2000.00 feet;

Thence easterly along said curve, through a central angle of $16^{\circ}16'39''$, an arc length of 568.19 feet to a tangent line;

Thence South $82^{\circ}09'45''$ East, 327.00 feet to the east line of said Southeast quarter;

Thence South $01^{\circ}54'06''$ West, 850.54 feet along said east line;

Thence leaving said east line, South $89^{\circ}52'40''$ West, 531.01 feet along the north line of that parcel as described in Fee No. 2015-006818 and the prolongation thereof to the northwest corner of said parcel;

Thence South $00^{\circ}07'20''$ East, 420.00 feet along said westerly line to the southwest corner of said parcel;

Thence North $89^{\circ}52'40''$ East, 516.17 feet along said southerly line and the prolongation thereof to the east line of said Southeast quarter;

Thence South $01^{\circ}54'06''$ West, 33.02 feet to the **POINT OF BEGINNING**.

The above described parcel contains a computed area of 1,045,296 sq. ft. (23.9967 acres) more or less and being subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

LEGAL DESCRIPTION

MIDWAY MD (MIXED DWELLING ZONING DISTRICT)

A portion of land being situated within the Southeast Quarter of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Meridian, Pinal County, Arizona, being more particularly described as follows:

COMMENCING at a found Pinal County Highway Department brass cap in hand hole stamped SW COR SEC 34, accepted as the Southeast corner of said Section 33 from which a found Arizona Department of Transportation (ADOT) brass cap flush accepted as the East quarter corner thereof, bears North $01^{\circ}54'06''$ East, 3074.39 feet;

Thence North $01^{\circ}54'06''$ East, 1303.83 feet along the east line of the Southeast Quarter of said Section 33 to the **POINT OF BEGINNING**;

Thence leaving said east line, North $82^{\circ}09'45''$ West, 327.00 feet to the beginning of a tangent curve concave southerly, having a radius of 2000.00 feet;

Thence westerly along said curve, through a central angle of $16^{\circ}16'39''$, an arc length of 568.19 feet to a tangent line;

Thence South $81^{\circ}33'37''$ West, 867.77 feet to a non-tangent curve, concave northeasterly, having a radius of 5006.25 feet, the center of which bears North $81^{\circ}34'29''$ East;

Thence northwesterly along said curve, through a central angle of $12^{\circ}39'57''$, an arc length of 1106.69 feet to a non-tangent line;

Thence South $85^{\circ}45'33''$ East, 847.35 feet;

Thence South $88^{\circ}06'12''$ East, 975.06 feet to the east line of said Southeast quarter;

Thence along said east line, South $01^{\circ}54'06''$ West, 923.54 feet to the **POINT OF BEGINNING**.

The above described parcel contains a computed area of 1,718,236 sq. ft. (39.4453 acres) more or less and being subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

EXHIBIT B

PZ-PD-006-21 STIPULATIONS

1. Approval of this PAD (PZ-PD-006-21) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation supporting documentation and approvals including but not limited to zone change approval, PAD overlay district, site plan, walls/fencing, signage, lighting, and landscaping plans, as applicable;
2. Midway 1 PAD (PZ-PD-006-21) is to be developed in general conformance with the site plan/development plan submitted on July 2, 2019, along with the applicants other supplementary documentation in accordance with the applicable criteria set forth in Chapter 2.176 of the Pinal County Development Services Code;
3. Approval of this Planned Area Development (PAD) Overlay District is contingent upon the Board of Supervisors zone change approval as set forth in Planning Case PZ-006-21;
4. the property is to be developed with an approved Midway 1 PAD Planned Area Development (PAD) (PZ-PD-006-21), in accordance with the applicable criteria set forth in Chapter 2.176 of the PCSDC and the applicant's submittal documents;
5. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;
6. Dust registration is required if 0.1 acres or more land is disturbed.
7. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District;
8. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer's cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the Tentative Plat being scheduled for the Planning & Zoning Commission;
9. All infrastructure improvements shall be per the current Pinal County Standards and current MAG Uniform Standard Details for Public Works Construction or as approved by the County Engineer;
10. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
11. Half street right-of-way dedication and road improvements will be required along JOHN WAYNE PARKWAY/SR347 (eastern boundary), LOUIS JOHNSON DRIVE (southern boundary, and GREEN ROAD (western boundary). The required minimum half street right-of-way is 100' for JOHN WAYNE PARKWAY/SR 347, 75' for LOUIS JOHNSON DRIVE, and 55' for GREEN ROAD. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County Engineer;

12. JOHN WAYNE PARKWAY/SR0347 and LOUIS JOHNSON DRIVE have been identified as a “Route of Regional Significance”. Applicant will be required to comply with the “Regionally Significant Routes for Safety and Mobility, Final Report, December 2008” and the current “Access Management Manual” or as approved by the County Engineer;
13. A Traffic Impact Analysis (TIA) will be required to be submitted to the County Engineer at the time of Final Plat and/or Site Plan submittal for review and approval. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer’s cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the first Final Plat and/or Site Plan approval;
14. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
15. All right-of-way dedication shall be free and unencumbered;
16. Any roadway sections, alignments, access locations and access movements shown in the PAD are conceptual only and have not been approved by the Pinal County Engineer.

**CASA GRANDE VALLEY
NEWSPAPERS INC**

200 W. 2ND ST.
CASA GRANDE AZ 85122

(520) 836-7461
Fax (520) 836-2944

Advertising Memo Bill

1 Memo Bill Period 05/2022		2 Advertiser/Client Name ABLA	
23 Total Amount Due 82.09		*Unapplied Amount	3 Terms of Payment
21 Current Net Amount Due .00	22 30 Days .00	60 Days .00	Over 90 Days .00
4 Page Number 1	5 Memo Bill Date 05/09/22	6 Billed Account Number 14895	7 Advertiser/Client Number CHRIS. 14895

8 Billed Account Name and Address ABLA 310 E. RIO SALADO PARKWAY TEMPE AZ 85281		Amount Paid: Comments: Ad #: 140036
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Please Return Upper Portion With Payment

10 Date	11 Newspaper Reference	12 13 14 Description-Other Comments/Charges	15 SAU Size 16 Billed Units	17 Times Run 18 Rate	19 Gross Amount	20 Net Amount
05/12/22	140036 PWEK AZTPT	PZ-006-21 NOTICE OF PUBLIC HEARI 05/12 CGIT CGPC AZ TPT TAX	1.0X13.97 14.00	1 80.64 1.45	80.64	82.09



PAID

5-9-22

Statement of Account - Aging of Past Due Amounts

21 Current Net Amount Due 0.00	22 30 Days 0.00	60 Days 0.00	Over 90 Days 0.00	*Unapplied Amount	23 Total Amount Due 82.09
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CASA GRANDE VALLEY NEWSPAPERS INC.

(520) 836-7461

* UNAPPLIED AMOUNTS ARE INCLUDED IN TOTAL AMOUNT DUE

24 Invoice 140036	25 Billing Period 05/2022	6 Billed Account Number 14895	7 Advertiser/Client Number 14895	2 Advertiser/Client Name ABLA
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STATE OF ARIZONA
COUNTY OF PINAL

} ss.

Affidavit of Publication

Kara K. Cooper, first being duly sworn deposes and says: That he/she is a native born citizen of the United States of America, over 21 years of age, that I am an agent and/or publisher of the Pinal Central Dispatch, a newspaper section published at Casa Grande, Pinal County, Arizona, Thursday of each week; that a notice, a full, true and complete printed copy of which is hereunto attached, was printed in the regular edition of said newspaper, and not in a supplement thereto, for ONE issue. The publications thereof having been on the following date:

05/12/2022

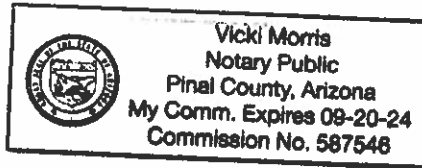
PINAL CENTRAL DISPATCH

By Kara K. Cooper
agent and/or publisher of the Pinal Central Dispatch

Sworn to before me this 12th
day of May A.D., 2022

Vicki Morris

Notary Public in and for the County
Of Pinal, State of Arizona



NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY BOARD OF SUPERVISORS AT 9:30 A.M. ON THE 8TH DAY OF JUNE, 2022, AT THE PINAL COUNTY ADMINISTRATIVE COMPLEX, IN THE BOARD OF SUPERVISORS HEARING ROOM, 135 N. PINAL STREET, FLORENCE, ARIZONA, TO CONSIDER THE APPLICATION FOR AN AMENDMENT TO A PLANNED AREA DEVELOPMENT (PAD) OVERLAY DISTRICT AND A REZONE TO AMEND THE ZONING ORDINANCE AND/OR MAPS IN AN UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA: PZ-006-21 - PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting a, approval of a rezone of 704.05 ± acres from SR PAD (Suburban Rural Zone), CR-3 PAD (Single Residence Zone), CR-4 PAD (Single Residence Zone), CR-5 PAD (Single Residence Zone), and CB-1 PAD (Local Business Zone) (Case PZ-043-98, PZ-PD-043-98) to R-7 PAD (Single Residence Zoning District) 620.58± acres, MD PAD (Mixed Dwelling Zoning District) 39.45± acres, MR (Multiple Residence Zoning District) 20.02± acres, C-1 PAD (Neighborhood Commercial Zoning District) 24.00± acres to allow for 2,934 single family residential, multi-family residential, and neighborhood commercial uses; situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area. PZ-PD-006-21 - PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting approval of an amendment to Midway 1 Planned Area Development (PAD) Overlay Zoning District (Case PZ-043-98, PZ-PD-043-98), for 704.05 ± acres to allow for 2,934 single family residential, multifamily dwelling units and general commercial uses situated in portion of Sections 33, T05S,

R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area. ALL PERSONS INTERESTED IN THESE MATTERS MAY APPEAR AT THE PUBLIC HEARING AT THE DATE, TIME AND PLACE DESIGNATED ABOVE AND STATE THEIR APPROVAL OR OBJECTION TO THE PROPOSED AMENDMENT. PROTESTS TO THE REZONING AND/OR PAD OVERLAY ZONE BY 20% OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN 300 FEET OF THE PROPERTY PROPOSED FOR REZONING WILL REQUIRE AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD OF SUPERVISORS FOR APPROVAL. DATED ON THIS 5th DAY OF MAY, 2022 by Pinal County Planning & Development Dept. /s/Brent Billingsley Brent Billingsley, Community Development Director A WRITTEN STATEMENT OF APPROVAL OR PROTEST MAY BE FILED WITH THE PINAL COUNTY PLANNING & DEVELOPMENT DEPARTMENT, P.O. BOX 2973, FLORENCE AZ 85132 NO LATER THAN 5:00 P.M. ON MAY 30, 2022. YOUR STATEMENT MUST CONTAIN THE FOLLOWING INFORMATION:
1) The Planning Case Number(s) See above
2) Your name, address, telephone number and property tax parcel number (print or type)
3) Whether you support or oppose the request
4) A brief statement of reasons for supporting or opposing the request
5) Whether or not you wish to appear and be heard at the hearing.
NO LATER THAN 4:00 PM ON MAY 30, 2022.
Contact for this matter: Sangeeta Deokar, Planner
E-mail Address: sangeeta.deokar@pinalcountyaz.gov
Phone #: (520) 866-6045 Fax: (520) 866-6641
No. of publications: 1; date of publication: May 12, 2022.

NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY BOARD OF SUPERVISORS AT 9:30 A.M. ON THE **8TH DAY OF JUNE, 2022**, AT THE PINAL COUNTY ADMINISTRATIVE COMPLEX, IN THE BOARD OF SUPERVISORS HEARING ROOM, 135 N. PINAL STREET, FLORENCE, ARIZONA, TO CONSIDER THE APPLICATION FOR **AN AMENDMENT TO A PLANNED AREA DEVELOPMENT (PAD) OVERLAY DISTRICT AND A REZONE** TO AMEND THE ZONING ORDINANCE AND/OR MAPS IN AN UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA:

PZ-006-21 – PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting a, approval of a **rezone** of 704.05 ± acres from **SR PAD (Suburban Rural Zone), CR-3 PAD (Single Residence Zone), CR-4 PAD (Single Residence Zone), CR-5 PAD (Single Residence Zone), and CB-1 PAD (Local Business Zone)** (Case PZ-043-98, PZ-PD-043-98) to **R-7 PAD (Single Residence Zoning District)** 620.58± acres, **MD PAD (Mixed Dwelling Zoning District)** 39.45± acres, **MR (Multiple Residence Zoning District)** 20.02± acres, **C-1 PAD (Neighborhood Commercial Zoning District)** 24.00± acres to allow for 2,934 single family residential, multi-family residential, and neighborhood commercial uses; situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

PZ-PD-006-21 – PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting approval of an amendment to **Midway 1 Planned Area Development (PAD) Overlay Zoning District** (Case PZ-043-98, PZ-PD-043-98), for 704.05 ± acres to allow for 2,934 single family residential, multifamily dwelling units and general commercial uses situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

ALL PERSONS INTERESTED IN THESE MATTERS MAY APPEAR AT THE PUBLIC HEARING AT THE DATE, TIME AND PLACE DESIGNATED ABOVE AND STATE THEIR APPROVAL OR OBJECTION TO THE PROPOSED AMENDMENT.

PROTESTS TO THE REZONING AND/OR PAD OVERLAY ZONE BY 20% OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN 300 FEET OF THE PROPERTY PROPOSED FOR REZONING WILL REQUIRE AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD OF SUPERVISORS FOR APPROVAL.

DATED ON THIS **5th** DAY OF **MAY, 2022** by Pinal County Planning & Development Dept.



Brent Billingsley, Community Development Director

A WRITTEN STATEMENT OF APPROVAL OR PROTEST MAY BE FILED WITH THE PINAL COUNTY PLANNING & DEVELOPMENT DEPARTMENT, P.O. BOX 2973, FLORENCE AZ 85132 NO LATER THAN 5:00 P.M. ON MAY 30, 2022. YOUR STATEMENT MUST CONTAIN THE FOLLOWING INFORMATION:

- 1) The Planning Case Number(s) See above
- 2) Your name, address, telephone number and property tax parcel number (print or type)
- 3) Whether you support or oppose the request
- 4) A brief statement of reasons for supporting or opposing the request
- 5) Whether or not you wish to appear and be heard at the hearing.

NO LATER THAN 4:00 PM ON MAY 30, 2022.

Contact for this matter: Sangeeta Deokar, Planner
E-mail Address: sangeeta.deokar@pinalcountyz.gov
Phone #: (520) 866-6045 Fax: (520) 866-6641

[Anything below this line is not for publication.]

PUBLISHED ONCE:
Florence Reminder & Blade Tribune

Pinal County
AFFIDAVIT OF POSTING BROADCAST SIGN

I, the applicant's representative for case # PZ-006-21/PZ-PD-006-21, personally caused at least one sign to be posted in a visible place on or near the proposed project site at NEC Louis Johnson Dr and Teel Rd, at least 28 days before the Planning and Zoning Commission Public Hearing, in Pinal County.

See attached photo exhibit.

Dynamite Signs

Sign Company Name

Meghan Liggett
Sign Company Representative

Subscribed and sworn to be on 05/13/22 by Meghan Liggett.

IN WITNESS WHEREOF, I Hereto set my hand and official seal.

Marybeth Conrad
Notary Public



My Commission expires: 10-25-24

PINAL COUNTY *Public Hearings*

Case Numbers: PZ-006-21/PZ-PD-006-21

Existing Zoning: SR PAD, CR-3 PAD, CR-4 PAD, CR-5 PAD
and CB-1 PAD

Proposed Zoning: R-7 PAD, MD PAD, MR PAD and C-1 PAD

Acreage: 704.05 Acres

Applicant Name: Alex Fish

Applicant Phone Number: 480-503-0718

Case Information Available at Pinal County Planning & Development
(520) 866-6442

Public Hearing

NÓTICE

PLANNING & ZONING
PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written
comments, in favor or opposition, with
Community Development Department in Pinal
County or appear in person at the hearing.

Date Posted: 5/13/22



Friday, May 13, 2022 at 10:38:50 AM

NOTICE

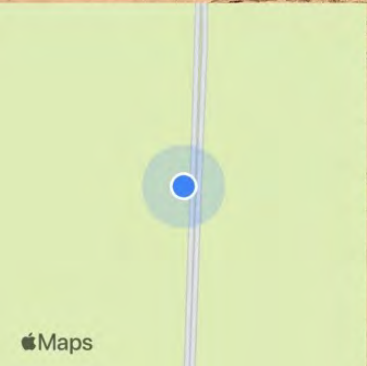
PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: 5/13/22

POST COPY OF ACTUAL NOTICE BELOW

The sign features two informational sheets. The left sheet contains text, including a signature and a list of items. The right sheet contains a map of the area, with a legend and a title. The map shows a blue-shaded area, likely representing the subject of the public hearing. The sheets are attached to the sign with staples.



Friday, May 13, 2022 at 10:43:31 AM

NOTICE

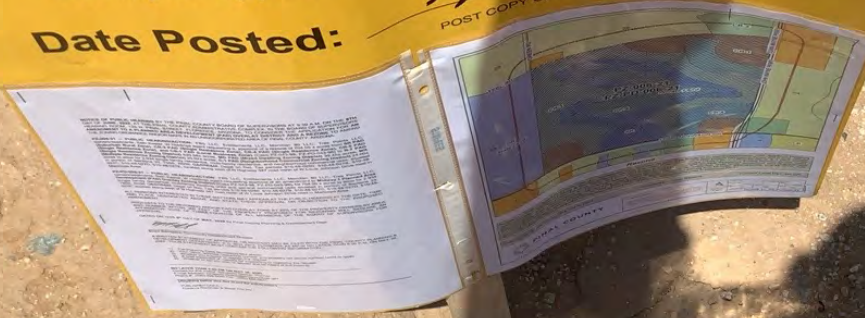
PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted:

5/13/22

POST COPY OF ACTUAL NOTICE BELOW



45556 W Louis Johnson Dr
Maricopa AZ 85139
+32.946482,-112.048670

Friday, May 13, 2022 at 10:48:29 AM

PINAL COUNTY *Public Hearings*

Case Numbers: PZ-006-21/PZ-PD-006-21

Existing Zoning: SR PAD, CR-3 PAD, CR-4 PAD, CR-5 PAD
and CB-1 PAD

Proposed Zoning: R-7 PAD, MD PAD, MR PAD and C-1 PAD

Acreage: 704.05 Acres

Applicant Name: Alex Fish

Applicant Phone Number: 480-503-0718

Case Information Available at Pinal County Planning & Development
(520) 866-6442

Public Hearing Information

NOTICE

PLANNING & ZONING
PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written
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Community Development Department in Pinal
County or appear in person at the hearing.

Date Posted: 5/13/22



45556 W Louis Johnson Dr

Maricopa AZ 85139

+32.941114,-112.049415

Friday, May 13, 2022 at 10:52:53 AM

NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: 5/13/22

POST COPY OF ACTUAL NOTICE BELOW

The image shows two documents attached to the sign. The left document is a text notice with a signature and a date. The right document is a zoning map showing a specific area with various zoning designations and a blue hatched area. The map includes a scale bar and a north arrow.



45556 W Louis Johnson Dr
Maricopa AZ 85139
+32.939808,-112.055314

Friday, May 13, 2022 at 10:56:17 AM

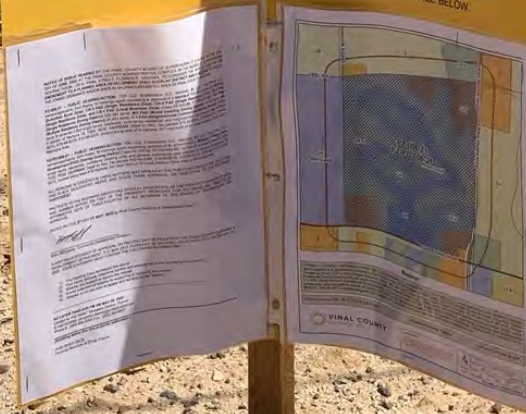
NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: 5/13/22

POST COPY OF ACTUAL NOTICE BELOW



45240-45598 W Louis Johnson Dr

Maricopa AZ 85139

+32.939804, -112.059847

Friday, May 13, 2022 at 10:59:17 AM



PINAL COUNTY *Public Hearings*

Case Numbers: PZ-006-21/PZ-PD-006-21

Existing Zoning: SR PAD, CR-3 PAD, CR-4 PAD, CR-5 PAD
and CB-1 PAD

Proposed Zoning: R-7 PAD, MD PAD, MR PAD and C-1 PAD

Acreage: 704.05 Acres

Applicant Name: Alex Fish

Applicant Phone Number: 480-503-0718

Case Information Available at Pinal County Planning & Development
(520) 866-6442

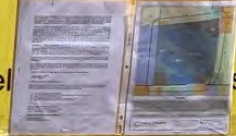
Public Hearing
Information

NOTICE

PLANNING & ZONING
PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written
comments in favor or opposition, with
Community Development Department in Pinal
County or appear in person at the hearing.

Date Posted: 5/13/22



45240-45598 W Louis Johnson Dr
Maricopa AZ 85139

+32.939782,-112.065485

Friday, May 13, 2022 at 11:04:47 AM

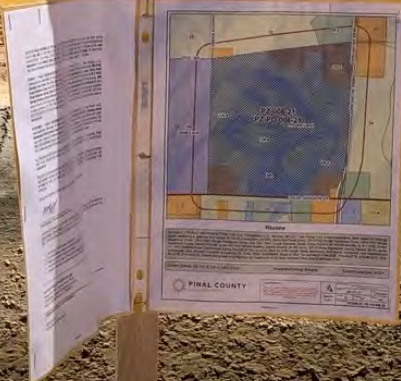
NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: 5/13/22

POST COPY OF ACTUAL NOTICE BELOW.



N Green Rd
Maricopa AZ 85139
+32.945134,-112.065485
Friday, May 13, 2022 at 11:08:03 AM

N GREEN RD

Apple Maps

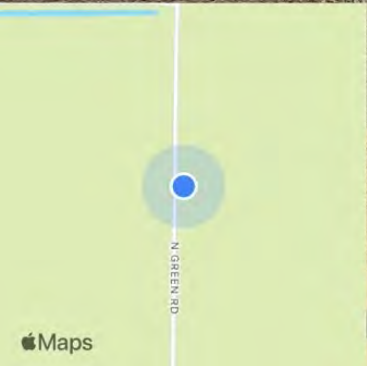
NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: 5/13/22

POST COPY OF ACTUAL NOTICE BELOW



N Green Rd
Maricopa AZ 85139
+32.949608,-112.065415

Friday, May 13, 2022 at 11:11:34 AM

PINAL COUNTY *Public Hearings*

Case Numbers: PZ-006-21/PZ-PD-006-21

Existing Zoning: SR PAD, CR-3 PAD, CR-4 PAD, CR-5 PAD
and CB-1 PAD

Proposed Zoning: R-7 PAD, MD PAD, MR PAD and C-1 PAD

Acreage: 704.05 Acres

Applicant Name: Alex Fish

Applicant Phone Number: 480-503-0718

Case Information Available at Pinal County Planning & Deve
(520) 866-6442

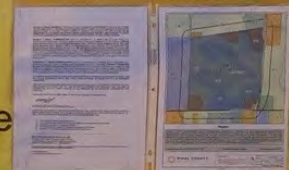
Public Hearing
Information

NOTICE

PLANNING & ZONING
PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written
comments, in favor or opposition, with
Community Development Department in Pinal
County or appear in person at the hearing.

Date Posted: 5/13/22



s

N Green Rd
Maricopa AZ 85139
+32.953981, -112.065462

Friday, May 13, 2022 at 11:16:08 AM

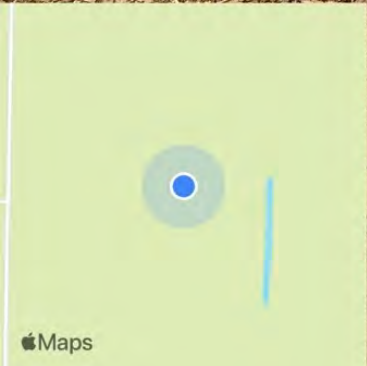
NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted: *5/13/22*

POST COPY OF ACTUAL NOTICE BELOW.



Maricopa AZ 85139
+32.954941,-112.060013

Friday, May 13, 2022 at 11:20:25 AM

NOTICE

PLANNING & ZONING PINAL COUNTY PUBLIC HEARING

Any person who is interested may file written comments, in favor or opposition, with Community Development Department in Pinal County or appear in person at the hearing.

Date Posted:

5/13/22

POST COPY OF ACTUAL NOTICE BELOW

NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY BOARD OF SUPERVISORS AS TO A PROPOSED ZONING MAP AND ZONING ORDINANCE AMENDMENTS TO THE GENERAL ZONING ORDINANCE AND ZONING MAPS TO BE ADOPTED BY THE BOARD OF SUPERVISORS AT A PUBLIC HEARING TO BE HELD ON MAY 13, 2022 AT 10:00 AM AT THE PINAL COUNTY BOARD OF SUPERVISORS OFFICE, 1000 WEST WASHINGTON AVENUE, PINAL COUNTY, ARIZONA 85545.

PUBLIC HEARING - PUBLIC HEARING NOTICE THE BOARD OF SUPERVISORS OF PINAL COUNTY, ARIZONA, HAS SET FOR THE PUBLIC HEARING ON MAY 13, 2022 AT 10:00 AM AT THE PINAL COUNTY BOARD OF SUPERVISORS OFFICE, 1000 WEST WASHINGTON AVENUE, PINAL COUNTY, ARIZONA 85545. THE PUBLIC HEARING WILL BE HELD AT THE PINAL COUNTY BOARD OF SUPERVISORS OFFICE, 1000 WEST WASHINGTON AVENUE, PINAL COUNTY, ARIZONA 85545. THE PUBLIC HEARING WILL BE HELD AT THE PINAL COUNTY BOARD OF SUPERVISORS OFFICE, 1000 WEST WASHINGTON AVENUE, PINAL COUNTY, ARIZONA 85545.

FOR MORE INFORMATION VISIT www.pinalcountyaz.gov OR CALL THE COMMUNITY DEVELOPMENT DEPARTMENT AT (520) 833-1234.

CONTACT COMMUNITY DEVELOPMENT DEPARTMENT
1000 WEST WASHINGTON AVENUE
PINAL COUNTY, ARIZONA 85545
TEL: (520) 833-1234
WWW.PINALCOUNTYAZ.GOV



Maricopa AZ 85139
+32.955632,-112.054629

Friday, May 13, 2022 at 11:24:44 AM



PZ-006-21 PZ-PD-006-21



MEETING DATE: APRIL 17, 2022

TO: PINAL COUNTY PLANNING & ZONING COMMISSION

CASE NO.: **PZ-006-21, PZ-PD-006-21 (MIDWAY 1- PAD AMENDMENT)**

CASE COORDINATOR: Sangeeta Deokar, Planner

Executive Summary:

MIDWAY 1 PAD Amendment is a request to rezone 704.05 acres with multiple zoning districts with a Planned Area Development overlay district to provide flexibility for residential and commercial development. The Planned Area Development (PAD) Overlay Zoning District establishes development standards for a commercial zone along with single-family, mixed dwelling, multiple residence for 2,934 dwelling units. The proposed rezone and planned area development is situated at the west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

If This Request is Approved:

The applicant will apply for building permits under the amended PAD and design standards.

Staff Recommendation/Issues for Consideration/Concern:

Staff recommends **approval** of the portion of Midway 1 Rezone (PZ-006-21) and the Planned Area Development (PAD) overlay amendment to Midway 1 PAD (PZ-PD-006-21), with attached stipulations.

LEGAL DESCRIPTION: Parcel of land situated in Section 33, Township 05 South, Range 03 East, G&SRB&M.

TAX PARCEL: 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E

LANDOWNER/AGENT: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, Seth Keeler, W Holdings agent

APPLICANT: Andy Baron, ABLA

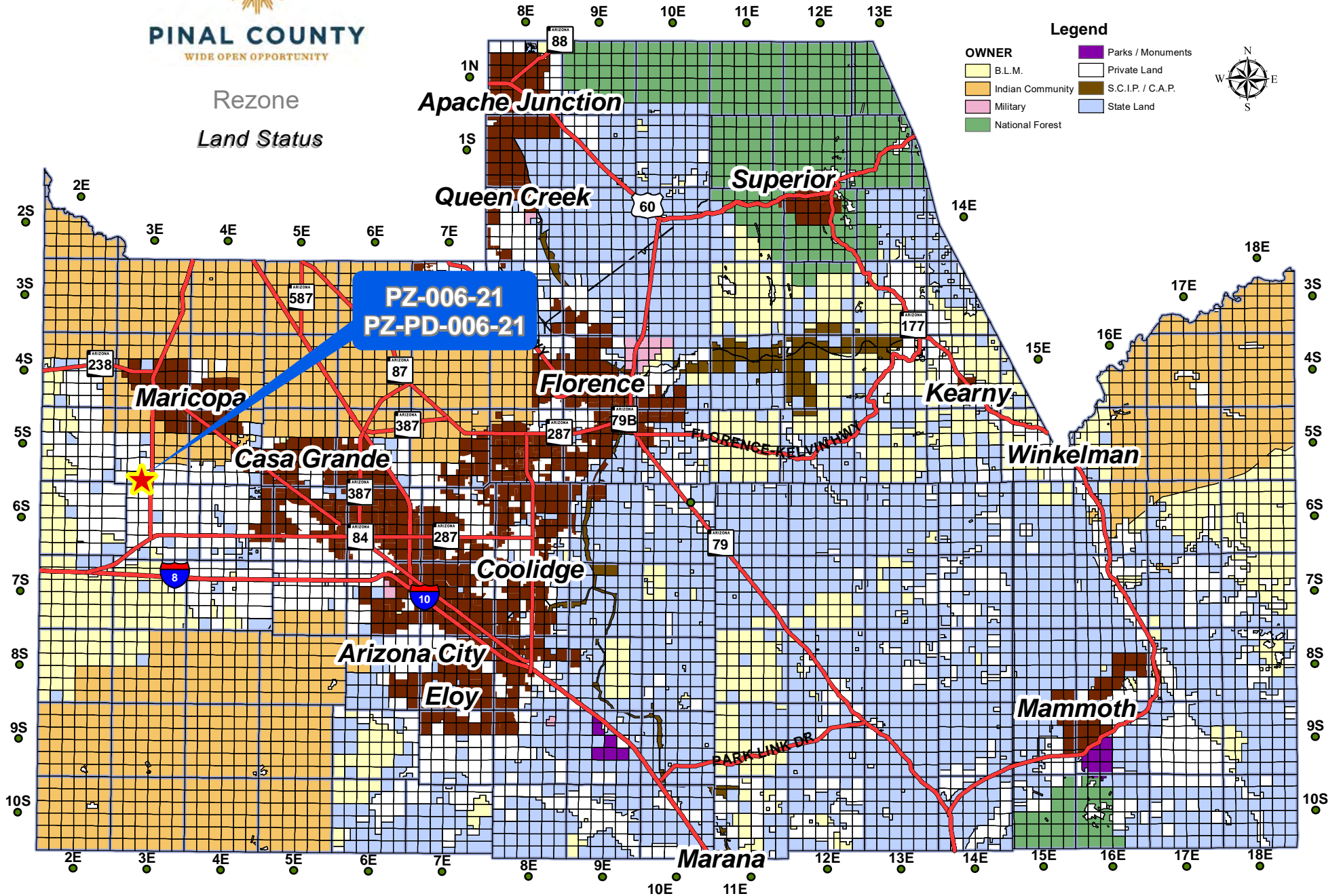
REQUESTED ACTION & PURPOSE: (Two cases)

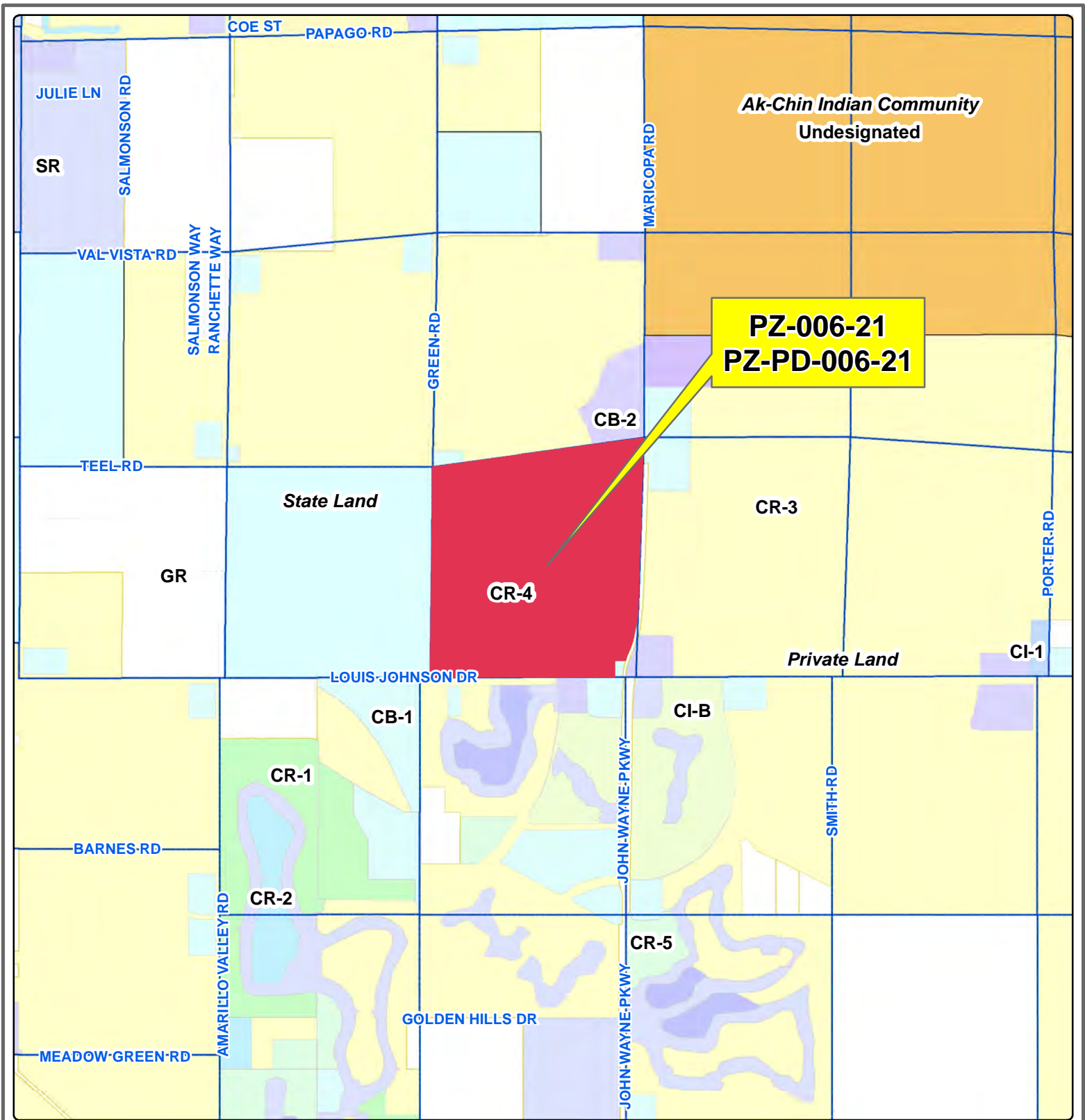
PZ-006-21 – PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting a, approval of a rezone of 704.05 ± acres from **SR PAD (Suburban Rural Zone), CR-3 PAD (Single Residence Zone), CR-4 PAD (Multiple Residence Zone), CR-5 PAD (Multiple Residence Zone), and CB-1 PAD (Local Business Zone) (Case PZ-043-98, PZ-PD-043-98) to R-7 PAD (Single Residence Zoning District) 620.58± acres, MD PAD (Mixed Dwelling Zoning District) 39.45± acres, MR (Multiple Residence Zoning District) 20.02± acres, C-1 PAD (Neighborhood Commercial Zoning District) 24.00± acres** to allow for 2,934 single family residential, multi-family residential, and neighborhood commercial uses; situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

COMMUNITY DEVELOPMENT
Planning Division

Rezone

 Land Status





Rezone/Community Development



Legal Description:

Situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.



Owner/Applicant: FB5, ENTITLEMENTS, MERIDIAN 80, TRES POINTS SETH KEELER, W HOLDINGS

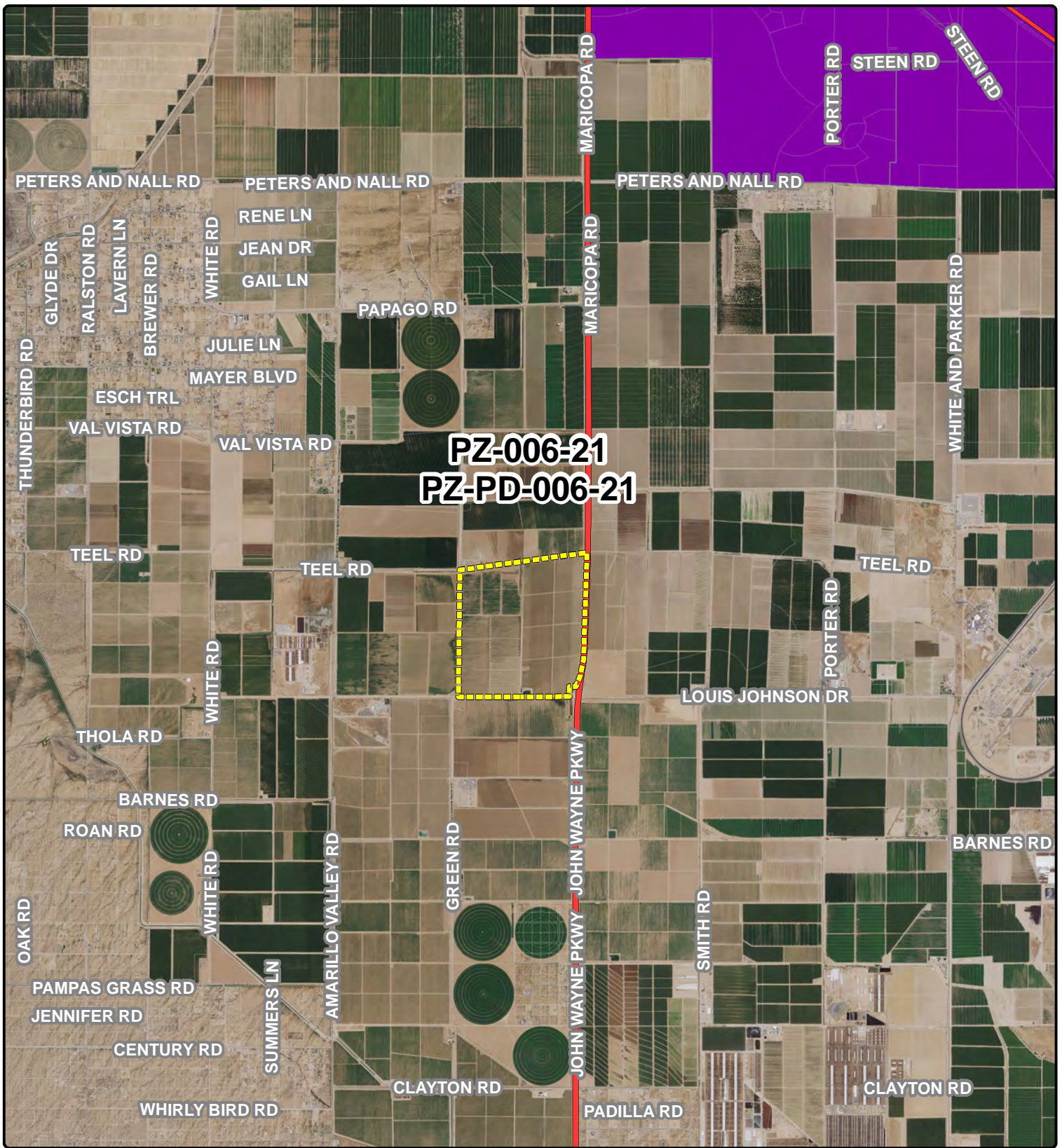
Drawn By: GIS / IT / LJT **Date:** 02/15/2022

Sheet No.

Section 33 **Township** 05S **Range** 03E

1 of 1

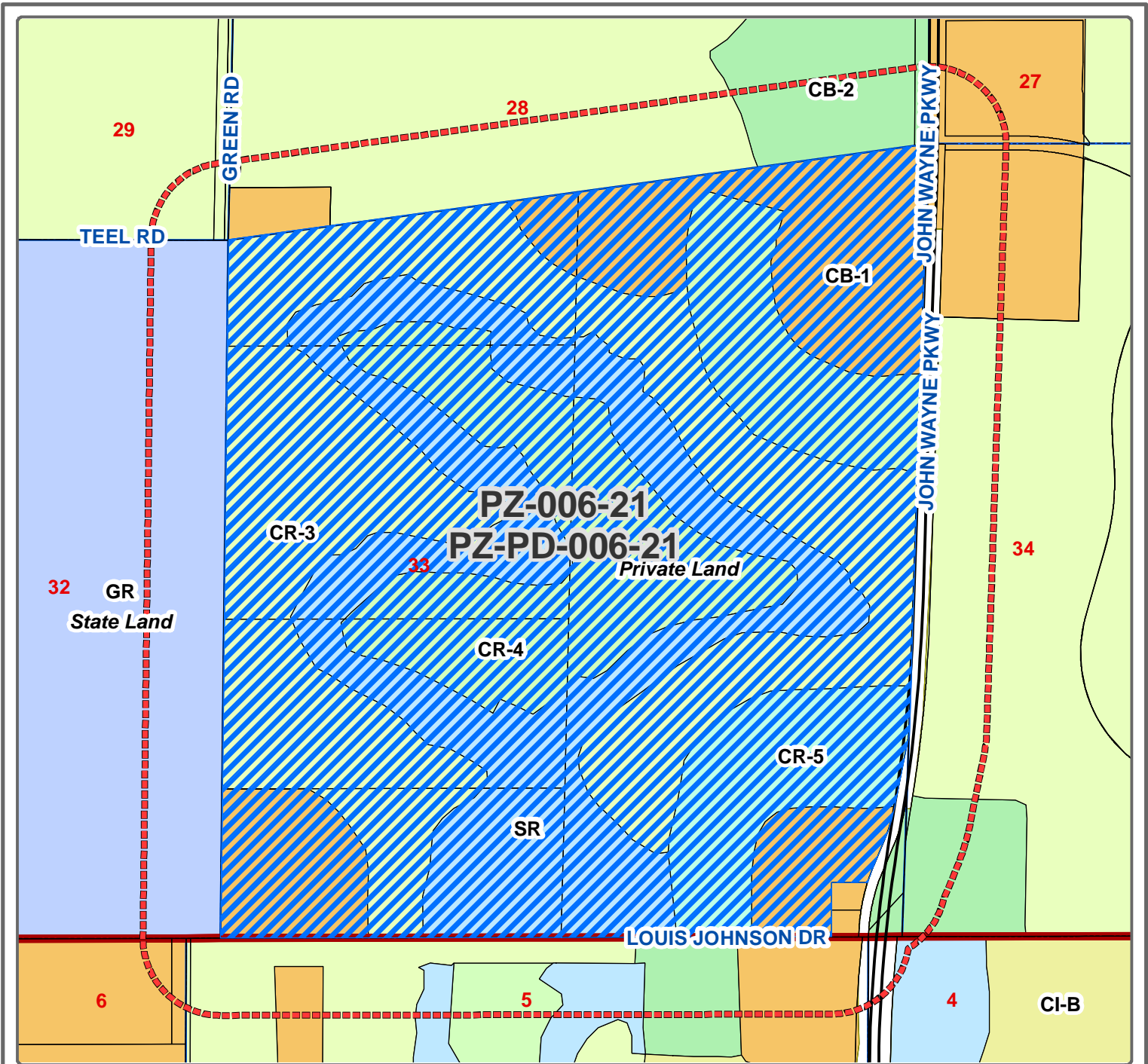
Case Number: PZ-006-21, PZ-PD-006-21



Rezone/Community Development



PZ-006-21
PZ-PD-006-21



Rezoning

PZ-006-21 – PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting a, approval of a rezoning of 704.05 ± acres from SR PAD (Suburban Rural Zone), CR-3 PAD (Single Residence Zone), CR-4 PAD (Single Residence Zone), CR-5 PAD (Single Residence Zone), and CB-1 PAD (Local Business Zone) (Case PZ-043-98, PZ-PD-043-98) to R-7 PAD (Single Residence Zoning District) 620.58± acres, MD PAD (Mixed Dwelling Zoning District) 39.45± acres, MR (Multiple Residence Zoning District) 20.02± acres, C-1 PAD (Neighborhood Commercial Zoning District) 24.00± acres to allow for 2,941 single family residential, multi-family residential, and neighborhood commercial uses; situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

Current Zoning: SR, CR-3, CR-4, CR-5, CB-1

Requested Zoning: Rezoning

Current Land Use: MLDR



Legal Description:

Situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.



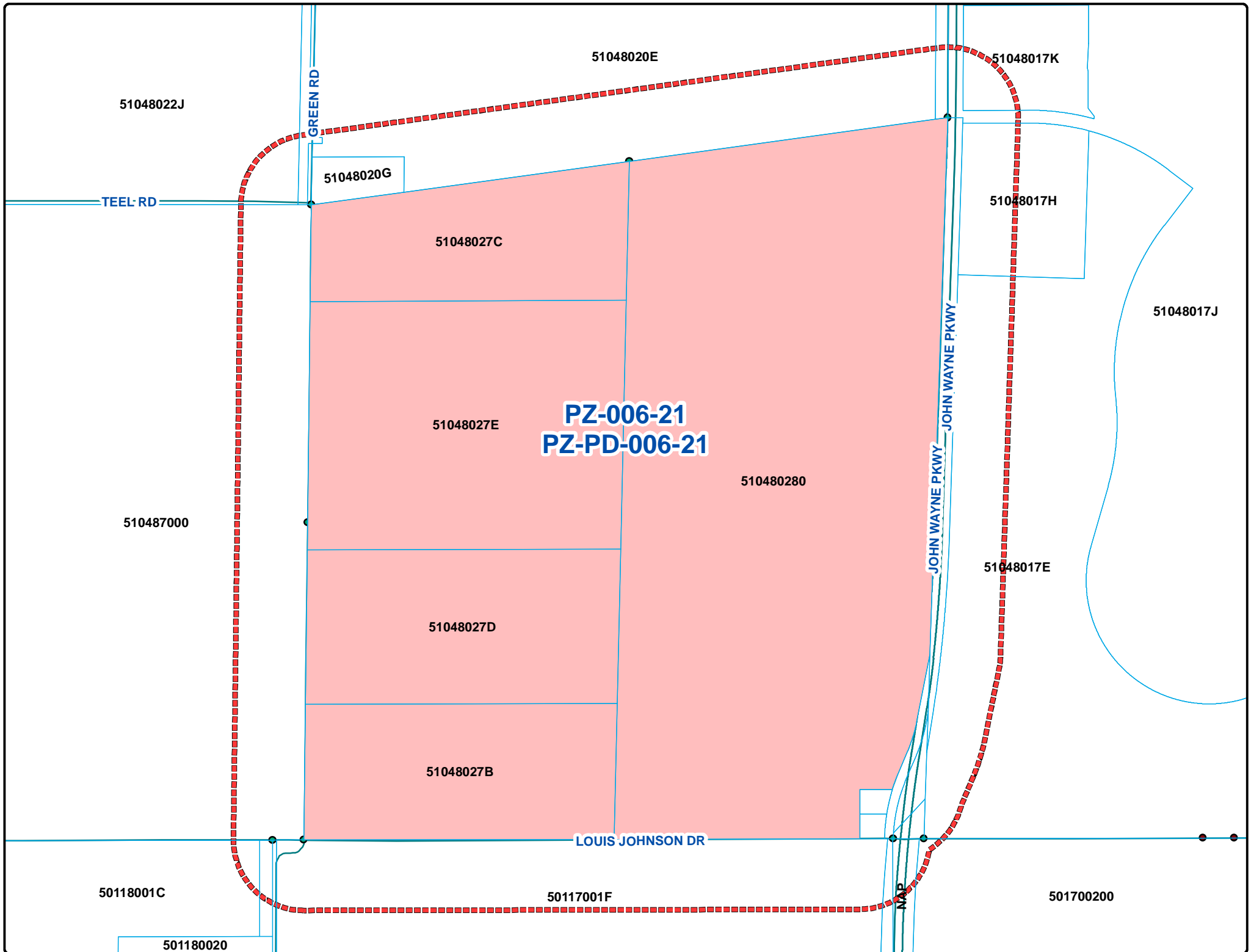
Owner/Applicant: FB5, ENTITLEMENTS, MERIDIAN 80, TRES POINTS SETH KEELER, W HOLDING

Drawn By: GIS / IT / LJT Date: 02/15/2022

Section 33 Township 05S Range 03E

Case Number: PZ-006-21, PZ-PD-006-21

Sheet No. 1 of 1



PZ-006-21
PZ-PD-006-21

51048022J

51048020E

51048017K

GREEN RD

51048020G

TEEL RD

51048017H

51048027C

51048017J

510487000

51048027E

510480280

JOHN WAYNE PKWY

51048017E

51048027D

51048027B

LOUIS JOHNSON DR

50118001C

50117001F

501700200

501180020

MAP

And

PZ-PD-006-21 – PUBLIC HEARING/ACTION: FB5 LLC, Entitlements LLC, Meridian 80 LLC, Tres Points LLC, owners/applicants, Seth Keeler, W Holdings agent requesting approval of an amendment to **Midway 1 Planned Area Development (PAD) Overlay Zoning District** (Case PZ-043-98, PZ-PD-043-98), for 704.05 ± acres to allow for 2,934 single family residential, multifamily dwelling units and general commercial uses situated in portion of Sections 33, T05S, R03E G&SRB&M; (legal on file), Tax parcels 510-48-0280, 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

LOCATION: located along west of N Highway 347 road north of W Louis Johnson Drive road in Maricopa Area.

SIZE: 704.05 ± acres.

COMPREHENSIVE PLAN: Pinal County Comprehensive plan Land-use designation for the subject site is Moderate Low Density Residential (1-3.5 du/ac). Land use for Medium Density Residential (3.5-8 du/ac) and High Density Residential (8-25 du/ac) categories have been used that are allowed as alternative land-uses under Moderate Low Density Residential with large master planned community located along arterials and/or higher roadway classification.

EXISTING ZONING AND LAND USE: Subject parcels are currently zoned as SR-PAD, CR-3 PAD, CR-4 PAD, CR-5 PAD, CB-1 (PAD) and are vacant.

SURROUNDING ZONING AND LAND USE:

- North: Single Residence Zone (CR-3) Residential, Commercial (CB-1 PAD, CB-2 PAD)
- South: Single Residence Zone (CR-3), Multiple Residence Zone (CR-4, CR-5), Suburban Ranch (SR-PAD), Commercial (CB-1 PAD, CB-2 PAD)
- East: Single Residence Zone (CR-3) Residential
- West: General Rural (GR) Residential

PUBLIC PARTICIPATION:

- Neighborhood Meeting(s): June 05, 2019
- Mail out: Week of March 25, 2022
- Agency Mail out: Week of March 9, 2022
- Newspaper Advertising: Week of March 28, 2022
- Site posting, Applicant: Week of March 23, 2022
- Site posting, County: Week of March 28, 2022

FINDINGS:

Flood zone: "X" an area that is determined to be outside the 100 and 500 year flood plain. The amendment area is comprised of active agricultural land with localized offsite runoff, regional offsite runoff from south and west breakout flows from the Santa Rosa Canal. This runoff mingles with the localized offsite runoff both as sheet flow and within existing drainage infrastructure.

Proposed off-site management strategy for the Amendment area consists of channels along boundaries to route the offsite runoff safely through and around the Amendment Area to its existing outfall within the Highway 347 Channel at the Amendment Area's northeastern corner.

On site drainage management include grading and drainage improvements with strategic locations of retention basins that would capture storm water runoff flow via street flows and storm drains. Retention basin requirements would be determined on parcel by parcel basis at the platting stage of the development.

ACCESS: Midway 1 PAD Amendment area is located along west of N Highway 347 road north of W Louis Johnson Drive road. Primary access points into the Amendment Area will be from John Wayne Freeway (SR-347) a 200’ parkway. Secondary access point will be located along Green Road, a 110’ minor arterial, and Louis Johnson Drive, a 150’ major arterial. The main roads joining all entries into the development will consists of major collector streets.

HISTORY: Midway I PAD is master planned area development for approximately 3500 ± acres under the case PZ-PD-043-98. The subject site is zoned General Rural (GR). The development plan included proposed land-uses, intensities and phasing. Zoning standards and design guidelines established the desired character including landscape, signage and design guidelines. This was outlined in a comprehensive manner in the PAD narrative with the development agreement.

The project was envisioned as a mix-use development featuring a range of low to medium density housing, golf courses, and club-house and neighborhood commercial uses. This was included in the 59 planning areas with a breakdown of proposed land uses and residential units per planning area. All land-use elements were integrated for circulation, infrastructure, aesthetic and visual setting, development standards and guidelines. The maximum overall density of the PAD was capped at 3.8 dwelling units per gross acre.

REZONE/PAD ANALYSIS: The applicant is proposing an amendment to the original Midway PAD 1 for only 704.05 acres out of the total approximately 3500 acres. The rezone proposed is from **SR PAD (Suburban Rural Zone), CR-3 PAD (Single Residence Zone), CR-4 PAD (Multiple Residence Zone), CR-5 PAD (Multiple Residence Zone), and CB-1 PAD (Local Business Zone) (Case PZ-043-98, PZ-PD-043-98)** to **R-7 PAD (Single Residence Zoning District) 620.58± acres, MD PAD (Mixed Dwelling Zoning District) 39.45± acres, MR (Multiple Residence Zoning District) 20.02± acres, C-1 PAD (Neighborhood Commercial Zoning District) 24.00± acres** with 2,934 single family residential, multi-family residential, and neighborhood commercial uses.

Table 4: Midway I PAD Amendment Area - Comparison									
Existing					Proposed				
Land Use	Zoning	Gross AC	Units	Density	Land Use	Zoning	Gross AC	Units	Density
Moderate Low Density	CR-3	303 AC	1,700 DU	5.6 DU/AC	Moderate Low Density	R-7	620.58 AC	2,172 DU	3.5 DU/AC
	CR-4	153 AC	1,317 DU	8.6 DU/AC		MD	39.45 AC	316 DU	8.0 DU/AC
	CR-5	47 AC	705 DU	15.0 DU/AC		MR	20.02 AC	446 DU	22.3 DU/AC
	CB-1	129 AC				C-1	24.00 AC		
	SR	208 AC							
PAD Amendment Area Total		*840 AC	3,722 DU	4.4 DU/AC			**704.05 AC	2,934 DU	4.2 DU/AC

Note: Proposed acreage varies from existing acreage due to discrepancies within existing Midway I PAD.

*Existing table data per Midway I PAD narrative - Table II-1 (PZS-PD-043-98)

**Per survey and legal descriptions.

Design for Midway 1 PAD amendment would be distinguished by the massing, scale, and densities with the mix of non-residential uses and residential housing opportunities with a variety of densities and product types for future residents. Dwelling units have been distributed somewhat uniformly within the project and within each phase with pedestrian connectivity within the community and its surroundings. The layout of the traffic corridors within the amendment area is specifically designed to unite the residential, recreational and the non-residential areas into a coherent system. Circulation is planned to enhance connectivity and allow visual diversity. The design intends to blend and integrate with the surrounding residential development and the future amendments to its remaining portion of Midway 1 PAD.

The proposed Midway 1 PAD Amendment is a residential planned community with a mix of three lot sizes: 5,175 sf, 6,000 sf and 6,875 sf. This proposal further adds more of the single family residence in the area surrounded by similar lots. Planned Area Development provides flexibility in the zoning and alternatives of housing in amendment area of Midway 1 PAD. Although the land-use caps the density to 3.5 du/acre, Midway PAD amendment area has utilized the provision of alternative land use for medium density with 8.0 du/acre and high density residential with 22.3 du/acre that provides variety of housing typologies to meet the current market demands. The proposed overall density for the amendment area is 4.2 du/ac.

Land Use	Zoning	Gross AC	Units	Allowed Density	Proposed Density
Moderate Low Density	R-7	620.58 AC	2,172 DU	3.5 DU	3.5 DU/AC
	MD	39.45 AC	316 DU	3.5-8 DU	8.0 DU/AC
	MR	20.02 AC	446 DU	8-24 DU	22.3 DU/AC
	C-1	24.00 AC			
PAD Amendment Area Total		704.05 AC	2,934 DU		4.2 DU/AC

After reviewing the quantitative data tables from the original PAD narrative for Midway 1 PAD, some errors were noticed in terms of acreage calculated in Table II-4 and Table II-1 (PZ-PD-043-98). The total acres for the original PAD as shown in the Table II-4 is 3544 acres, however when recalculated, totals to 3540 acres. Also, the amendment area totals to 840 acres per Table II-1, however the latest surveys conducted for the same area totals to 704.05 acres.

OPEN SPACE AND RECREATION PLAN ANALYSIS: Proposed Open Space and Recreation Plan for the amendment area for Midway 1 PAD provides open space spread throughout the site plan under each phase of the development. Open spaces have been provided in a balanced way with active and passive spaces with amenities spread across giving access to all residents within each phase.

Pedestrian circulation and trail system connects residents with the school, open space areas, neighborhood and pocket parks. The community road system design provide transition from one space to the other, tree lined walkways leading from one zone to the other. Active open spaces provide a variety of options for amenities to the future residents of the Midway, all of which would be maintained by the formation of the future Homeowner’s Association. Each phase would develop the amenities associated with the respective phase at the time of development. The Neighborhood Park is planned to be developed in Phase 2 of the development plan.

Commercial areas are planned with 20’00 landscape buffer per code and all plant material would be chosen in accordance with the Arizona Low Water use plant list with a mix of native plant material. Table provided below shows the area allocation for active and passive open space for the total amendment area for Midway I PAD.

Table 1: Amendment Area Open Space Table				
*Net Acreage	620.58 Ac.			
Description	Required (%)	Required (Acreage)	Provided (%)	Provided (Acreage)
Neighborhood Park (Active Recreational)				** 9.87 Ac.
Pocket Park (Active Recreational)				** 7.24 Ac.
Trail Areas (Active Recreational)				** 26.33 Ac.
Total Active Recreational Open Space	7.00%	** 43.44 Ac.	7.00%	43.44 Ac.
Passive Open Space	11.00%	68.26	11.00%	68.26 Ac.
Total Open Space	18.00%	111.70 Ac.	18.00%	111.70 Ac.
*NET ACREAGE BASED OFF OF TOTAL ACREAGE MINUS COMMERCIAL AREA AND MIXED-USE AREA FOR OPEN SPACE CALCULATIONS. ANY PORTIONS OF MIXED-USE AREA DEVELOPED AS RESIDENTIAL OR NON-RESIDENTIAL, SHALL CONFORM WITH PINAL COUNTY REQUIRED OPEN SPACE PERCENTAGE REQUIREMENTS.				
**ACTIVE RECREATIONAL OPEN SPACE ACREAGE MAY INCREASE OR DECREASES BETWEEN CATEGORIES, SO LONG AS THE TOTAL REQUIRED ACTIVE RECREATIONAL OPEN SPACE IS PROVIDED.				
NOTE: ACTIVE RECREATIONAL SPACES TO INCLUDE: COMMUNITY AND POCKET PARKS THAT MAY INCLUDE AMENITIES SUCH AS GARDENS, RAMADAS, TOT LOTS, SEATING, DOG PARKS, AND OPEN PLAY/ TURF AREAS.				

LOCATION:

Midway 1 PAD amendment area is bounded by agricultural land to the north, to the east by John Wayne Parkway (SR-347), to the south by Louis Johnson Drive and to the west by Green Road. This area is the part of northernmost point of the original Midway I PAD. Since its approval in 1998, Midway 1 has remained undeveloped and/or is used for agricultural purposes.

Approval of Midway 1 PAD amendment would increase the housing stock and provide alternatives for single family residential that are currently lacking in the area.

ACCESS

Primary access points into the Amendment Area will be from John Wayne Freeway (SR-347) a 200’ parkway. Secondary access point will be located along Green Road, a 110’ minor arterial, and Louis Johnson Drive, a 150’ major arterial.

To date, no letters in opposition and none in support have been received from property owner within the notification area.

Staff notes all Pinal County Departments have commented and said comments will be reflected as stipulations at the end of this report.

The proposal is located outside of the municipal planning boundary (south of Town of Maricopa). As of the writing of this report, no response has been received.

The proposal is located adjacent to the Stanfield Elementary School District and Casa Grande union High School District. As of the writing of this report, no response has been received.

At the public hearing, the Commission needs to be satisfied that the health, safety and welfare of the County and adjacent properties will not be negatively impacted by this PAD amendment, request under Planning Cases **PZ-006-21 and PZ-PD-006-21**. Furthermore, the Commission must determine that this zone change and PAD overlay will promote the orderly growth and development of the County, at this location and time, and this proposed development is compatible and consistent with the applicable goals and policies of the Pinal County Comprehensive Plan and rezone request.

THE BURDEN OF PROOF IS UPON THE APPLICANT TO PROVIDE THE NECESSARY AND REQUIRED INFORMATION AT THE PUBLIC HEARING. THE APPLICANT NEEDS TO BE PREPARED TO ADDRESS AND MITIGATE, AS APPLICABLE, THE FOLLOWING ISSUES AND CONCERNS:

- A) LAND USE, PERIMETER WALLS, SIGNAGE, SETBACKS, INGRESS/EGRESS & LANDSCAPING**
- B) PUBLIC SERVICES - SEWER, WATER, UTILITIES, DRAINAGE**
- C) NEIGHBORHOOD IMPACT**
- D) FLOOD CONTROL**
- E) TRAFFIC IMPACT**
- F) COMPATIBILITY/CONSISTENCY WITH PINAL COUNTY COMPREHENSIVE PLAN**
- G) BENEFITS/DETRIMENTS TO PINAL COUNTY**

STAFF SUMMARY: The applicant, Andy Baron, ABLA, has submitted the application and sufficient evidence to warrant a staff recommendation as provided in the Ordinance. Staff provides the following findings together with the information on Page 1 of this staff report:

1. This land use request is for approval of a Rezone/PAD.
2. To date, no letters in opposition or support have been received.
3. The property has legal access for the residential components from John Wayne Parkway on the eastern edge, Louis Johnson Drive from the southern boundary of the project and Green Road form the western edge of the project.
4. The subject property has Moderate Low Density Residential (1-3.5 du/ac) Land Use designation
5. Granting of the Rezone/PAD will require, after the time of zoning approval, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals.

STAFF RECOMMENDATION (PZ-006-21): After a detailed review of the request, Pinal County Comprehensive Plan, and the Pinal County Development Services Code (PCDSC), staff recommends approval of this request.

Should the Commission find after the presentation of the applicant and together with the testimony and evidence presented at the public hearing, that this rezone request is needed and necessary at this location and time, will not negatively impact adjacent properties, will promote orderly growth and development of the County and will be compatible and consistent with the applicable goals and policies of the Pinal County Comprehensive Plan, then staff recommends that the Commission forward PZ-006-21 to the Board of Supervisors with a favorable recommendation with the attached stipulations:

*To Approve: I move the Planning and Zoning Commission forward a recommendation of **approval** of Case PZ-006-21 with the attached 1 stipulations as listed in the staff report.*

1. Approval of this zone change (PZ-006-21) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals.

STAFF RECOMMENDATION (PZ-PD-006-21): Staff finds after the presentation of the applicant and together with the testimony and evidence presented at the public hearing, that this PAD request is needed and necessary at this location and time, will not negatively impact adjacent properties, will promote orderly growth and development of the County and will be compatible and consistent with the applicable goals and policies of the Pinal County Comprehensive Plan, then staff recommends that the Commission forward **PZ-PD-006-21** to the Board of Supervisors with a favorable recommendation.

If the Commission cannot find for all of the factors listed above, then staff recommends that the Commission forward PZ-PD-006-21 to the Board of Supervisors with a recommendation of denial.

*To Approve: I move the Planning and Zoning Commission forward a recommendation of **approval** of Case PZ-PD-006-21 with the attached 16 stipulations as listed in the staff report.*

1. Approval of this PAD (PZ-PD-006-21) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation supporting documentation and approvals including but not limited to zone change approval, PAD overlay district, site plan, walls/fencing, signage, lighting, and landscaping plans, as applicable;
2. Midway 1 PAD (PZ-PD-006-21) is to be developed in general conformance with the site plan/development plan submitted on July 2, 2019, along with the applicants other supplementary documentation in accordance with the applicable criteria set forth in Chapter 2.176 of the Pinal County Development Services Code;
3. Approval of this Planned Area Development (PAD) Overlay District is contingent upon the Board of Supervisors zone change approval as set forth in Planning Case PZ-006-21;
4. the property is to be developed with an approved Midway 1 PAD Planned Area Development (PAD) (PZ-PD-006-21), in accordance with the applicable criteria set forth in Chapter 2.176 of the PCSDC and the applicant's submittal documents;
5. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;
6. Dust registration is required if 0.1 acres or more land is disturbed.
7. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District;
8. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer's cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the Tentative Plat being scheduled for the Planning & Zoning Commission;
9. All infrastructure improvements shall be per the current Pinal County Standards and current MAG Uniform Standard Details for Public Works Construction or as approved by the County Engineer;

10. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
11. Half street right-of-way dedication and road improvements will be required along JOHN WAYNE PARKWAY/SR347 (eastern boundary), LOUIS JOHNSON DRIVE (southern boundary), and GREEN ROAD (western boundary). The required minimum half street right-of-way is 100' for JOHN WAYNE PARKWAY/SR 347, 75' for LOUIS JOHNSON DRIVE, and 55' for GREEN ROAD. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County Engineer;
12. JOHN WAYNE PARKWAY/SR0347 and LOUIS JOHNSON DRIVE have been identified as a "Route of Regional Significance". Applicant will be required to comply with the "Regionally Significant Routes for Safety and Mobility, Final Report, December 2008" and the current "Access Management Manual" or as approved by the County Engineer;
13. A Traffic Impact Analysis (TIA) will be required to be submitted to the County Engineer at the time of Final Plat and/or Site Plan submittal for review and approval. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer's cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the first Final Plat and/or Site Plan approval;
14. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
15. All right-of-way dedication shall be free and unencumbered;
16. Any roadway sections, alignments, access locations and access movements shown in the PAD are conceptual only and have not been approved by the Pinal County Engineer.

Date Prepared: 4/2/2022 SD

Revised: 4/13/2022 SD



APPLICATION FOR CHANGE OF ZONING REGULATIONS IN AN UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA
(All Applications Must Be Typed or Written in Ink)

Formal Zoning Change & Property Information:

(feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

1. Pinal County Staff Coordinator: Gilbert Olgin
2. Date of Pre-application Review: 12/ 08 / 2020 Pre-Application Review No.: Z-PA- 059 - 20
3. Current Zoning (Please provide Acreage Breakdown): PAD: 704.05 acres
4. Requested Zoning (Please provide Acreage Breakdown): R-7 PAD 620.58 gross ac, MD PAD 39.45 gross ac, MR PAD 20.02 gross ac, C-1 PAD 24.00 gross ac
5. Parcel Size(s): 704.05
6. The existing use of the property is as follows: Agricultural
7. The exact use proposed under this request: Residential and non-residential uses
8. What is the Comprehensive Plan Designation for the subject property: Moderate Low Density Residential (1-3.5 du/ac)
9. Is the property located within three (3) miles of an incorporated community? YES NO
10. Is an annexation into a municipality currently in progress? YES NO
11. Is there a zoning violation on the property for which the owner has been cited? YES NO
If yes, zoning violation # _____
12. Discuss any recent changes in the area that would support your application i.e.: zone change(s), subdivision approval, Planned Area Development (PAD), utility or street improvements, adopted comprehensive/area plan(s) or similar changes. This is a rezone and amendment to the existing Midway I PAD. A Minor Comprehensive Plan Amendment was approved in 2020 to allow the Moderate Low Density Residential (1-3.5 du/ac) on the site.
13. Explain why the proposed development is needed and necessary at this time. While the larger Midway I area is not ready for development, due to its smaller size and current market conditions, the Amendment Area is ready for development. The Amendment Area proposes an innovated development.

INV#: _____ AMT: _____ DATE: _____ CASE: _____ Xref: _____

COMMUNITY DEVELOPMENT
Planning Division



APPLICATION FOR PLANNED AREA DEVELOPMENT (PAD) OVERLAY DISTRICT IN AN UNINCORPORATED AREA OF
PINAL COUNTY, ARIZONA

(All Applications Must Be Typed or Written in Ink)

Formal PAD Application & Property Information:

(feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

1. Pinal County Staff Coordinator: Gilbert Olgin
2. Date of Pre-application Review: 12/ 08 / 2020 Pre-Application Review No.: Z-PA- 059 - 20
3. Current Zoning (Please provide Acreage Breakdown): _____
4. Requested Zoning (Please provide Acreage Breakdown): _____
5. Parcel Number(s) (Please attach a separate list if more space is needed): _____
6. Parcel Size(s): _____
7. The existing use of the property is as follows: _____
8. The exact use proposed under this request: _____
9. What is the Comprehensive Plan Designation for the subject property: _____
10. Is the property located within three (3) miles of an incorporated community? YES NO
11. Is an annexation into a municipality currently in progress? YES NO
12. Is there a zoning violation on the property for which the owner has been cited? YES NO
If yes, zoning violation # _____
13. Is this a major PAD Amendment request (no zone accompanying change)? YES NO If yes what was the previous PAD case number PZ-PD- 043-98
14. Discuss any recent changes in the area that would support your application i.e.: zone change(s), subdivision approval, Planned Area Development (PAD), utility or street improvements, adopted comprehensive/area plan(s) or similar changes. _____
This is an amendment and rezone to the existing Midway I PAD A Minor Comprehensive Plan Amendment was approved in 2020 to allow a Minor Comprehensive Plan designation of Moderate Low Density Residential (1-3.5 du/ac on the site.
15. Explain why the proposed development is needed and necessary at this time. _____
While the larger Midway I area is not ready for development, due to its smaller size and current market conditions, the Amendment Area is ready for development. The Amendment Area proposes an innovated development.

INV#: _____ AMT: _____ DATE: _____ CASE: _____ Xref: _____

COMMUNITY DEVELOPMENT
Planning Division

SUPPORTING INFORMATION

1. Note any services that are not available to the site. Discuss any improvements of services that would be paid for by the public: Currently the site is not serviced; however, water, sewer, and utilities will be provided as part of this development.

2. What is the amount of traffic to be generated (# of trips/day, deliveries/week)? Show ingress/egress on the site plan: See Master Traffic Impact Analysis.

3. How many parking spaces are to be provided (employees and customers)? Indicate these parking spaces on the site plan: While the location of non-residential uses has been determined, the non-residential parcels have not been site planned at this time.
4. Is there a potential for excessive noise (I.E.; children, machinery) or the production of smoke, fumes, dust or glare with this proposed land use? If yes, how will you alleviate these problems for your neighbors?
The site is currently planned as a primarily residential development with non-residential uses located at the southeast corner of the Amendment Area. The Amendment Area is currently adjacent to agricultural fields; however, landscape areas and theme walls will act as buffers to adjacent parcels.
5. What type of landscaping are you proposing to screen this use from your neighbors?
The proposed uses are currently surrounded by agricultural fields. Landscaping and theme walls will be located around the perimeter of the site where appropriate.
6. What type of signage are you proposing for the activity? Where will the signs be located?
Primary and secondary sign monuments will be provided at the entrances into the Amendment Area.

7. If the proposed land use involves any type of manufacturing or production process, provide a short synopsis of the processes utilizing diagrams, flowcharts and/or a short narrative: N/A

8. Explain how the appearance and operation of the proposed land use will maintain the integrity and character of the zone in which the use is requested: The proposed land uses are consistent with the existing Comprehensive Plan and are generally consistent with the land uses permitted within the existing Midway I PAD.

9. Have you discussed possible conditions that may be placed on the approval with the Planning Department?
 YES NO
10. Do you understand that if a condition is violated, that there is a public process by which your zoning may be reverted? YES NO

PROPERTY OWNERSHIP LIST
(Required for filing all applications)

See Attached

Instructions: Print Name, Address, City, State, Zip Code and Tax Parcel Number for each property owner within 600/1,200 (circle one) feet of the subject parcel boundary. Feel free to attach a separate list if generated digitally. Please see "How to use the Buffer Tool" on our FAQ's page if you are generating the list.

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

Parcel No.: _____
Name: _____
Address: _____
City/ST/Zip: _____

I hereby verify that the name list above was obtained on the 26 day of February, 2021, at the office of ABLA and is accurate and complete to the best of my knowledge.
(Source of Information)

On this 26 day of February, 2021, before me personally appeared Andy Baron
(Name of signor)

Signature [Signature] Date 2-26-2021

State of Arizona
County of Maricopa)ss.



(SEAL)

My Commission Expires 5-19-2023

Signature of Notary Public [Signature]

I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing

Andy Baron

310 East Rio Salado Parkway, Tempe, AZ 85281

Name of Applicant

Address



Andy.Baron@ablastudio.com

480-530-0070

Signature of Applicant

E-Mail Address

Phone Number

Andy Baron

310 East Rio Salado Parkway, Tempe, AZ 85281

Name of Agent/Representative

Address



Andy.Baron@ablastudio.com

480-530-0070

Signature of Agent/Representative

E-Mail Address

Phone Number

The Agent/Representative has the authority to act on behalf of the landowner/applicant, which includes agreeing to stipulations. The agent will be the contact person for Planning staff and must be present at all hearings. Please use attached Agency Authorization form, if applicable.

Seth Keeler, W Holdings

1121 West Warner Road, STE 109

Name of Landowner

Address



sethk@wholdings.com

480-710-3361

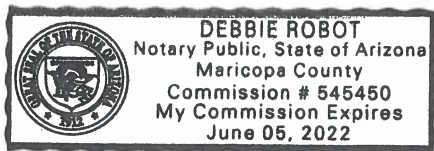
Signature of Landowner

E-Mail Address

Phone Number

If landowner is not the applicant, then applicant must submit a signed notarized consent form from the landowner with this application. Please use attached Consent to Permit form, if applicable.

[Corporate PROPERTY OWNER signature block and acknowledgment The appropriate Corporate officer or trustee signs this signature block NOT the block on the previous page.]



AAaron FB5 LLC
[Insert Company or Trustee's Name]
By: CIR
[Signature of Authorized Officer or Trustee]
Its: member
[Insert Title]
Dated: 3/12/2019

STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 12 day of March, 2019
by Carson Brown member
[Insert Signor's Name] [Insert Title]
FB5 LLC, an _____,
[Insert Name of Company or Trust] [Insert State of Incorporation, if applicable]
and who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

Debbie Robot
Notary Public

My commission expires: 6/5/2022

ALTERNATE: Use the following acknowledgment only when a second company is signing on behalf of the owner:

STATE OF _____)
) ss.
COUNTY OF _____)

On this _____ day of _____, _____, before me, the undersigned, personally appeared _____ Who acknowledged himself/herself
[Insert Signor's Name]
to be _____ of _____
[Title of Office Held] [Second Company]
As _____ for _____, and who being
[i.e, member, manager, etc.] [Owner's Name]
authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____

Exhibit B
FB5, LLC

APN 510-48-027E

[Corporate PROPERTY OWNER signature block and acknowledgment The appropriate Corporate officer or trustee signs this signature block NOT the block on the previous page.]

Entitlements, LLC
[Insert Company or Trustee's Name]
By: [Signature]
[Signature of Authorized Officer or Trustee]
Its: MANAGER
[Insert Title]
Dated: 4/2/19



STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 2 day of April, 2019
by Eric Kerbs Manager
[Insert Signor's Name] [Insert Title]
Entitlements, LLC, an _____,
[Insert Name of Company or Trust] [Insert State of Incorporation, if applicable]
and who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

[Signature]
Notary Public

My commission expires: 6/5/2022

ALTERNATE: Use the following acknowledgment only when a second company is signing on behalf of the owner:

STATE OF _____)
) ss.
COUNTY OF _____)

On this _____ day of _____, _____, before me, the undersigned, personally appeared _____ Who acknowledged himself/herself

to be _____ of _____
[Title of Office Held] [Second Company]

As _____ for _____, and who being
[i.e., member, manager, etc.] [Owner's Name]
authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____

Exhibit B
Entitlements, LLC

APN 510-48-027C

TO BE COMPLETED BY ALL LANDOWNERS OF SUBJECT PROPERTY WHEN LANDOWNERS DO NOT REPRESENT THEMSELVES. Instructions for completing required information are in bold and brackets below lines. If applicant is a company, corporation, partnership, joint venture, trustee, etc., please use the corporate signature block and have the notary fill in the notarization section for corporations not individuals.

AGENCY AUTHORIZATION

TO: Pinal County Planning & Development Services
P.O. Box 2973
Florence, AZ 85132

Stephen E & Vicki L Richardson

[Insert Name -- If a Corporation, Partnership or Association, Inc +/- 70 ncorporation]
hereinafter referred to as "Owner," is/are the owner(s) of _____ acres located at

[Insert Address of Property]
and further identified as assessor parcel number See Exhibit B and legally
[Insert Parcel Number]
described as follows:

Legal Description is attached hereto as Exhibit A

Said property is hereinafter referred to as the "Property."

Owner hereby appoints **Seth Keeler of W Holdings**

[Insert Agent's Name. If the Agent is a Company, Insert Company Name Only]
hereinafter referred to as "Agent," to act on Owner's behalf in relation to the Property in obtaining approvals from Pinal County for any necessary amendment to Pinal County's Comprehensive Plan; zone changes; planned area development overlay districts; platting of the subject property; special use permit or industrial use permit; and to file applications and make the necessary submittals for such approvals.

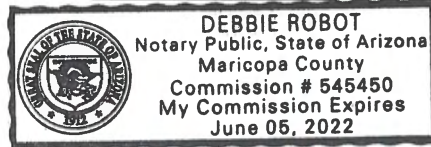
Owner consents and agrees to be bound by all stipulations agreed to by this Agent in connection with any of above-referenced processes.

[Individual PROPERTY OWNER signature block and acknowledgment. DO NOT SIGN HERE IF SIGNING AS AN OFFICER OF A CORPORATION ON THE NEXT PAGE.]

STEPHEN E. RICHARDSON
[Signature]
Dated: 3/12/19

[Signature]
Dated: _____

STATE OF Arizona)
COUNTY OF Maricopa) SS.



The foregoing instrument was acknowledged before me this 12 day of March, 2019
By Stephen E. Richardson
[Insert Name of Signor(s)]

My commission expires 6/5/2022

Debbie Robot
Notary Public

Exhibit B
Richardson

APN 510-48-027B

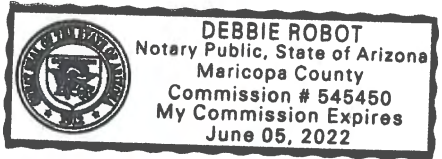
[Corporate PROPERTY OWNER signature block and acknowledgment The appropriate Corporate officer or trustee signs this signature block NOT the block on the previous page.]

Meridian 80, LLC
[Insert Company or Trustee's Name]

By: [Signature]
[Signature of Authorized Officer or Trustee]

Its: Member
[Insert Title]

Dated: 2/28/2019



STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 28 day of February, 2019
by Carson Brown member
[Insert Signor's Name] [Insert Title]

Meridian 80, LLC, an _____,
[Insert Name of Company or Trust] [Insert State of Incorporation, if applicable]

and who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

Debbie Robot
Notary Public

My commission expires: 6/5/2022

ALTERNATE: Use the following acknowledgment only when a second company is signing on behalf of the owner:

STATE OF _____)
) ss.
COUNTY OF _____)

On this _____ day of _____, _____, before me, the undersigned, personally appeared _____ Who acknowledged himself/herself
[Insert Signor's Name]

to be _____ of _____
[Title of Office Held] [Second Company]

As _____ for _____, and who being
[i.e, member, manager, etc.] [Owner's Name]
authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____

Exhibit B
Meridian 80, LLC

APN 510-48-028

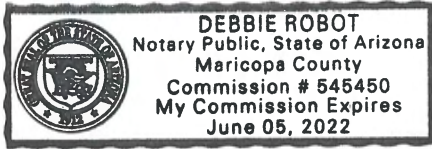
[Corporate PROPERTY OWNER signature block and acknowledgment The appropriate Corporate officer or trustee signs this signature block NOT the block on the previous page.]

Tres Points, LLC
[Insert Company or Trustee's Name]

By: [Signature]
[Signature of Authorized Officer or Trustee]

Its: Manager
[Insert Title]

Dated: 2/27/19



STATE OF Arizona)
) ss.
COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 27 day of February, 2019 by Ashton Wolfswinkel, Manager, Tres Points, LLC, an [Insert State of Incorporation, if applicable] and who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

[Signature]
Notary Public

My commission expires: 6/5/2022

ALTERNATE: Use the following acknowledgment only when a second company is signing on behalf of the owner:

STATE OF _____)
) ss.
COUNTY OF _____)

On this ____ day of _____, _____, before me, the undersigned, personally appeared _____ Who acknowledged himself/herself

to be _____ of _____

As _____ for _____, and who being authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: _____

Exhibit B
Tres Points, LLC

APN 510-48-027D

Application Checklist:

FOR A PROPOSED PLANNED AREA DEVELOPMENT (PAD) OVERLAY DISTRICT IN UNINCORPORATED PINAL COUNTY

A. Check the appropriate item:

This PAD is being submitted without a zone change request

This PAD is being submitted in conjunction with a zone change request.

The applicant must complete a zone change application. – ***(Please utilize the “PAD Book” and the “Site Plan” of the PAD application to fulfill the Zoning Application “Narrative” and “Site Plan” in lieu of while having separate copies for each application).***

B. Hold a Neighborhood/Community Meeting:

1. Notify all property owners within 1200’ (feet)

2. Hold the meeting within five (5) miles of the subject property

3. Hold the meeting between 5:00 pm – 9:00 pm

4. Include with the application the following:

Copy of Notice of Neighborhood/Community Meeting

List of property owners notified - ***(Use page 2 of this application)***

Minutes of the meeting

Attendance sign-in sheet with names & addresses

C. Submit a completed “Agency Authorization” form *(if applicable, Use page 4 of this application).*

D. Submit a “PAD Book” (written narrative) concerning the proposed development to include the following sections – Refer to Chapter 2.176.240 (B) of the PCDS for further clarification *(NOTE: Please No Spiral Binding)***:**

1. Title Page

2. Purpose of Request

3. Description of Proposal

Nature of the Project

Proposed Land Uses

Building Types & Densities

Conformance to adopted Land Use Plans

Circulation and Recreation Systems

- 4. Relationship to surrounding properties within onemile
- 5. Schools
- 6. Public Services/Community Services and how will the need for these services be addressed
- 8. Location & Accessibility
- 9. Compliance with RSRSM, Access Management Manual, October 2008
- 10. Utilities & Services
- 11. Ownership & Control – [See Section 2.176.240(B)11]
- 12. Timing of Development (PhasingSchedule)
- 13. Conformance with the Comprehensive Plan
- 14. Recreational Amenities
- 15. Fences, Walls & Screening
- 16. Total number of dwelling units
- 17. Maximum Residential Density of each planning unit
- 18. Total number of parking spaces for recreational facilities
- 19. Type of landscaping
- 20. Preliminary hydrologic data and a statement on drainage
- 21. Additional Information for Commercial & Industrial Uses (*if applicable*):
 - Total Area in acres proposed (*Commercial & Industrial Separated*)
 - Approximate retail sales floor area (*Commercial*)
 - The uses proposed uses based on permitted uses in the basezone.
 - The standards of height, open space, buffering, landscaping, pedestrian and vehicle circulation, off-street parking and loading, signs, outdoor lighting, and nuisance controls intended for the development.
- 22. Tables:
 - Land Use Table(s) to include the following:
 - Total Acreage of the site
 - Total Area of arterial & collector streets
 - Total Area & Percent of Open Space
 - Total Number of each type of dwelling unit
 - Total Number of all dwelling units proposed including the range and mixture of lot sizes within each base zone
 - The Overall proposed Density

- **Amended Development Standards Table comparing proposed and current zoning code standards for:**
 - Minimum Lot Area
 - Minimum Lot Width
 - Minimum Building Setbacks
 - Maximum Building Height
 - Minimum Distance between main & detached accessory buildings
 - Buildable Area
- **Amended Use Tables:**
 - Permitted Uses
 - Non-Permitted Uses
- **Utilities & Services Table of type & source:**
 - Sewer
 - Water
 - Electric
 - Telephone
 - Police
 - Fire
 - Schools
 - Solid Waste Disposal

24. Appendix, as applicable (Cultural Biological/environmental studies, or other items)

E. Submit a map that shows the relationship to surrounding properties within one mile of the project boundaries. The map shall be drawn at a sufficient scale so as to not exceed a print size larger than 11" X 17". The lettering shall be of sufficient size to be legible when reduced to an 8½" X 11" print. The map shall contain the following information:

- Zoning Boundaries
- Street Alignment
- Open Space
- Trails

F. Submit a current preliminary Title Report (*dated within 60 days prior to application*)

G. Submit a Development Plan. The submittal shall be drawn at a sufficient scale as to not exceed a print size larger than **24" X 36"** with **11" X 17"** reductions to be included in the PAD Overlay District Application where the lettering is of sufficient size to be readable. The Development Plan shall include:



1. Site Plan:

- Title of project as shown in the narrative report, such as ***"Planned Area Development for (insert name of Development)"*** in bold letters.
- Name(s) of Landowner(s), Developer, Applicant, and Person or Firm preparing the plan.
- North Arrow, Scales (*written & graphic*), Preparation Date & Subsequent Revision Dates.
- Vicinity Map showing project, surrounding development and applicable zoning districts (*scale no less than 1" = 2,000'*)
- Existing Zone designation & requested zone change (*as applicable*)
- Legal Description of total site
- Boundaries of the proposed PAD Overlay Zoning District delineated and dimensioned by bearing and distance.
- All existing and proposed public and/or private streets, location and width of associated easements and rights-of-way and whether they will remain or be extinguished.
- Location & Identification of all existing and proposed utilities, location and width of associated easements.
- Location of all existing structures and significant natural features.
- Nearest regional significant routes to proposed development as projected in RSRS Final Report, December 2008.
- All points of ingress and egress.
- Parking Areas.
- Identify & Delineate existing and/or proposed trails as shown on the Pinal County trails system master plan.
- Indicate and/or label (*as applicable*):
 - Areas to be reserved for residential, commercial, industrial, open space, public use, facilities, drainage, and recreation.
 - Who will own, control and maintain the landscaping, recreational facilities, open areas, refuse disposal, streets, private utility systems.
 - Topography with a maximum contour interval of two feet except where existing ground is on a slope of less than two percent, then either one foot contours or spot elevation shall be provided where necessary.
 - Phase Lines (*as applicable*)
- Provide lot typical (typical should show building envelope, setbacks, lot dimensions and fences/walls) for:
 - Each type of dwelling unit
 - Lots in unusual locations (i.e. Cul-de-sacs, corners, hillside lots where clustering will occur).

- Indicate by notes the existing drainage pattern and proposed drainage plans for handling on-site and off-site storm water runoff
- Indicate location, type, height, and materials for proposed walls, fences, and signs.
- Location and types of existing and proposed landscaping.
- Designated Flood Zone

2. Quantitative Development Data Tables

- Land Use table to include:
 - Total Gross Acreage of site
 - Total Area of Streets (Public & Private)
 - Total Area of Public Open Space
 - Total Net Area of all intended uses
 - Total Areas of Open Space for PAD Residents, and total Recreation Area Open Space
 - Total Dwelling Units permitted under base zoning district
 - Total number of each dwelling type including range and mixture of lot sizes within each base zone
 - Grand Total of Dwelling Units
 - Overall Density proposed
- Zoning Comparison Table of Existing & Proposed to include:
 - Lot area per dwelling unit
 - Setbacks
 - Minimum Lot Widths
 - Maximum Building Heights
- Parking (number of spaces)
- Utility & Services Table indicating type and source:
 - Sewer
 - Electric
 - Telephone
 - Water
 - Police/Security
 - Fire
 - Schools
 - Solid Waste Disposal
- Street Type Table indicating proposed rights-of-way and pavement widths for arterials, collectors, and neighborhood streets.

- 3. Submit an Open Space & Recreation Plan (“OSRP”) that includes – Refer to Chapter 2.176**
 - Reviewed** the Pinal County Open Space & Recreational Area Guideline
 - Site Analysis**
 - Aerial Photo
 - Preferred scale of 1”=50’ (*maximum scale of 1”=100’*)
 - Site Analysis should be produced in an **8½” X 11” format for text**
 - Site Analysis should be produced in an **24” X 36” format for plans*** (**coordinate this requirement with your case coordinator**)
 - Total acreage of proposed development
 - Context Map showing the proximity and relationship to the County’s trails, parks, or schools and connectivity to the adjacent neighborhoods, off-site trails, paths, bikeways, and transit areas.
 - A concept drawing of the proposed development including:
 - Gross Site Area
 - Number of proposed lots
 - Proposed Arterial & Collector street circulationsystem
 - Proposed lot size(s),
 - Proposed Retention/detention areas
 - Proposed Development Phasing
 - Context Map showing the proximity and relationship to the County’s trails, parks, or schools and connectivity to the adjacent neighborhoods, off-site trails, paths, bikeways, and transit areas.
 - A concept drawing of the proposed development including:
 - Gross Site Area
 - Number of proposed lots
 - Proposed Arterial & Collector street circulationsystem
 - Proposed lot size(s),
 - Proposed Retention/detention areas
 - Proposed Development Phasing
 - A pedestrian circulation system
 - A Slope Analysis identifying the following slope categories:
 - 1) 0% - 5%
 - 2) 5% - 10%
 - 3) 10% and greater

- Identification of wash corridors and preliminary hydrologic information for the contributing watershed.
- Identification of the location of riparian vegetation and biological habitats. Aerial photos should be used to map the limits of notable vegetation.
- Identification of potential view corridors
- Identification of the projected 100-year floodplain and floodway boundary as required by FEMA.
- A record check through Arizona State Museum (“ASM”) for archeological sites and identification of any sites or surveys
- The location and percentage of each proposed development to be preserved as conservation open space and the features to be protected including parcel size and minimum dimensions
- The location and percentage of each proposed development to be preserved as developed open space and the specific Recreation Areas, including amenities, parcel size and minimum dimensions.

4. Submit a Landscape Plan that includes – *Refer to Chapter 2.176.240 (C) of the PCDSC:*

- A Vegetation Salvage Plan
- Proposed treatment of all ground surfaces (paving, turf, gravel, grading, etc.)
- Extent and location of all plant materials and other landscape features.
- Extent of decorative design elements such as fountains, pools, benches, sculptures, planters, and similar elements.
- Location of Water Outlets.

5. Submit a report utilizing the Arizona Game and Fish ERT online review tool for Habitat and Riparian area identification.

Reviewed, Met, and/or addressed the following in Chapter 2.176 of the PCDSC:

- Minimum requirements for Open Space – (Section 130)
- Uses permitted within open space areas – (Section 140)
- Uses prohibited within open space areas – (Section 150)
- Minimum requirements for recreation areas – (Section 160)
- Minimum requirements for multi-use paths and trails – (Section 170)
- Minimum requirements for storm water retention & detention basins – (Section 180)
- Minimum requirements for streetscapes & entryways – (Section 190)
- Minimum requirements for conservation open space – (Section 200)

- Submit a Master Sign Plan** detailing the location and type of all proposed signage for the project. *(signage must be approved under separate permit, the PAD document cannot alter development standards for signs)*

- Submit a Preliminary Drainage Report***

- Submit a Preliminary Traffic Impact Assessment (TIA)*** (Your TIA must be approved prior to scheduling of your Public Hearing)

- Submit** a copy of a certified **A.L.T.A.** survey, including a legal description of the PAD boundary and legal descriptions of all zoning district boundaries

- Aware** that earth fissure maps are available online from the Arizona State Geologic Survey.

- Submit a list of all property owners within 600' (feet)** of the subject property boundary showing name, mailing address and tax parcel numbers. This list must be obtained within 30 days prior to application submission. A map showing the 600' boundary and parcels must be included as well (A Tax Assessor Parcel Map is Acceptable). - ***(This list is a separate list from the "Neighborhood/Community Meeting list of 1,200' however use Page 5 of this application).***

- Submit** separate preliminary reports or master plans for:
 - Storm water drainage
 - Wastewater & Domestic water service.

- Submit** additional materials required for specific types of commercial and industrial uses as follows *(as applicable)*:
 - Commercial Uses:**
 - Retail sales floor area and total area proposed for commercial development
 - Type of uses proposed
 - Industrial Uses**
 - Total Area proposed for industrial uses
 - Types of uses proposed
 - Anticipated employment for development per major phases
 - Standards of:**
 - Height
 - Open Space
 - Buffering

- Landscaping
- Pedestrian & Vehicular circulation
- off-street parking & Loading (the PAD document cannot alter minimum requirements for parking)
- Signs (the PAD document cannot alter the maximum amount of signage)
- Nuisance Controls

Complete and Submit the “Comprehensive Plan Compliance Checklist”

Non-Refundable filing fee for a Planned Area Development & Non-Refundable Public Works Fees

Submit one (1) hard copy of all documentation outlined in the PAD application and one **(1) digital copy** in a multi-PDF format per item of the application with all supporting documentation on **one (1) CD**. ****Your application can also be submitted digitally via email or FTP site please call or email the Planning Division for more information.**

Submit one (1) CD which contains:

- An ESRI shapefile for land use (conceptual) which shows all proposed zoning lines and zoning classifications for the project in NAD_1983_stateplan_arizona_central_fips_0202_intlfeet projection

OR

- An AutoCAD (.dwg file), which includes the following layers:
 - Parcel
 - Right-of-way
 - Sub-perimeter
 - Centerlines
 - Section Lines
 - Street names
 - Lot-numbers
 - Distances & Bearings tied by course and distance to two Pinal County survey control points or established city or county survey monuments.
(Information on these control points can be obtained from Public Works, Engineering Technicians at 520-866-6411).

Aware to Install Broadcast Notification Sign(s) on the site in conformance with the information shown in this application. *(See page 16 of this application for illustrative details).*

- Aware** that all newspaper advertising fees must be paid by the applicant in addition to application fees.

- Aware** that all public works fees are due at application submittal and for each subsequent submittal

- Aware** that on property owner notifications that exceed 30 mail outs the applicant will be responsible for **notice prep and postage**

- Aware** that this application will be submitted to AZGF Department for review and analysis with the ERT online review tool for Habitat and Riparian area identification.

- Signature at the end of the **“Checklist”** stating you have reviewed and addressed all areas within it.

I certify that I have submitted all the required information listed above, and I understand that this application for a Planned Area Development cannot be processed until all required information is submitted



Signature

Date

Properties within 1,200ft buffer from Midway I PAD

JAVORSKI PAUL A & CAROL A
3045 N WHISPERING WINDS R...
MARICOPA, AZ 85139

YOUNG CHARLES E & CONNIE ...
8628 S 16TH PL
PHOENIX, AZ 85040

SOLIS EMMA RODRIGUEZ TR
5730 N TALLY HO LN
CASA GRANDE, AZ 85122

PINAL COUNTY
PO BOX 827
FLORENCE, AZ 85132

CLB REAL PROPERTY HOLDIN...
1121 W WARNER RD STE 109
TEMPE, AZ 85284

PINAL COUNTY
PO BOX 827
FLORENCE, AZ 85132

CLB REAL PROPERTY HOLDIN...
1121 W WARNER RD STE 109
TEMPE, AZ 85284

ROBLES RODOLFO & SANTILLA...
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MIDWAY

PAD Amendment with Rezone: Project Narrative

Location: Northwest Corner of John Wayne Freeway (SR 347) and West Louis Johnson Drive
PZ-PD-006-21

Prepared :

February 26, 2021 - 1st Submittal
August 16, 2021 - 2nd Submittal
December 23, 2021 - 3rd Submittal
March 18, 2022 - Final Submittal

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Site Data

Project Location: Northwest Corner of John Wayne Freeway (SR 347) and West Louis Johnson Drive

Request:.....PAD Amendment with Rezone

General Plan Designation:.....Moderate Low Density Residential

Existing Zoning:.....CR-3 PAD, CR-4 PAD, CR-5 PAD, CB-1 PAD, and SR PAD
 Zoning Case PZ-PD-043-98

Proposed Zoning:.....R-7 PAD, MD PAD, MR PAD, C-1 PAD

Existing Use:Agricultural

Proposed Use:.....Master planned community
 Residential and non-residential uses

Gross Area:.....704.05 ac.

Net Area:.....673.2 ac.

Maximum Proposed Dwelling Units:.....2,934 Dwelling Units

Maximum Proposed Density:.....3.73-4.18 D.U./ ac.

Open Space:.....109.60 ac. (18%)





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Section 1: Introduction

1.1 Authority

This Planned Area Development (henceforth referred to as the “PAD”), including all Zoning Districts and Development standards herein, is enacted pursuant to the Pinal County Development Services Code (PCDSC) and is in conformance with the Pinal County Comprehensive Plan.

1.2 Vision

This request proposes a PAD amendment to PZ-PD-043-98 with rezone (henceforth referred to as the “Amendment” “Amendment Area” or “PAD”) to a portion of the Midway I master-planned PAD (henceforth referred to as “Midway I”) located within Pinal County (henceforth referred to as the “County”) (see **Exhibit 1: Regional Vicinity Map** and **Exhibit 2: Aerial Map**). The rezone and PAD Amendment for 704.05 gross acres (673.20 net acres) located at the northern-most point of Midway I (see **Exhibit 3: PAD Amendment Area**). Since its approval in 1998, Midway I has remained undeveloped (see **Exhibit 4: Existing Midway PADs**). Midway I is one of four separate PAD’s and unplanned land, that make up the larger Midway master planned area (henceforth referred to as “Midway”).

While the applicant intends to process an amendment for the entirety of Midway, the first step is to focus on the Amendment Area. Providing the level of detail required by the PAD Zoning District for the entirety of the +/- 3,500-acre Midway area is not pragmatic. The Amendment Area, due to its smaller size and current market conditions, is most viable for development and able to deliver the level of detail required to be submitted under the PAD Zoning District. Currently, Staff is working on Code updates that will allow the applicant to concentrate on the larger Midway area. This new zoning district will give the flexibility needed to respond to the everchanging market conditions and will provide resources to allow a master plan to be developed based on the needs of the region. Further, it will allow the applicant to create unified and cohesive character and framework that will guide the master plan over the course of its development cycle.

The Amendment Area originated with a plan for a mixed-use development featuring a range of low to high density housing options, two golf courses with driving range and clubhouse, several areas reserved for neighborhood commercial uses, employment uses, and land for open spaces. This PAD Amendment and rezone request will revise the existing planned uses to offer a diverse range of non-residential uses and residential housing opportunities with a variety of densities and product types for future residents.

1.3 Purpose

The purpose of this Amendment Area is to create an innovative community that results in a range of non-residential uses and diverse housing opportunities. The PAD overlay zoning district permits flexibility in the development standards of the underlying zones while encouraging imaginative and innovative planning of neighborhoods. The developer is committed to developing a quality community that will benefit the existing and future residents of Pinal County.

At this time, a PAD amendment to the Midway I PAD and rezone are requested in order to expedite the development of the 704.05 acres known as the Amendment Area. Approval of the request will result in creating a more sustainable and economically feasible project.

A PAD amendment for the remaining Midway I PAD (henceforth referred to as the “Amendment Area II”) will be submitted in the future and will determine how non-residential and residential uses will be distributed throughout Amendment Area II.

1.4 Description of Proposal

The Amendment Area consists of approximately 704.05 acres of the most northern portion of the Midway I PAD area. Currently the Amendment Area is entitled to allow 3,722 units; however, to ensure conformance with the County’s Comprehensive Plan designation of Moderate Low Density Residential 1-3.5 du/ac (see **Exhibit 5: Existing Comprehensive Plan**), the Amendment Area is proposing a total of 2,934 units (see **Exhibit 6: Surrounding Zoning Map** and **Exhibit 7: Conceptual Site Plan**). This is a reduction of 780 units. Conformance with Comprehensive Plan’s Key Concepts

This Amendment Area is in conformance with the Pinal County Comprehensive Plan designation of Moderate Low Density Residential (1-3.5 du/ac) (see **Exhibit 5: Existing Comprehensive Plan Map**). Per the Pinal County Comprehensive Plan, we are utilizing the provision to allow alternative land uses within the Moderate Low Density Residential land use designation. The proposed units are allocated into the permitted land use categories which include Moderate



Low Density Residential (1-3.5 du/ac), Medium Density Residential (3.5-8 du/ac), and High Density Residential (8-24 du/ac) (see **Exhibit 9: Proposed Density Comparison**). The proposed 2,934 units will be distributed as follows:

- Moderate Low Density Residential (1-3.5 du/ac): 2,180 units at 3.5 du/ac

Alternative Land Uses for Moderate Low Density Residential

Residential Land Use Categories:

- Moderate Low Density Residential (1-3.5 du/ac)
- Medium Density Residential (3.5-8 du/ac)
- High Density Residential (8-24 du/ac)

Medium Density Residential Uses

25 to 50 acres

- Allowed at the intersection of a proposed or existing principle arterial and a proposed or existing parkway or higher roadway classification, or
- Allowed as part of a 250 acre or larger master planned community

High Density Residential Uses

Up to 25 acres

- Allowed at the intersection of a proposed or existing principle arterials and a proposed or existing parkway or higher roadway classification, or
- Allowed as part of a 150 acre or larger master planned community with a land use transition to adjacent properties

Commercial Uses

Up to 25 acres

- Allowed anywhere (with consideration of compatibility with surrounding land uses)

Source: Pages 61-65 of the November 20, 2019 comprehensive plan

Table 1: Conformance with Alternative Land Uses for Moderate Low Density Residential					
Existing Midway I Parcels	Proposed Land Use	Acreage Requirement	Proposed Acreage	Proposed Units	Proposed Density
Parcels A-J & M-N	Medium Density Residential (1-3.5 DU/AC)	NA	620.58 AC	2,172 DU	3.5 DU/AC
Parcel K	Medium Density (3.5-8 DU/AC)	25 - 50 AC	39.45 AC	316 DU	8.0 DU/AC
	High Density Residential (8-24 DU/AC)	Up To 25 AC	20.02 AC	446 DU	22.3 DU/AC
Parcel L	Commercial	Up To 25 AC	24.00 AC	NA	

NOTE: see Exhibit 9 for graphic representation with additional information.



- Medium Density Residential (3.5-8 du/ac): 308 units at 8 du/ac
- High Density Residential (8-24 du/ac): 454 units at 24 du/ac

The Pinal County Comprehensive Plan includes specific criteria to ensure the implementation of the Comprehensive Plan. The following is a review of those criterion and a summary statement as to how each have been complied with to document the overall benefit and the improvement of the Pinal County Comprehensive Plan as required.

Criteria #1: The identified site is appropriate for the proposed use

The proposed Amendment Area is appropriate for the proposed uses, particularly the specific project, Midway, which is planned for the larger site. The property is generally flat, with prior disturbance from agricultural activities. The property has convenient access to interstates, highways, and parkways (I-8, I-84, SR 347, SR 84, the future I-11, and the future Val Vista Parkway) and is in reasonable proximity to nearby communities.

Criteria #2: The Amendment must constitute an overall improvement to the County

By approving this Amendment Area, the County will be improved. If developed as proposed, the Amendment Area will be a residential hub. This request logically plans the development of the residential land uses in an area that will maximize its potential impact for the County and to support the future planned uses that will be a part of a future PAD.

Criteria #3: The Amendment will not adversely impact a portion of, or the entire County, by:

a. significantly altering existing land use patterns, especially in established neighborhoods.

This request will not significantly alter existing land use patterns. The area is mostly undeveloped or agricultural; a land use pattern has not yet developed on or near the site. The Amendment Area request furthers the goals of the Comprehensive Plan.

b. significantly reducing the jobs per capita balance in Pinal County.

Approval of this Amendment Area will allow the development of residential uses in the Amendment Area. Ultimately, the Midway master-planned community will provide a logical placement for future commercial uses adjacent to or within the Mid-Intensity Activity Center and adjacent to the transportation corridors. This Amendment will not reduce jobs per capita as the Midway master planned community will ultimately result in the increase of the net employment development and job creation within the County.



c. replacing employment with residential uses.

This request does not replace any employment uses with residential uses; it simply is shifting the location of the commercial and employment uses closer to the Mid-Intensity Activity Center, outside of the Amendment Area. The Midway master-planned community, as a whole, will not be replacing employment with residential uses. The intent is to locate the residential and employment uses in the most appropriate areas.

d. placing new development away from existing or approved development if the new development overtaxes infrastructure systems and public services when considering: future contribution to infrastructure and services through construction and dedication of improvements, payment of development fees, and other mitigation measures.

The development in this Amendment Area will require significant new infrastructure systems. Midway will require the development of infrastructure and services which will be determined as the project moves forward into the entitlement and construction phases. New infrastructure and/or services will be provided as required by Pinal County.

e. negatively impacting the existing character (i.e., visual, physical, environmental and functional) of the immediate area.

Development in this area, once commenced, will set the character of the area through creation of a strong sense of visual identity for the community through carefully coordinated use of materials, color, and a plant palette that compliments the region. The design compliments the region and creates a community that has a contemporary feel with roots in the agricultural heritage of the site. The final development plans for the Amendment Area will be reviewed by Pinal County to ensure a balanced plan that promotes quality development and respects the environment in which the project is developed. Approval of this Amendment Area will establish character, not negatively impact it.

f. increasing the exposure of residential to aviation-generated noise, and/or flight operations.

This Amendment Area will not increase the exposure of residents to aviation-generated noise or operations. The proposed uses are residential in nature.



g. diminishing the environmental quality of the air, water, land, or cultural resources.

Any, and all development will comply with the most current applicable environmental standards then in effect, ensuring that there will be no negative impacts to the localized or larger County's environment.

h. significantly decreasing the quality or quantity of recreational amenities such as open space, parks and trails.

This Amendment Area does not modify any proposed future open space areas nor modify the County trails plans.

In summary, the request will be an overall improvement to the Pinal County Comprehensive Plan by shifting the commercial uses to be between two Regionally Significant Routes and along the future the West Pinal Freeway corridor and expanding residential uses to the project site. This approval will comply with the Vision of the Comprehensive Plan and will meet the applicable goals, objectives, policies, and planning guidelines.

1.5 Conformance with Development Agreement

The Amendment Area as described in this PAD is obligated to conform to the existing Midway I Development Agreement DOC 2016-004540.

1.6 Conflict

The County and Developer agree that the Developer is approved and permitted to carry out and complete the entire Development as described in this Amendment in accordance with the provisions set forth in this Amendment. (Should the Amendment fail to address a Code requirement then the following documents shall be used in the following order: Pinal County Comprehensive Plan; then, the Pinal County Development Services Code (PCDSC).) In the event of a conflict between the Amendment and the PCDSC, the Amendment shall prevail.



1.7 Amendments

Major or minor Amendments to the Amendment Area may be required as the project develops over time. These amendments will follow either the public hearing process or the administrative review process depending on their deviation from this intended and approved plan. Below are the following two types:

Major Amendment: Major amendments shall follow the County's procedures for a PAD Amendment process and be subject to a public hearing review for approval. Any deviation which substantially alters the intent of the Amendment Area or alters the overall design of the community.

Minor Amendment: Minor Amendments shall be processed administratively through the Community Development Department and shall maintain the intent of this PAD document. A letter of request defining the change with an accompanying exhibit, if required, shall be submitted to the Community Development Director for their review and approval.

It is the intent of this Amendment Area to ensure the project develops to a high community standard and provides the residents with active and passive open spaces, and a family friendly community. Amendments found to be compatible to this intent and in compliance with the County regulations shall be determined consistent with this Amendment Area and in line for approval.





Section 2: Site Conditions & Location

2.1 Regional Description

The Amendment Area is approximately 704.05 gross acres bounded to the north by agricultural land, to the east by John Wayne Parkway (SR 347), to the south by Louis Johnson Drive, and to the west by Green Road. Currently the Amendment Area is being utilized as an agricultural field with no habitable structures located on-site. The Amendment Area is surrounded by agricultural and undeveloped land. The remainder of Midway is located south of the Amendment Area.

The Amendment Area is situated approximately seven (7) miles south of the Maricopa-Casa Grande Highway, less than five (5) miles north of the SR 84, approximately ten (10) miles from the SR 84/Interstate 8 junction, and approximately twenty-one (21) miles west of downtown Casa Grande (see **Exhibit 1: Regional Vicinity Map**).

Situated to the west and south of the Amendment Area, is the Sonoran Desert National Monument. This park, dedicated in 2001 and placed under the authority of the Bureau of Land Management (BLM), includes nearly half a million acres of land. Within the park are various ranges and peaks, the nearest of which are the Table Top Mountains and the South Maricopa Mountains.

Native American tribal lands near the Amendment Area include the Ak-Chin and the Tohono O’odham Nations. The Maricopa (Ak-Chin) Indian Community is 22,000 acres of land located approximately 2 miles north of the northern edge of the Amendment Area. The property includes the Harrah’s Ak-Chin Casino and Resort and a large agricultural operation. The Tohono O’odham Nation is approximately 2.7 million acres located within Pinal and Pima Counties and is less than 20 miles from the southern boundary of the Midway Amendment Area.



2.2 Existing Site Conditions

2.2.1 Existing Conditions

The Amendment Area is located in an historically agricultural area. Topography and drainage of the Amendment Area have been altered to accommodate farming. There are no major drainage courses passing through the Amendment Area. John Wayne Highway passes through the center of the Amendment Area II along a north-south axis. An El Paso Gas pumping station is located within the area. El Paso Gas has three major transmission pipelines through Amendment Area II.

2.2.2 Existing Land Use

The property is currently being used for active farming operations. Given the agricultural use, there is no significant development on-site.

2.3 Existing Surrounding Uses, Zoning & Land Use

The surrounding properties are currently owned by a variety of holding companies, trusts, and/or private landowners. The surrounding properties currently are primarily undeveloped or used for agricultural purposes (see **Exhibit 6: Existing Surrounding Zoning Map**). Planned Area Development (PAD) zoning exists on the properties north and east of the Amendment Area. The property to the west is zoned General Rural Zone (GR). The property to the south, is the remainder of Midway which will be updated in the future to integrate with this proposed Amendment Area

Direction	Comprehensive Plan Land Use	Existing Zoning	Existing Use
Amendment Area	Moderate Low Density Residential (1-3.5 du/ac),	SR PAD, CR-3 PAD, CR-4 PAD, CR-5 PAD, CB-1 PAD,	Agricultural Land
North	Moderate Low Density Residential (1-3.5 du/ac)	CR-3 PAD, CB-2 PAD	Agricultural Land
South	Moderate Low Density Residential (1-3.5 du/ac), Portion of Mid Intensity Activity Center	CR-3 PAD, CB-1 PAD, CB-2 PAD	Agricultural Land
East	Moderate Low Density Residential (1-3.5 du/ac)	CR-3 PAD, CB-1 PAD, CB-2 PAD	Agricultural Land
West	Moderate Low Density Residential (1-3.5 du/ac)	GR	Agricultural Land



Table 3: Existing Midway I PAD - Existing Zoning

Land Use	Zoning	Gross AC	Units	Density
Moderate Low Density	CR-1	194 AC	194 DU	1.0 DU/AC
	CR-2	92 AC	258 DU	2.8 DU/AC
	CR-3	1,326 AC	7,426 DU	5.6 DU/AC
	CR-4	243 AC	2,097 DU	8.6 DU/AC
	CR-5	86 AC	1,298 DU	15.1 DU/AC
	CB-1	305 AC		
	CI-B	302 AC		
	SR	499 AC		
Activity Center	CR-3	129 AC	726 DU	5.6 DU/AC
	CR-4	20 AC	176 DU	8.8 DU/AC
	CR-5	96 AC	1,449 DU	15.1 DU/AC
	CB-1	152 AC		
	CI-B	56 AC		
	SR	40 AC		
Existing Midway I PAD Total		* 3,544 AC	* 13,622 DU	3.8 DU/AC
* This table reflects the values shown in Table II-4 of the existing Midway I PAD but contains an incorrect summary in the acreage and unit count totals. The correct totals should read as 3,540 AC and 13,624 Units.				

As stated in **Section 1.2 Vision**, the current Amendment Area is just one part of the much larger Midway I PAD. The Amendment Area is the first step in addressing the Midway area while Staff continues work on Code updates that will allow the applicant to concentrate on the larger Midway area. The proposed changes sets the tone of the area through density, visual character, and creates the initial sense of place in the area that currently is and has been agricultural.



2.4 Existing Entitlements and Proposed Amendment

2.4.1 Site Entitlements

This Amendment Area request is for 704.05 gross acres located at the northern-most point of existing Midway I and located within Pinal County (see **Exhibit 3: PAD Amendment Area**). Since its approval in 1998, Midway I has remained undeveloped. Midway I is one of four separate PADs and unplanned land, that make up the larger Midway master-planned area (see **Exhibit 4: Existing Midway PADs**).

Consisting of 3,540 acres (originally totaled as 3,544 acres which was an incorrect total of all parcels), Midway was originally approved in 1998 and was planned as a mixed-use community centered around two 18-hole championship golf courses and a minor job center. Fifty-nine (59) planning areas were designated to accommodate the envisioned development of the PAD development site. Midway planned for 2,188 acres of residential development (13,624 allowed units, or 3.8 du/ac which was originally incorrectly totaled as 13,622 dwelling units), 816 acres of non-residential development and approximately 670 acres of open space. Today, the applicant is requesting an Amendment and rezone that would replace the zoning to properly designate the Amendment Area land for a mixture of residential products and densities (see **Exhibit 10: Existing and Proposed Zoning Map**).

Comprehensive Plan Amendment PZ-PA-003-20, approved in August 2020, designated the Amendment Area as Moderate Low Density Residential (1-3.5 du/ac).

The proposed Amendment Area is intended to set the tone and character for the revised design to better correlate to the current market trends since it has been twenty-three years since the previous Midway I approval. The proposed Amendment Area implements a more waterwise and water efficient design through the removal of high water use elements such as golf courses and lakes for an alternative design that will create a more pedestrian focused community. The following tables detail the existing and proposed density for the Amendment Area.



Table 4: Midway I PAD Amendment Area - Comparison

Existing					Proposed				
Land Use	Zoning	Gross AC	Units	Density	Land Use	Zoning	Gross AC	Units	Density
Moderate Low Density	CR-3	303 AC	1,700 DU	5.6 DU/AC	Moderate Low Density	R-7	620.58 AC	2,172 DU	3.5 DU/AC
	CR-4	153 AC	1,317 DU	8.6 DU/AC		MD	39.45 AC	316 DU	8.0 DU/AC
	CR-5	47 AC	705 DU	15.0 DU/AC		MR	20.02 AC	446 DU	22.3 DU/AC
	CB-1	129 AC				C-1	24.00 AC		
	SR	208 AC							
PAD Amendment Area Total		*840 AC	3,722 DU	4.4 DU/AC			**704.05 AC	2,934 DU	4.2 DU/AC

Note: Proposed acreage varies from existing acreage due to discrepancies within existing Midway I PAD.

*Existing table data per Midway I PAD narrative - Table II-1 (PZS-PD-043-98)

**Per survey and legal descriptions.

Table 5: Midway I PAD Amendment Area - Proposed Density

Land Use	Zoning	Gross AC	Units	Allowed Density	Proposed Density
Moderate Low Density	R-7	620.58 AC	2,172 DU	3.5 DU	3.5 DU/AC
	MD	39.45 AC	316 DU	3.5-8 DU	8.0 DU/AC
	MR	20.02 AC	446 DU	8-24 DU	22.3 DU/AC
	C-1	24.00 AC			
PAD Amendment Area Total		704.05 AC	2,934 DU		4.2 DU/AC





Section 3: Proposed Zoning & Development Standards

3.1 Permitted Uses

3.1.1 Single Residence (R-7)

The following uses and their accessory buildings and uses are permitted subject to all regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter.

- a. One dwelling, conventional construction.
- b. Child care (no more than five children for whom compensation is received).
- c. Church, subject to the requirements set forth in PCDSC 2.150.220.
- d. Government structures, fire district stations, sheriff's facilities and their accessory uses.
- e. Group home, subject to the requirements set forth in PCDSC 2.150.200.
- f. Guest house/casita, subject to the requirements set forth in PCDSC 2.150.240.
- g. Home occupation, subject to the requirements set forth in PCDSC 2.150.260.
- h. Parks.
- i. Public schools.
- j. Solar energy device, subject to the requirements set forth in chapter 2.210 PCDSC.
- k. Some uses are allowed in all zoning districts based on statutory exemptions (see PCDSC 2.05.050) or because a governmental entity or governmental agency is performing a governmental function.
- l. Senior centers, community centers, and assembly halls.

[\(Ord. No. 011812-ZO-PZ-C-007-10 , § 36\)](#)

3.1.1.1 Special uses.

The following uses and their accessory buildings and uses are permitted subject to obtaining approval of a special use permit as set forth in PCDSC 2.151.010 and the general regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter. Special uses that are not listed are prohibited.

- a. Beauty salon or barbershop.
- b. Child care (more than five children for whom compensation is received).
- c. Clubs, lodges, and assembly halls.
- d. Golf course, subject to the requirements set forth in PCDSC 2.150.230.
- e. Group home of 11 or more residents or assisted living center.
- f. Private school.
- g. Wireless communication facility.

[\(Ord. No. 011812-ZO-PZ-C-007-10 , § 36\)](#)

Table 7: Single Residence Development Standards - R-7 PAD

Development Standards	Category A		Category B		Category C	
	County Code	Proposed	County Code	Proposed	County Code	Proposed
Minimum Lot Area	7,000 sf	7,500 sf	7,000 sf	6,000 sf	7,000 sf	5,175 sf
Minimum Lot Width	50'	50'	50'	50'	50'	45'
Minimum Front Yard Setback	20'	20' to garage, 10' to arch	20'	20' to garage, 10' to arch	20'	20' to garage, 10' to arch
Minimum Side Yard Setback	10'	5', 10' total	10'	5', 10' total	10'	5', 10' total
Minimum Rear Yard Setback	25'	20' single-story, 25' two-story	25'	20' single-story, 25' two-story	25'	15' single-story, 20' two-story
Minimum Distance Between Buildings	7'	7'	7'	7'	7'	7'
Maximum Building Height	30'	30'	30'	30'	30'	30'
Maximum Lot Coverage	-	75%	-	75%	-	75%



3.1.2 Mixed Dwelling Zoning District (MD)

The following uses and their accessory buildings and uses are permitted subject to all regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter:

- a. One dwelling, conventional construction.
- b. Single-family attached (townhouse).
- c. Duplex or triplex dwelling.
- d. Multifamily dwelling for not more than four families.
- e. Child care (no more than five children for whom compensation is received).
- f. Church, subject to the requirements set forth in PCDSC 2.150.220.
- g. Government structures, fire district stations, sheriff's facilities and their accessory uses.
- h. Group home, subject to the requirements set forth in PCDSC 2.150.200.
- i. Guest house/casita, subject to the requirements set forth in PCDSC 2.150.240.
- j. Home occupation, subject to the requirements set forth in PCDSC 2.150.260.
- k. Parks.
- l. Public schools.
- m. Solar energy device, subject to the requirements set forth in chapter 2.210 PCDSC.
- n. Some uses are allowed in all zoning districts based on statutory exemptions (see PCDSC 2.05.050) or because a governmental entity or governmental agency is performing a governmental function.
- o. Model complex with sales office – with a temporary use permit.

[\(Ord. No. 011812-ZO-PZ-C-007-10, § 37\)](#)

3.1.2.1 Special uses.

The following uses and their accessory buildings and uses are permitted subject to obtaining approval of a special use permit as set forth in PCDSC 2.151.010 and the general regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter. Special uses that are not listed are prohibited.

- a. Beauty salon or barbershop.
- b. Bed and breakfast, subject to the requirements set forth in PCDSC 2.150.210.
- c. Child care (more than five children for whom compensation is received).
- d. Clubs, lodges, and assembly halls.
- e. Golf course, subject to the requirements set forth in PCDSC 2.150.230.
- f. Group home of 11 or more residents or assisted living center.
- g. Clubs, lodges, sorority/fraternal halls, senior centers and community centers.
- h. Private school.
- i. Wireless communication facility.

[\(Ord. No. 011812-ZO-PZ-C-007-10, § 37\)](#)



Table 8: Mixed Dwelling Development Standards - MD PAD

Development Standards	Category A (Detached)		Category B (Attached)		Category C (Condo)	
	County Code	Proposed	County Code	Proposed	County Code	Proposed
Minimum Lot Area/DU	7,000 sf	3,500 sf	3,500 sf	2,400 sf	7,000 sf, 1,750 sf	7,000 sf, 1,750 sf
Minimum Lot Width	50'	40'	25'	20'	50'	-
Minimum Front Yard Setback	20'	4'	20'	4'	20'	4'
Garage Setback	-	3'-5' or 20'+ from garage face to street, alley, stub street, or vehicular courtyard property line	-	3'-5' or 20'+ from garage face to street, alley, stub street, or vehicular courtyard property line	-	3'-5' or 20'+ from garage face to street, alley, stub street, or vehicular courtyard property line
Minimum Side Yard Setback	10'	0' attached, 10 detached'	0' attached, 10 detached'	0' attached, 10 detached'	10'	0'
Minimum Rear Yard Setback	25'	5'	25'	5'	25'	5'
Minimum Distance Between Buildings	-	-	20'	20'	20'	20'
Maximum Building Height	30'	45'	30'	45'	30'	45'
Maximum Lot Coverage	-	100%	-	100%	-	100%



3.1.3 Multiple Residence Zoning District (MR)

The following uses and their accessory buildings and uses are permitted subject to all regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter:

- a. Multiple dwelling for any number of families.
- b. Assisted living center.
- c. Church, subject to the requirements set forth in PCDSC 2.150.220.
- d. Government structures, fire district stations, sheriff's facilities and their accessory uses.
- e. Group home, subject to the requirements set forth in PCDSC 2.150.200.
- f. Home occupation, subject to the requirements set forth in PCDSC 2.150.260.
- g. Parks.
- h. Public schools.
- i. Solar energy device, subject to the requirements set forth in chapter 2.210 PCDSC.
- j. Some uses are allowed in all zoning districts based on statutory exemptions (see PCDSC 2.05.050) or because a governmental entity or governmental agency is performing a governmental function.

[\(Ord. No. 011812-ZO-PZ-C-007-10 , § 38\)](#)

3.1.3.1 Special uses.

The following uses and their accessory buildings and uses are permitted subject to obtaining approval of a special use permit as set forth in PCDSC 2.151.010 and the general regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter. Special uses that are not listed are prohibited.

- a. Child care.
- b. Clubs, lodges, and assembly halls.
- c. Golf course, subject to the requirements set forth in PCDSC 2.150.230.
- d. Private schools.
- e. Wireless communication facility.

[\(Ord. No. 011812-ZO-PZ-C-007-10 , § 38\)](#)



Table 9: Multiple Residence Development Standards - MR PAD

Development Standards	Category A	
	County Code	Proposed
Minimum Lot Area/DU	7,000 sf, 1,750 sf	7,000 sf, 1,750 sf
Minimum Lot Width	50'	50'
Minimum Front Yard Setback	25'	20'
Minimum Side Yard Setback	10'	10'
Minimum Rear Yard Setback	25'	20'
Minimum Distance Between Buildings	20'	20'
Maximum Building Height	36'	45',
		10' step back at 3rd story



3.1.4 Neighborhood Commercial Zoning District (C-1)

The following uses and their accessory buildings and uses are permitted subject to all regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter:

- a. Assisted living center.
- b. Child care center.
- c. Church, subject to the requirements set forth in PCDSC 2.150.220.
- d. College and art, business, technical, or trade schools.
- e. Community service agency, library or museum.
- f. Government structures, fire district stations, sheriff's facilities, and their accessory uses.
- g. Health club or fitness center.
- h. Offices.
- i. Parks.
- j. Private club or lodge, fraternal and service organizations (nonprofit).
- k. Private schools.
- l. Restaurant. This allows the following:
 1. Indoor food service with or without alcoholic beverage service at the table;
 2. Outdoor food service without alcoholic beverage service; and
 3. Drive-through service for food and nonalcoholic beverages only.
- m. Retail sales establishments up to 75,000 gross square feet for any single use.
- n. Self-storage facility.
 1. The maximum site area shall not exceed three acres;
 2. All access to the facility shall be from arterial or collector streets;
 3. All access lanes within the facility shall be of paved or concrete surface;
 4. There shall be a landscaped buffer setback with a minimum six-foot or maximum eight-foot decorative masonry wall;
 5. There shall be no razor or barbed wire;
 6. The facility shall be single story with a maximum height of 19 feet;
 7. The light source of any outdoor security lighting shall not be visible from adjoining residential properties; and
 8. All storage shall be in an enclosed building;
- o. Service establishments up to 50,000 gross square feet for any single use.
- p. One dwelling unit, conventional construction, as an accessory to an established use.
- q. Some uses are allowed in all zoning districts based on statutory exemptions (see PCDSC 2.05.050) or because a governmental entity or governmental agency is performing a governmental function.

[\(Ord. No. 011812-ZO-PZ-C-007-10 , § 44\)](#)



Special uses.

The following uses and their accessory buildings and uses are permitted subject to obtaining approval of a special use permit as set forth in PCDSC 2.151.010 and the general regulations of this title, including, but not limited to, chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards in this chapter. Special uses that are not listed are prohibited.

- a. Medical or dental clinic or health care facility.
- b. Motel or hotel with accessory uses, including restaurant, incidental retail sales and services, personal services and recreational facilities.
- c. Retail sales establishments up to 100,000 gross square feet for any single use.
- d. Restaurant. This allows the following:
 1. Indoor and outdoor food service with or without alcoholic beverage service at the table;
 2. Indoor live entertainment; and
 3. Drive-through food service for food and nonalcoholic beverages only.
- e. Service establishments up to 100,000 gross square feet for any single use.
- f. Wireless communication facility.

[\(Ord. No. 011812-ZO-PZ-C-007-10 , § 44\)](#)

Table 10: Commercial Development Standards - C-1 PAD				
Development Standards	Category A		Category B	
	County Code	Proposed	County Code	Proposed
Minimum Lot Area/DU	-	-	-	-
Minimum Lot Width	-	-	-	-
Minimum Front Yard Setback	20'	10'	20'	5'
Minimum Side Yard Setback	0', 15' when adjacent to residential, 7' for detached accessory dwelling	0', 10' when adjacent to residential	0', 15' when adjacent to residential, 7' for detached accessory dwelling	15'
Minimum Rear Yard Setback	25'	20'	25'	15'
Minimum Distance Between Buildings	20'	20'	20'	15'
Maximum Building Height	30'	80'	30'	45'
Maximum Lot Coverage	-	100%	-	80%
Landscape Buffer	-	20' ¹	-	20' ¹

1. 20' Landscape buffer shall be provided adjacent to Residential areas. Paseos or other landscape areas that occur on Residential property may count towards required buffers.

3.1.5 Landscape Buffers

20' landscape buffers shall be provided adjacent to Residential areas. Paseos that occur on Residential property may count toward required buffers.





Section 4: Infrastructure & Services

4.1 Circulation

4.1.1 Roadways and Traffic

The layout of traffic corridors within the Amendment Area is specifically designated to unite residential, recreational, and non-residential areas into a coherent system. This circulation system is planned to enhance visual continuity while allowing for aesthetic diversity (see **Exhibit 11: Street Network**).

4.1.1.1 Vehicular

The primary access points into the Amendment Area will be from John Wayne Freeway (SR-347) a 200' parkway. Secondary access points will be located along Green Road, a 110' minor arterial, and Louis Johnson Drive, a 150' major arterial. The main roads joining all entries into the development will consist of major collector streets. An 83' major collector connects to the primary access points along SR-347 and Green Road, while a 79' major collector connects at the Louis Johnson Drive access points. These major collector streets are linked to 66' minor collector streets that tie into local streets that serve the smaller neighborhoods (see **Exhibit 12: Street Sections**).

4.1.1.2 Pedestrian

Pedestrian access is provided throughout the residential development as well as to the non-residential developments. The major collector streets will have a 6' sidewalk. The minor collector streets will have 5' sidewalks where appropriate. Concrete trails with a 5' width will be provided to connect residents to open spaces and a 5' perimeter trail will be provided around the perimeter of the Amendment Area. Residents will be connected to the proposed park, school, and commercial parcels through 6' sidewalks (see **Exhibit 13: Conceptual Circulation and Trails Plan**).

4.1.2 Regionally Significant Routes for Safety and Mobility Compliance

The Amendment Area has six access points: two on Green Road, two on Louis Johnson Drive, and two on John Wayne Freeway (SR-347). Louis Johnson Drive and SR-347 are designated as Regionally Significant Routes and will be consistent with the requirements of the RSRSM Manual. SR-347 is designated as a Parkway, while Louis Johnson Drive is designated as an Arterial.

4.2 Grading & Drainage

4.2.1 Grading Concept

In existing conditions, the Amendment Area slopes to the northeast at an approximate slope of 0.4%. In proposed conditions, the Amendment Area will be graded to ensure all proposed structures are protected during the 100-year storm. Onsite grading will ensure that positive drainage is maintained across the site, draining runoff generated onsite to retention basins via surface flow. Offsite runoff approaching the Amendment Area will be routed around the Amendment Area in engineered channels which will outfall at Amendment Area's northeastern corner, as in existing conditions. All proposed structures will be provided with a minimum of one-foot of freeboard from the peak 100-year water surface elevation in adjacent channels and basins. **See Exhibit 14: Conceptual Trail Sections 1-3 and Exhibit 15: Conceptual Trail Sections 4-5** for sections detailing the treatment of the drainage channel and its relationship to the perimeter trail.

4.2.2 FEMA Floodplain Designation

Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) coverage for the Amendment Area is provided on FIRM panel 04021C1125E (FEMA, December 4, 2007). According to this FIRM the Amendment Area resides entirely within flood hazard Zone X. FEMA defines Zone X as follows:

Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.

The FEMA FIRM panel and the Amendment Area boundary are shown on the FEMA Flood Map (see **Appendix 1: FEMA Flood Map**).



4.2.3 Existing Drainage Patterns

4.2.3.1 Offsite

The Amendment Area and surrounding space currently consists of active agricultural land, generally sloping to the northeast at an approximate slope of 0.4%. During large storm events, the Amendment Area is impacted by localized offsite flows generated by active agricultural fields to the south and west. The localized offsite runoff approaches the southern and western boundaries largely within existing drainage ways and via sheet flow. More specifically, the offsite runoff approaches the Amendment Area's southeastern, southwestern, and northwestern corners within existing drainage infrastructure along Highway 347, Green Road, and Teel Road, respectively.

In addition to the localized offsite runoff, regional offsite runoff approaches the Amendment Area from the south and west in the form of breakout flows from the Santa Rosa Canal. This runoff mingles with the localized offsite runoff both as sheet flow and within existing drainage ways before reaching the southern and western boundaries, concentrating within the existing drainage infrastructure mentioned above.

4.2.3.2 Onsite

The Amendment Area is currently comprised of active agricultural land. Under existing conditions, stormwater runoff produced within the Amendment Area boundaries is routed northeast via sheet flow and irrigation ditches, ultimately concentrating at the Amendment Area's northeastern corner where it combines with the offsite runoff within the Highway 347 Channel. Upon entering the Highway 347 Channel, the combined onsite and offsite runoff exits the Amendment Area boundaries and continues north within the Highway 347 Channel.

4.2.4 Proposed Offsite Drainage Management

The proposed offsite drainage system will be designed to maintain the historic flow patterns in and around the site, utilizing the existing drainage infrastructure wherever possible, and conveying only the flows historically maintained within Amendment Area boundaries. The primary offsite management strategy for the Amendment Area will consist of channels, which will be designed along Amendment Area boundaries, where required. The offsite management system will route offsite runoff safely through and around the Amendment Area to its existing ultimate outfall within the Highway 347 Channel at the Amendment Area's northeastern corner. The offsite drainage management system will be designed in such a way to ensure historic drainage patterns are maintained in and around the Amendment Area.



4.2.5 Proposed Onsite Drainage Management

The proposed grading and drainage improvements will allow runoff generated within Amendment Area boundaries to be conveyed to and captured by retention basins via street flow, and if necessary, storm drain. The onsite retention basins are anticipated to be sized to accommodate the design storm runoff volume produced by the tributary drainage area at a minimum, in accordance with Pinal County design policy. The precise geometry and ultimate locations of the retention basins will be refined and adapted as the development process proceeds. Onsite retention requirements will be determined on a parcel by parcel basis as development proceeds towards final design.

The ultimate outfall is established at the Amendment Area’s northeastern corner for storm events which exceed the 100-year design storm.

4.2.6 Finished Floors

In order to protect proposed lots and buildings during the 100-year storm event, finished floor elevations will be set a minimum of 12 inches above the 100-year flow outfall elevation and 12 inches above water surface elevations of adjacent drainage ways. Lots adjacent to retention basins will be set a minimum 14 inches above the basin high water elevations. Furthermore, finished floor elevations will be set 14 inches above the low site outfall for the site and 6 inches above the high side outfall for the site, per the County’s adopted design standards.



4.3 Utilities & Services

4.3.1 Water

Midway is located south of the current Global Water Santa Cruz Water Company (GW-SCWC) service area and the Global Water Palo Verde Utilities Company (GW-PVUC) Certificate of Convenience and Necessity (CCN) for water service. It is anticipated that the entire Midway property will be included in the GW-SCWC and GW-PVUC CCN at buildout. Upon inclusion into the GW-SCWC, the Midway property will be serviced under the SCWC's existing Southwest Service Area (SWSA) and SCWC's existing Designation of Assured Water Supply (DAWS). Current water supply, treatment, storage, and pumping infrastructure within the area includes the Terrazo Water Distribution Center (WDC) and the Amarillo Creek East Well and it is anticipated that Midway will be served by the Terrazo WDC. Currently, the GW-SCWC SWSA has well production capacity of 2,100 gpm, 2.5 million gallons of storage, and 3,800 gpm of booster pumping capacity with no active connections. Existing water transmission and distribution mains within the vicinity include a 16-inch water main along Green Road along the western boundary of Midway, as well as a 24-inch transmission main in Louis Johnson Drive that distributes water away from the Terrazo WDC. It is anticipated that connections for Midway will be made to this existing 16-inch water main, with 8-inch, 12-inch, and 16-inch water mains providing the onsite and offsite backbone water infrastructure for the development. 24-inch and 16-inch water mains also exist within Amarillo Valley Road approximately one-half mile west of Midway.

4.3.2 Wastewater

Midway is generally located south of the current Global Water Santa Cruz Water Company (GW-SCWC) and the Global Water Palo Verde Utilities Company (GW-PVUC) Certificate of Convenience and Necessity (CCN) for sewer service. At buildout, it is anticipated that the entire Midway property will be included in the GW-SCWC service area and the GW-PVUC CCN. Upon inclusion into the GW-PVUC, the Midway property will be serviced under the PVUC's existing Southwest Service Area (SWSA). Current wastewater treatment infrastructure to serve the SWSA includes the Southwest Water Reclamation Facility Campus 2 (SW-WRF-2) located approximately two miles north of Midway at the southwest corner of Green Road and the Peters and Nall Road alignment. The SW-WRF-2 is fitted with a 1 MGD Single Batch Reactor (SBR) and produces Class A+ treated effluent. The SW-WRF-2 currently has no active connections.

Existing wastewater collection system infrastructure in the vicinity consists of a 48-inch sewer main along Green Road from the SW-WRF-2 plant south to Papago Road. A 42-inch sewer main continues south from Papago Road to Val Vista Road. Improvements to serve Midway includes continuing this 42-inch sewer main south to Teel Road at the northwest corner of

the site. Onsite sewer main sizing and alignments will be determined during preliminary and final design. However, it is anticipated that sewer mains ranging from 8-inches to 15-inches in diameter will be required to serve the development.

Treated wastewater in the SWSA is anticipated to be reused for common area irrigation and/or recharged for recovery through permitted recharge and recovery facilities. The treated effluent will meet ADEQ A+ reclaimed water standards and be pumped back to the SWSA through dedicated non-potable reclaimed water mains. Reclaimed water that is supplied to dedicated reclaimed water retention structures will be owned and operated by the landowner and metered at the outfall. Existing reclaimed water infrastructure includes a 24-inch reclaimed water main in Green Road from the SW-WRF-2 south to Val Vista Road. This reclaimed water main will need to be extended south along Green Road from Val Vista Road to the northwest corner of the development at Teel Road. Onsite reclaimed water main sizing and alignments will be determined during preliminary and final design. It is anticipated that a 16-inch reclaimed water main will be required to serve the development.

4.3.3 Electric

Electric service for the Amendment Area is anticipated to be provided by Electrical District Number 3 (ED3).

4.3.4 Telephone & Cable Television

Century Link and Cox Communications can offer cable television, digital telephone, and data service to the Amendment Area.

4.3.5 Natural Gas

This Amendment Area is within the service area of Southwest Gas Corporation.

4.3.6 Fire & Emergency Response

Efforts are being coordinated with Rural Metro Fire and Emergency Services to provide fire protection and emergency services to the Amendment Area.

4.3.7 Solid Waste Disposal

There are multiple options for private solid waste disposal service providers. As the project moves forward in the development process, the developer will determine the provider and contract those services at that time.



4.4 Maintenance of Streets and Common Areas

The streets within the Amendment Area will be both public and private. Public streets will be constructed in accordance with Pinal County minimum standards within right-of-way dedicated to the public. Pinal County will be responsible for maintenance of the public streets. Private streets will be constructed in accordance with design standards established by Pinal County and this Amendment Area and will be maintained by the HOA.

4.5 Public Services/Community Service

4.5.1 Schools

Stanfield Elementary School District serves the Amendment Area for kindergarten through grade eight (8). Casa Grande Union High School District services the Amendment Area for high school students. The developer will actively work with the school districts to ascertain the needs of both districts.

4.5.1.1 Libraries and Community Centers

The scale of the Amendment Area does not warrant the need to provide a library or community center internal to the Amendment Area. Two libraries are located within 10 miles of the Amendment Area, Maricopa Public Library and Ak-Chin Community Library.



Table 11: Utility Service Provider Table			
Service	Provider	Contact Number	Website
Sewer	Global Water - Santa Cruz Water Company	480-360-7775	https://www.gwresources.com
	Global Water - Palo Verde Utilities Company	480-360-7775	https://www.gwresources.com
Water	Global Water - Santa Cruz Water Company	480-360-7775	https://www.gwresources.com
	Global Water - Palo Verde Utilities Company	480-360-7775	https://www.gwresources.com
Electric	Electrical District Number 3 (ED3)	520-424-9021	https://www.ed3online.org/
Telephone	Cox Communications	1-800-234-3993	https://www.cox.com
	Century Link	855-891-4083	https://www.centurylink.com
Fire and Emergency Response	Rural Metro Fire and Emergency Services	520-297-3600	https://www.ruralmetrofire.com/pima-county-home.html
Schools	K-8th Grade - Stanfield Elementary School District	520-424-0221	https://stanfieldaz.schoolinsites.com/
	Casa Grande Union High School District	520-316-3360	https://cvhs.cguhsd.org/casagrandeunionhighschooldistrict_home.aspx
Solid Waste Disposal	TBD - possible providers listed below:		
	Right Away Disposal (RAD)	480-983-9100	https://www.rightawaydisposal.com/
	Waste Management	855-826-1254	https://www.wm.com
Natural Gas	Southwest Gas Corporation	877-860-6020	https://www.swgas.com/





Section 5: Residential Architecture

5.1 Character

5.1.1 Single-Family

Residential development within the Amendment Area will respond to future needs of the community by providing residential products that are characterized by high-quality, diverse housing options. Both single-family detached and attached may be proposed on the Amendment Area within the appropriate zoning districts. Given the size of the Amendment Area, providing a variety of housing products interconnected by a logical system of tree-lined walkable streets, open space, and amenity areas is important in creating a balanced community. Developers of single-family residential communities shall adhere to the following standards:

- Each builder should provide a distinct design character compatible with the overall design and development of the Amendment Area;
- No adjacent home or home directly across the street shall have the same floor plan and elevation;
- Homebuilders shall provide a variety of distinct floor plans and elevations and differing color schemes for each designated neighborhood;
- All garage door faces located on the front half of the lot and facing the street, shall have a surface design in relief and/or windows;
- Homebuilders shall utilize four-sided architecture when architecture is visible from public view;
- Homebuilders shall use materials, color, and other architectural treatments to create visual interest, continuity, and an identifiable character that complement each other without utilizing bright obtrusive colors;
- Homebuilders shall provide a variety of roof forms and ridge lines.



5.1.2 Multifamily

Multifamily housing options will help to diversify the market. Buildings should incorporate human-scale elements at the ground level to create an appealing and inviting street scene. The building elevations should have a sense of uniformity and complement each other without being repetitive. Building materials and colors should be kept simple and consistent throughout the Amendment Area. Each builder shall prepare color and material palettes for each of the architectural styles that will be utilized within each neighborhood. Multifamily products should include a variety of the following architectural design elements:

- Variation of wall planes, rooflines and building form;
- High quality and durable building materials and accents, such as metals, stone, brick and cementitious siding;
- Creative use of finishes that add visual depth and texture;
- Architectural features such as decorative moldings, awnings, windows, shutters, dormers, chimneys, balconies and railings;
- Broad roof overhangs;
- Architectural elements such as fenestrations and recessed planes;
- Roof height, pitch, ridgelines and roof materials should be varied;
- Creative and appropriate use of color;
- Bays or alcoves at pedestrian level;
- Bay windows or deep recessed windows;
- Projected or recessed patios or balconies;
- Architecturally designed building lighting;
- Divided light windows.



5.1.3 Architectural Styles

A variety of architectural styles is one of the key elements necessary for a diverse community. The architectural character of the residences must have details and materials that are authentic to the architectural style being portrayed. Architectural styles included in this Section are described to include details of key design features that aesthetically define the character of each building style. Each style is supported by character images to aid in defining the intent and application of the design features described. The architectural styles selected for the Amendment Area were chosen for their timelessness in style and quality of detail; however, this list is not meant to be exhaustive. Additional styles may be appropriate and subject to approval by Pinal County.

- Spanish
- Craftsman
- Mediterranean
- Mission
- Modern Farmhouse
- Modern Prairie
- Western Contemporary
- Mid Century Modern
- Traditional Ranch





Section 6: Landscape & Open Space

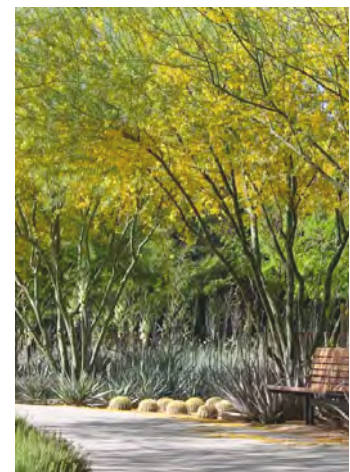
6.1 Landscape Concept

The landscape theme for the Amendment Area has been developed to provide walking trails and common area amenities while being low maintenance and maintaining the aesthetic of the community. Landscaping will be consistent with other communities in Pinal County and nearby City of Maricopa and will utilize the native, non-native, and low water use/drought tolerant plants where reclaimed water is not being utilized (see **Exhibit 16: Conceptual Landscape Plan**).

The landscape concept strengthens the overall community theme and provides for a controlled transition between planned and indigenous open space areas. The landscape concept elements include circulation, open space and recreation, and design guidelines. Character areas within the landscape have been illustrated, see **Exhibit 17: Conceptual Landscape Character**.

The landscape guidelines are to be used by Pinal County and developers as a means of achieve the following project goals:

- Ensure that landscape design considerations include reclaimed water consumption and erosion control measures.
- Enhance site improvements within view corridors on and off-site.
- Define specific plan materials in varying combinations to achieve a cohesive community identity.
- Utilize plan materials to visually identify and delineate development areas while blending them into the overall visual environment.



6.2 Open Space and Parks

The Amendment Area will provide residents with a quality environment as well as a range of self-contained recreational activities. The intent is to provide future residents with a variety of recreational opportunities. A variety of active recreational facilities will be developed, ranging from small neighborhood pocket parks to larger neighborhood parks. If needed, school playgrounds and athletic fields, when not servicing education needs, will be available to community residents for passive or organized use. Recreation areas will provide linkages between communities, school/park areas, and non-residential areas through pedestrian and bicycle corridors. Besides providing human interaction, recreation and open space areas will provide physical separation, buffer zones, and transitions between areas of urbanization.

6.2.1 Recreational Amenities

The Open Space and Recreation Plan ("OSRP") for Midway has been designed to provide a balance of both active and passive open space and recreation areas. The open space provided will comply with the required 18% through thoughtful design and connectivity. Open space areas that serve as retention are designed to add to the community and provide additional areas for both play and respite (see **Exhibit 18: Open Space Plan**).

6.2.2 Developed Open Space

The developed open space for the Amendment Area consists of both active and passive recreation areas. Open space amenities will be designed and developed in accordance with the guidelines of the OSRAM in mind. All open space areas will be owned and maintained by respective homeowner's associations. The final location, size, and timing of the proposed school site will be determined as discussions continue with the relevant school districts. The following guidelines will be implemented for developed open space areas:

- Stormwater retention areas have been designed to appear as natural as possible with meandering edges, gradual grade changes, and varying side slopes.
- Storm water retention areas have been located in visible and accessible areas throughout the community.
- Enhanced landscape areas have been provided on both sides of the collector streets at the community entrances in order to create a sense of arrival.

6.2.3 Conservation Open Space

The property has been used for agricultural purposes for many years and is essentially flat farm ground. Consequently, it does not have sensitive resource areas that merit conservation as natural open space.

6.2.4 Neighborhood Park

An approximately 9.87-acre neighborhood park is centrally located within the Amendment Area and encourages outside activity and a healthy community. The neighborhood park serves as a focal point within the community given its size and proximity to the proposed school site. This open space area provides for larger scale recreation such as sport games, community event, and offers the possibility of a school partnership as well. Development of this park will include several amenities in accordance with OSRAM suggestions, including, but not limited to, the following: sport courts, large turf play areas, ramadas, and play areas/structures (see **Exhibit 19: Neighborhood Park**).

6.2.5 Pocket Parks

The smaller pocket parks will include amenities such as play structures, covered ramadas, swing sets, and bag toss courts. Additionally, large turf areas, that also serve as retention areas, will provide space for free play. Tree lined sidewalks and trails will connect the pocket parks to the larger circulation system, enabling residents to quickly get to other open space areas and the large neighborhood park and school site (see **Exhibit 20: Conceptual Pocket Park Vignette 1** and **Exhibit 21: Conceptual Pocket Park Vignette 2**).

6.2.6 Paths and Trails

In addition to parks, a network of open space paths, sidewalks, and trails will be provided to achieve true community connectivity and encourage healthy lifestyles for residents. The trails will connect each neighborhood to the others, as well as to various open spaces, recreational amenities, and park amenities. Benches and shaded seating areas may be provided at appropriate locations throughout the circulation system.



6.3 Walls & Fences

The community walls and monumentation for the Amendment Area will unify the overall project theme through consistent use of materials and simple detailing. Theme walls composed of slump block masonry with either stone or weathered steel columns, will be used primarily along the collector roads to create visual interest as one travels through the development. Trees, shrubs, and groundcover will accent the walls, softening the collector roads and creating visual interest. Secondary walls made up of painted splitface masonry will complement theme walls and will be located throughout the Amendment Area where theme walls and view walls are not appropriate. Partial view walls are made up of painted splitface masonry and metal fencing with mesh accents and may be located adjacent to lots backing to open space or common areas. All wall and fence locations will be determined based on final design (see **Exhibit 22: Wall Plan** and **Exhibit 23: Wall Details**).

6.4 Entryways

The arterial and collector corridors within the Amendment Area are reinforced by the incorporation of a variety of plant palettes, offering a balanced sense of continuity while maintaining diversity. The planned plant palettes include native, non-native, and low water use/drought tolerant. Points of entry need to break up the uninterrupted linear streetscape planting so that residents and visitors can recognize a new or familiar experience. A lively entry can be projected by using a variety of materials, accent plantings and accent masonry, and by combining placement and scale.

Monumentation will occur at all entrances into the Amendment Area as well as at the northeast corner of the Amendment Area. These monuments will enhance the community's sense of arrival and place through hardscape and softscape landscape design. Entry medians, where provided, will carry shrubs and groundcover for a fresh entry.

A regional entry monument (see **Exhibit 24: Regional Entry Monument**) is located at the northeast corner of the Amendment Area. The modern weathered barn structure and water tower feature will have a significant visual impact and set the tone for the theme and character for the Amendment Area. Halo lit sign letters will be located in front of the barn structure just atop a water feature with an upper and lower terrace. These features are accented by board form concrete and stone veneer accent walls as well as enhanced landscaping.



The primary entry monuments are located at the entries along SR-347. Stone veneer monument sign walls will hold reverse pan channel lettering. Sidewalks leading into the community will be located on both sides of the sign wall, one with a pedestrian entry portal that leads residents and visitors past palm groves. Secondary entry monuments are located at the entries along Green Road and Louis Johnson Drive. Signage is attached to steel accent panels that sit atop a stone veneer accent wall with a board form concrete column. Steel split rail fence will act as an accent to the sign monument. To create a clear sense of arrival and provide consistency and compatibility throughout the Amendment Area, elements including, but not limited to, stone veneer sign walls, low stone accent walls, steel panels, board form concrete, and rail fencing are provided (see **Exhibit 25: Primary Entry** and **Exhibit 26: Secondary Entry**).

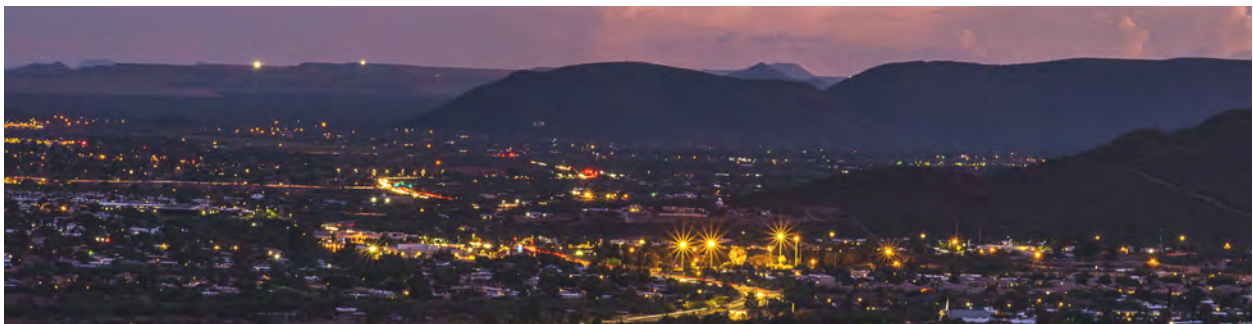


Section 7: Lighting

7.1 Purpose

The purpose of this section is to establish provisions for outdoor lighting within the Amendment Area. The Amendment Area lighting concepts will primarily provide safety and security for residents, visitors, and users. The following criteria shall be utilized in the design of residence lighting:

- The design of the light fixtures shall be in character with the architectural style of the residence.
- The design of the lighting shall accentuate the architecture of the residence and also promote safety within the community.
- The design of the lighting shall not be obtrusive to surrounding neighbors.
- Lighting to be in compliance with Pinal County Guidelines.





Section 8: Signage

8.1 Purpose

The sign regulations are in place in order to protect the attractiveness of the Amendment Area, to preserve property values, and insulate residential areas from the undue impact of signs.

8.2 Residential Signage Regulations

No sign shall be placed or maintained in any residential zoning district except as follows:

8.2.1 Permanent Signs

Name Plate Signs. A name plate sign identifying the name of the occupant of a residence, the occupant's profession, home occupation or title, and the address of the dwelling is permitted subject to the following:

- i. This sign shall not exceed four square feet in area, nor eight feet above grade at the sign.
- ii. This sign shall be located on the property to which it pertains, and the number of signs shall be limited to one for each dwelling.
- iii. This sign may be indirectly illuminated by one light bulb or fluorescent tube not exceeding 15 watts.

8.2.2 Identification Signs

- a. sign which provides information regarding location of community features, places, destinations, or other community features which require signage is permitted subject to the following:
 - i. Identification signs shall not exceed ninety-six (96) square feet in area and may be double-faced.
 - ii. Identification signs may be placed flat against a wall of a building, or such sign may be freestanding, but placement against a wall of a building shall extend no higher than twelve (12) feet above the grade at the base of the wall. The height of a identification sign shall not exceed eighteen (18) feet above the grade.
 - iii. Identification signs shall contain no advertising copy.
 - iv. Identification signs shall be located on the property to which it pertains.
 - v. Identification signs shall be located no closer than one hundred and fifty (150) feet from another identification sign.
 - vi. Identification signs shall not be limited in quantity, so long as the use proposed meets the intent of the definition.
 - vii. Identification signs may be illuminated internally, backlit, or externally.

8.2.3 Perimeter Wall Sign

A sign consisting of a sign mounted on a perimeter wall is permitted subject to the following:

- i. Perimeter wall signs shall not exceed one hundred and forty-four (144) square feet in area or less than fifty percent (50%) of wall area, whichever is less.
- ii. Perimeter wall signs shall not exceed eight (8) feet or the height of the wall, whichever is less.
- iii. One (1) perimeter wall sign is allowed on each side of an entry way.
- iv. Perimeter wall signs may be illuminated internally, backlit, or externally.

8.2.4 Monument Sign

A freestanding monument sign adjacent to a residential development is permitted subject to the following:

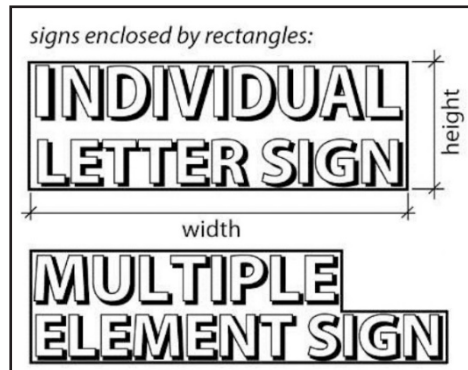
- i. Monument signs shall not exceed six hundred (600) square feet in area.
- ii. Monument signs shall not exceed a height of fifty-five (55').
- iii. One (1) monument sign is permitted on each side of an entry way, and one (1) sign for each direction of travel on an arterial or higher roadway classification for purposes of project identification.
- iv. Monument signs be illuminated internally, backlit, or externally.

8.2.5 Calculating Sign Area

The sign area shall be measured as the sum of the smallest rectangles that encompass the multiple components being the type face, logo, and associated artwork.



- a. For a sign having more than one component (e.g., a service station identification/price sign combination on a monument base, mounted on the same surface), the sign area shall be measured as the sum of the smallest rectangles that encompass the several components being the type face, logo, and associated artwork.

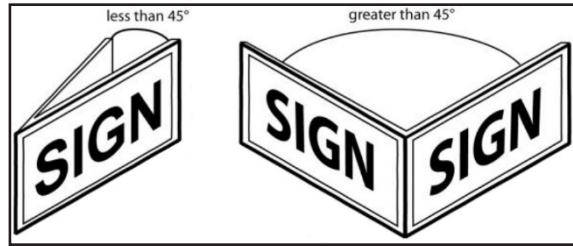


- b. A sign mounted or painted on a background panel or area distinctively painted, textured or constructed as a background for the sign, shall be measured as the area contained within the outside dimensions of the background panel or surface.
- c. A sign mounted as individual letters and/or graphics against a wall or fascia of a building, wall fence or other structure that has not been painted, textured or otherwise altered to provide a distinctive background for the sign shall be measured as the sum of the smallest rectangles that will enclose the type face, logo, and associated artwork.
- d. A sign mounted or painted on an illuminated surface, illuminated architectural element of a building, or if the sign is the actual illuminated surface itself, shall be measured as the entire surface or illuminated architectural element which contains the type face, logo, and associated artwork.
- e. A sign integrated into, built, made or part of the actual structure of a wall, building fascia, wall, fence or any other type of structure, regardless of whether the sign is of the same color, texture or material than the entire structure, shall be measured as the sum of the smallest rectangles that will enclose the type face, logo, and associated artwork.
- f. Where there are one (1) or more sign faces, the area shall be defined as follows unless otherwise specified for specific signs:
 - i. One (1) face: Area of the single face only; two (2) faces - If the interior angle between the two faces is forty-five (45) degrees or less, the area will be the area of one face



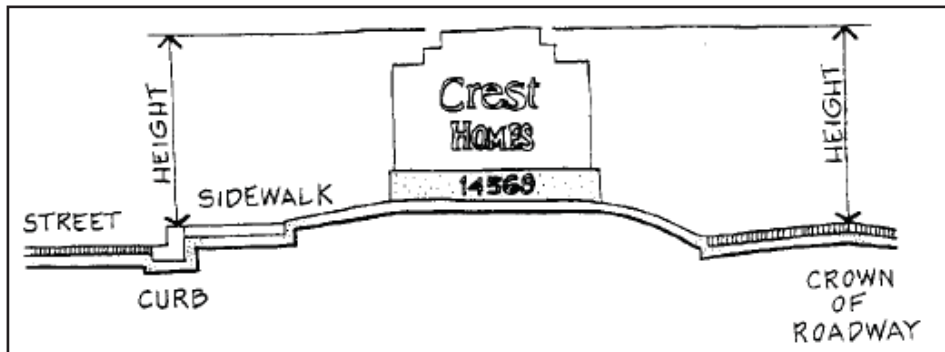
only; if the interior angle between the two sign faces is greater than forty-five (45) degrees, the sign area will be the sum of the areas of the two faces.

- ii. Three (3) or more faces, the sign area will be the sum of the areas of each of the faces.
- iii. Architectural embellishments shall not be considered as sign area.



8.2.6 Calculating Sign Height

Height shall be the distance from the top of the sign structure to the top of the closest adjacent curb or crown of roadway where no curb exists, or the surrounding ground plane, whichever is greater. For Signs mounted on buildings the height shall be the distance from the top of the sign, the type face, logo, and associated artwork, to the top of the closest adjacent curb or crown of road where no curb exists.





Section 9: Phasing

It is anticipated that the Amendment Area will be developed in five phases (see **Exhibit 27: Phasing Plan**). Should market conditions dictate that different phasing of the project is required, or that portions of a proposed phase will be deferred to a future phase, a revised phasing plan will be submitted to the County for administrative approval.

Table 12: PHASE BUILDOUT					
PHASE	GROSS ACREAGE	* UNITS	DENSITY	ZONING	*** PROJECTED BUILDOUT TIME FRAME
PHASE 1	156.33 AC.	546	3.49	R-7	2024-2029
PHASE 2	193.42 AC.	639	3.30	R-7	2029-2034
PHASE 3	155.22 AC.	495	3.19	C-1, MD, MR & R-7	2034-2038
PHASE 4	123.46 AC.	492	3.99	R-7	2038-2042
PHASE 5	75.62 AC.	762	10.08	C-1, MD & MR	2042-2047
TOTAL	704.05 AC.	** 2,934	4.17	C-1, MD, MR & R-7	16-25 YEARS
* QUANTITIES OF UNITS PER PHASE MAY INCREASE OR DECREASE, SO LONG AS THE OVERALL UNIT TOTAL IS NOT EXCEEDED.					
** OVERALL UNIT TOTAL.					
*** PROJECTED BUILDOUT TIME FRAME SUBJECT TO CHANGE BASED ON MARKET CONDITIONS.					





Section 10: Appendix - List of Exhibits

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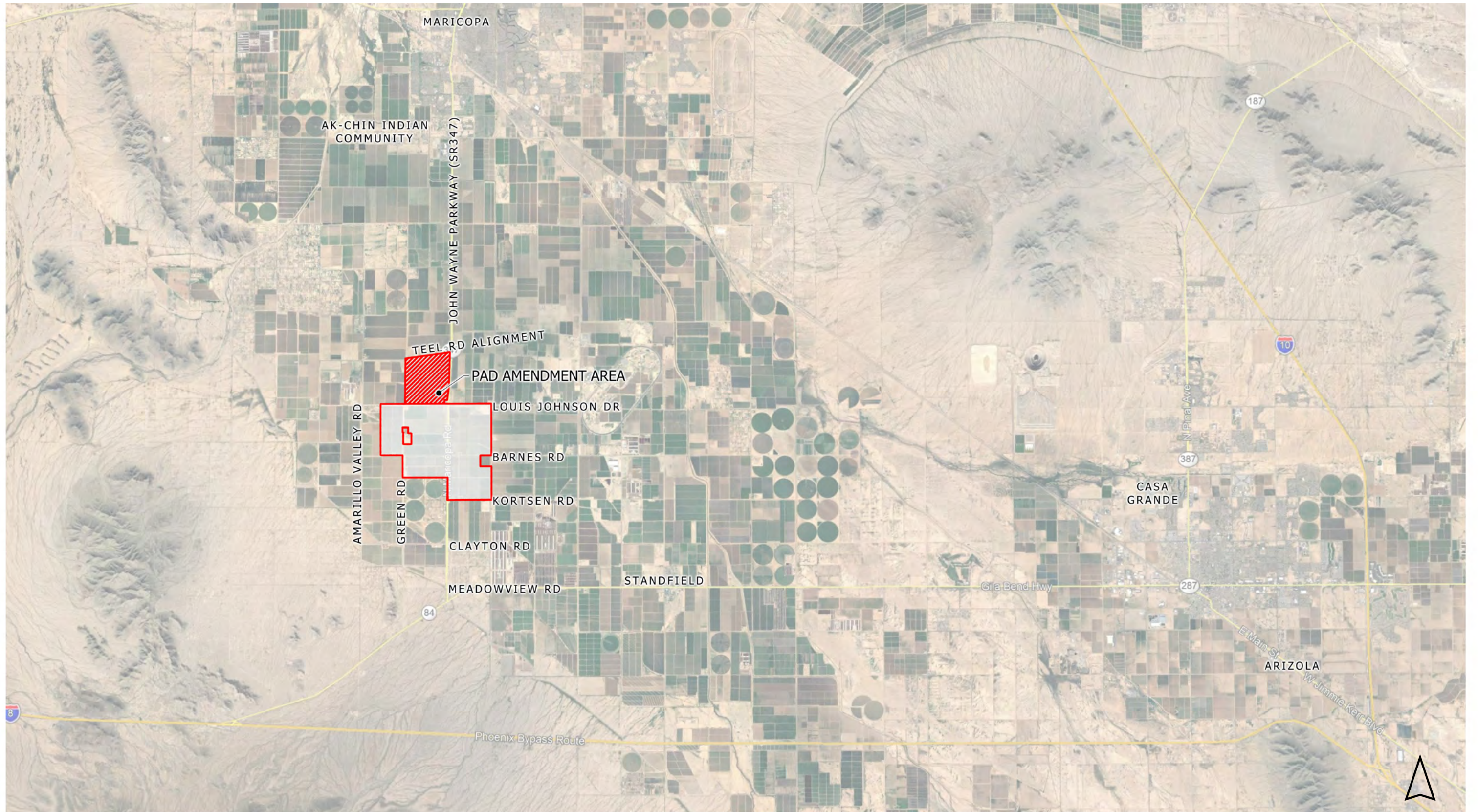


Exhibit 1: Regional Vicinity Map

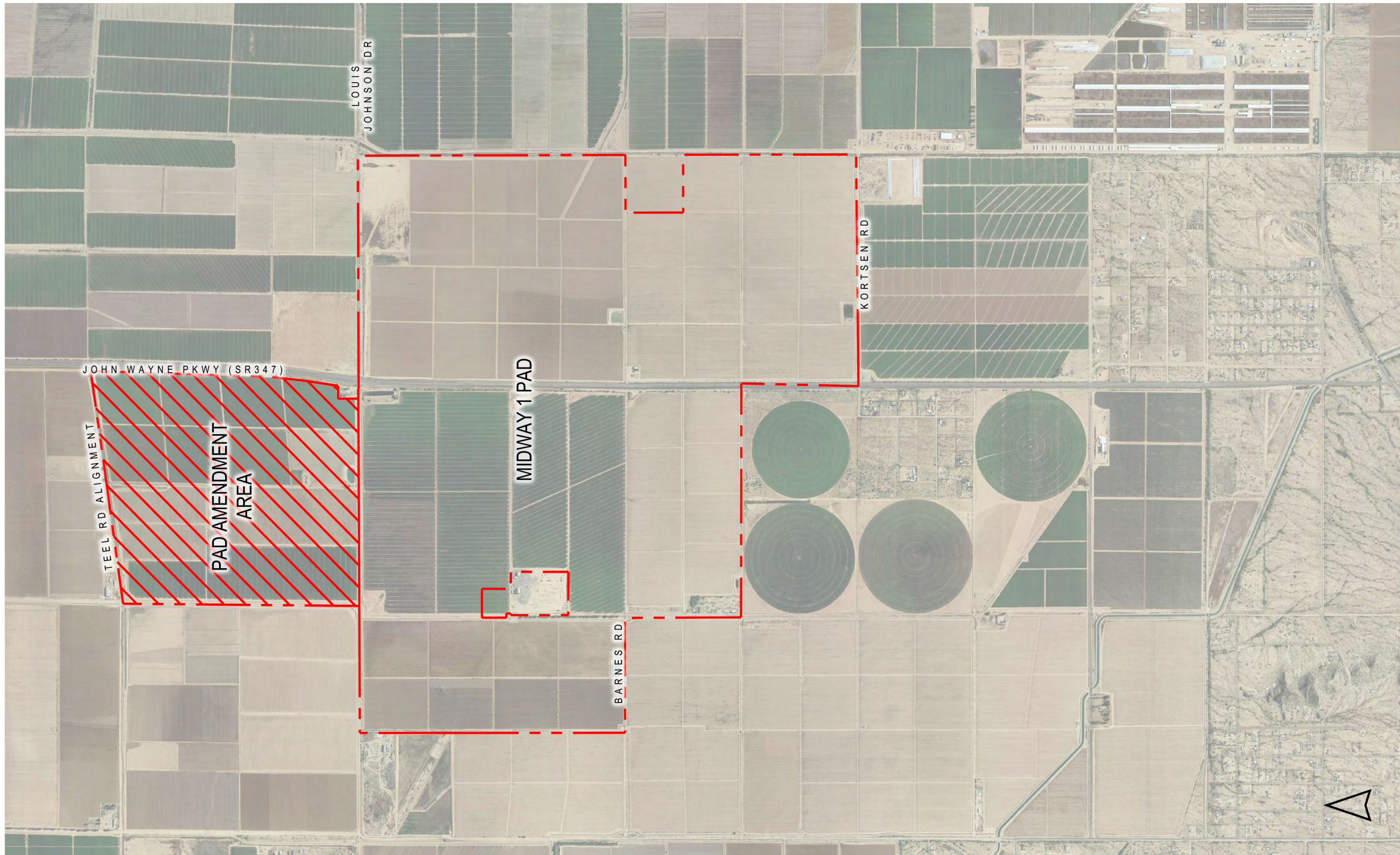


Exhibit 2: Aerial Map

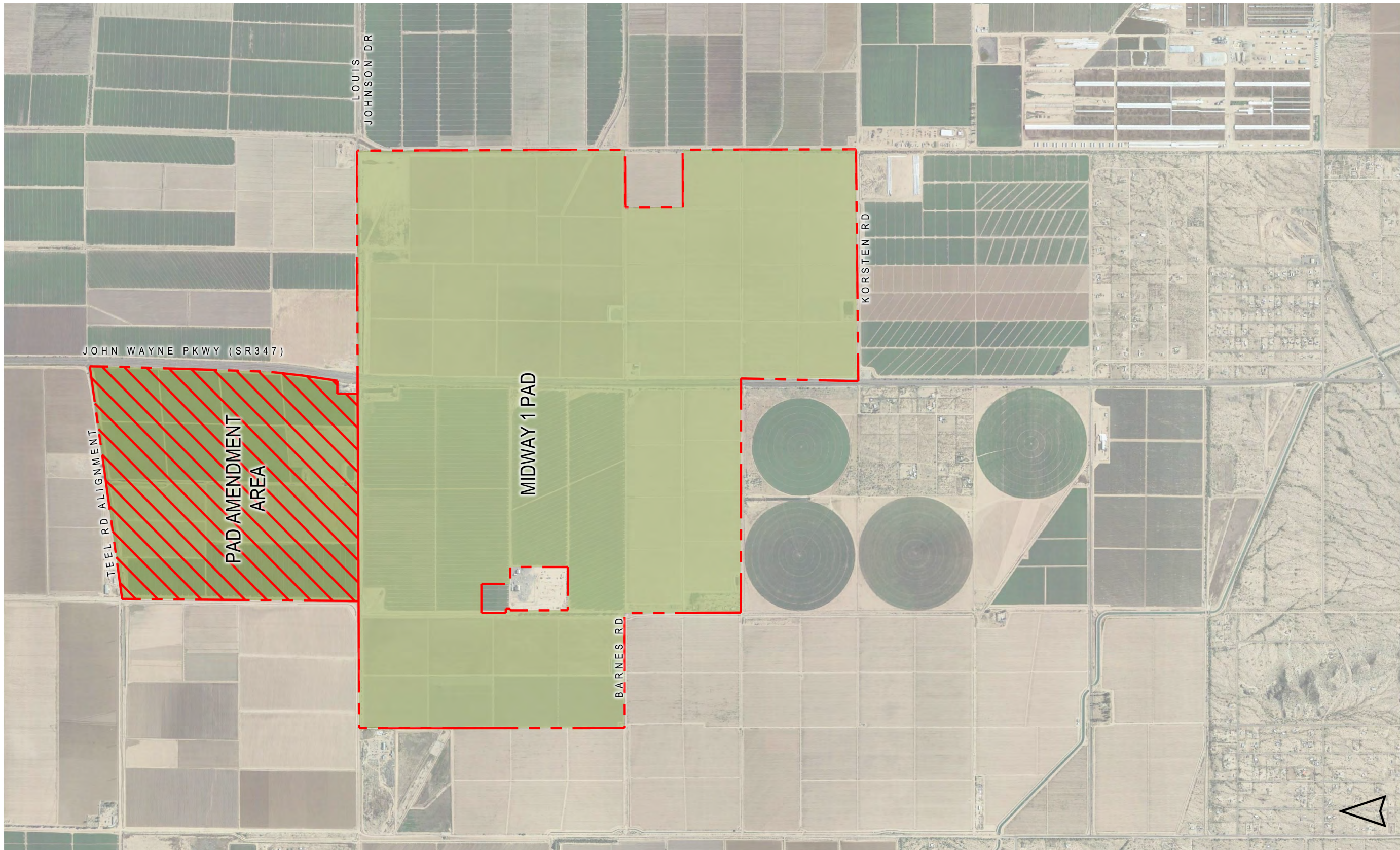


Exhibit 3: PAD Amendment Area

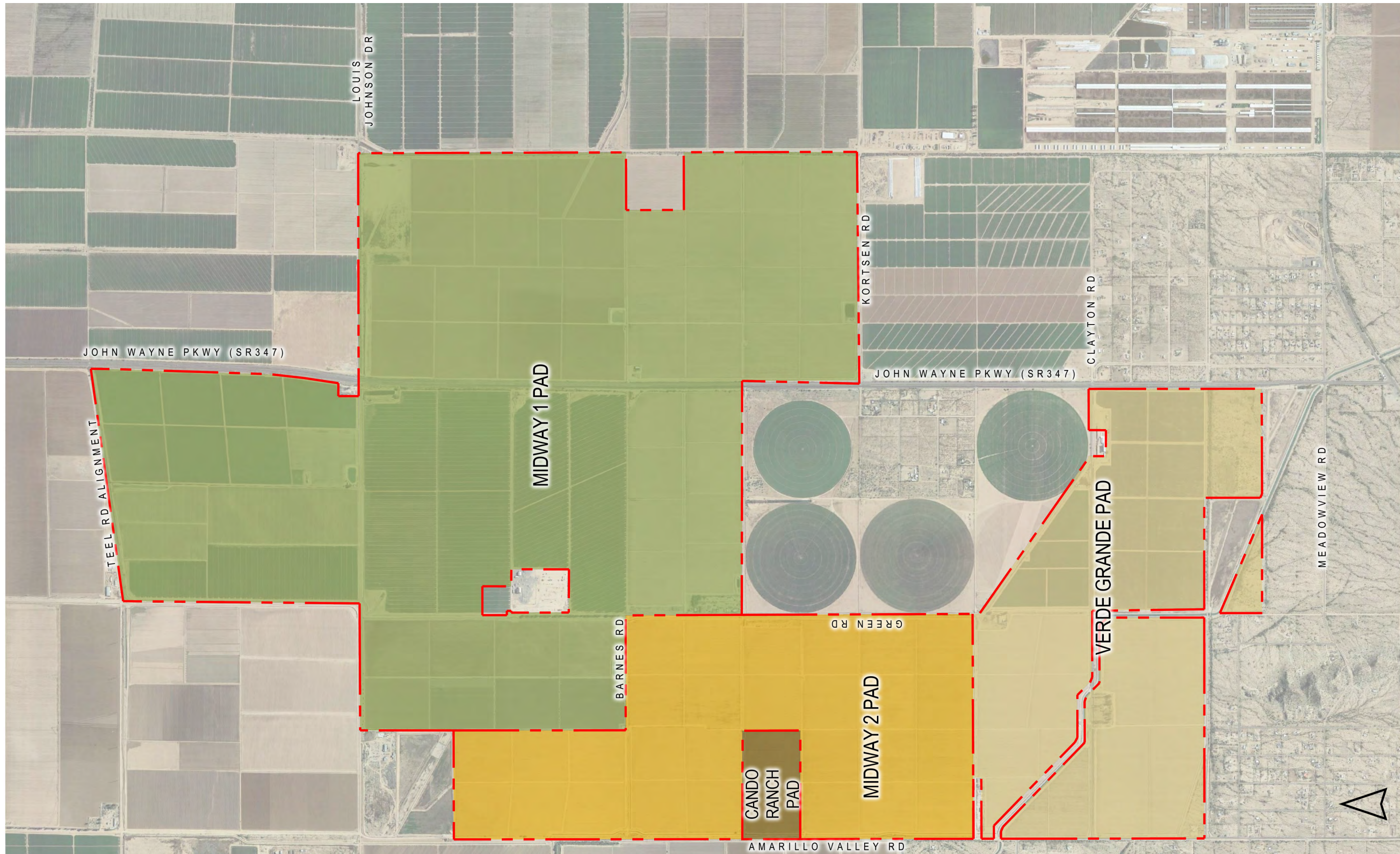
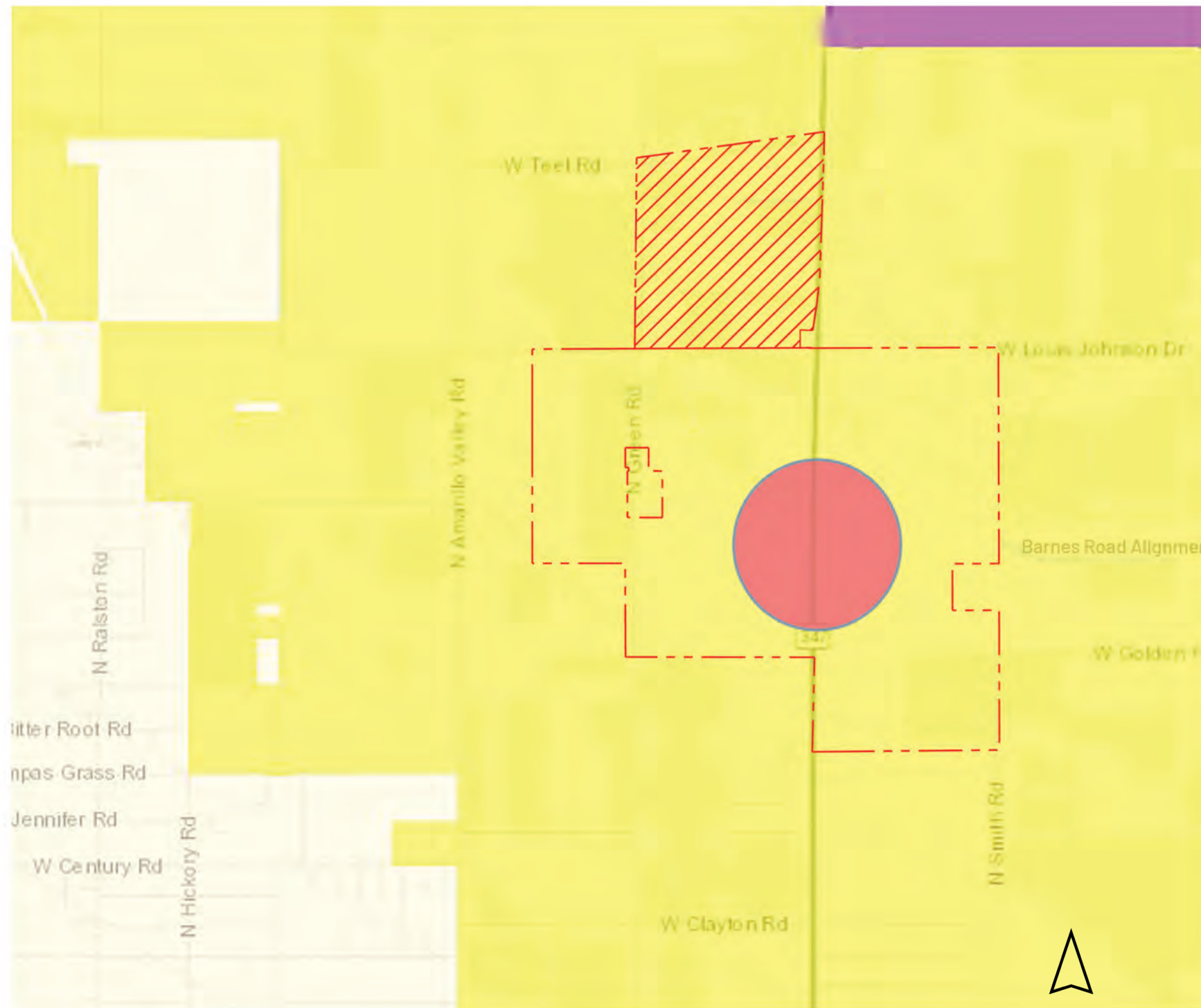


Exhibit 4: Existing Midway PADs



EXISTING COMPREHENSIVE PLAN MAP

LEGEND

- Moderate Low Density Residential (1-3.5 du/ac)
- Employment
- Very Low Density Residential (0-1 du/ac)
- PAD Amendment Area
- Midway 1 PAD
- Mid-Intensity Activity Center

Exhibit 5: Existing Comprehensive Plan Map

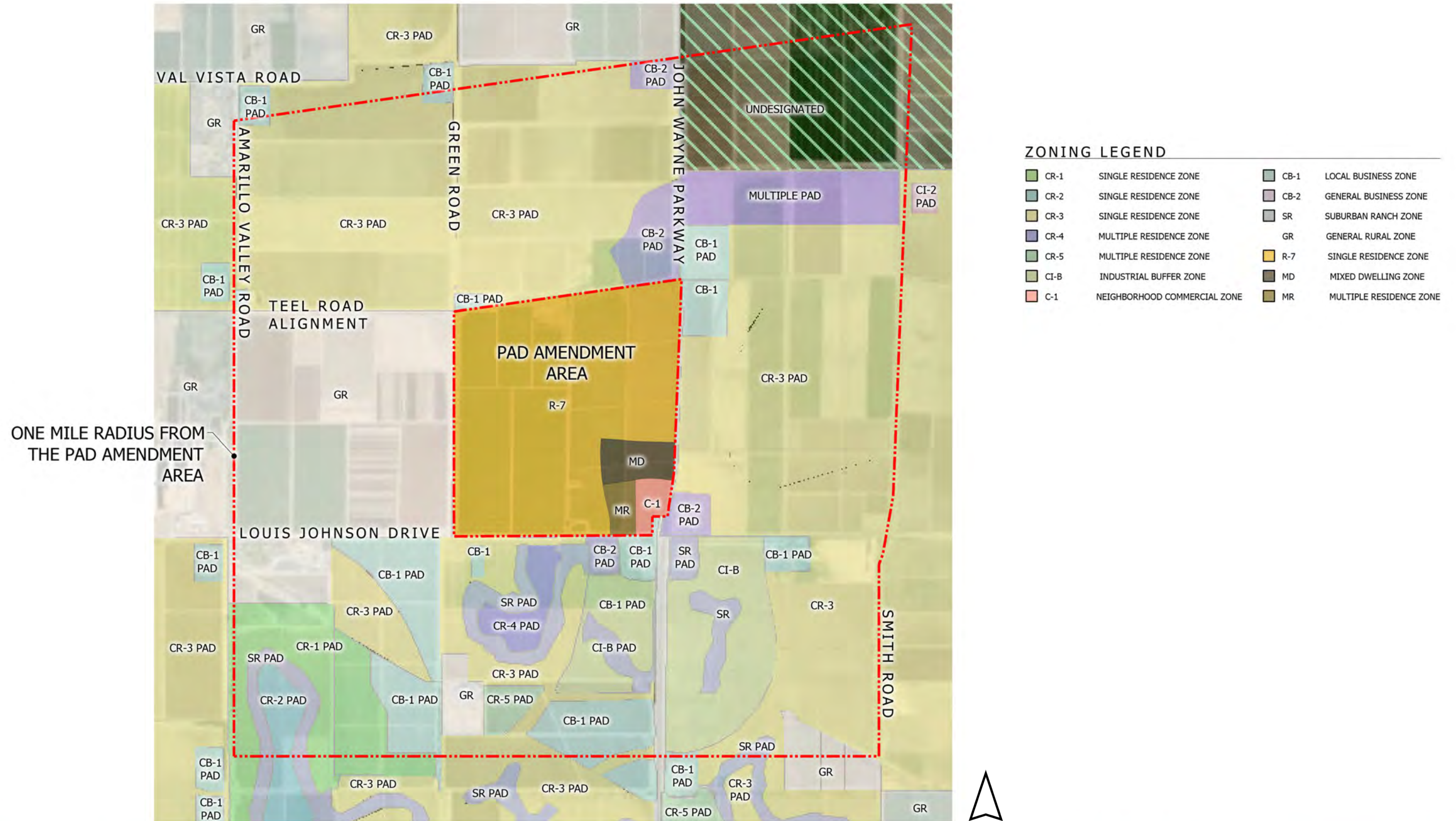
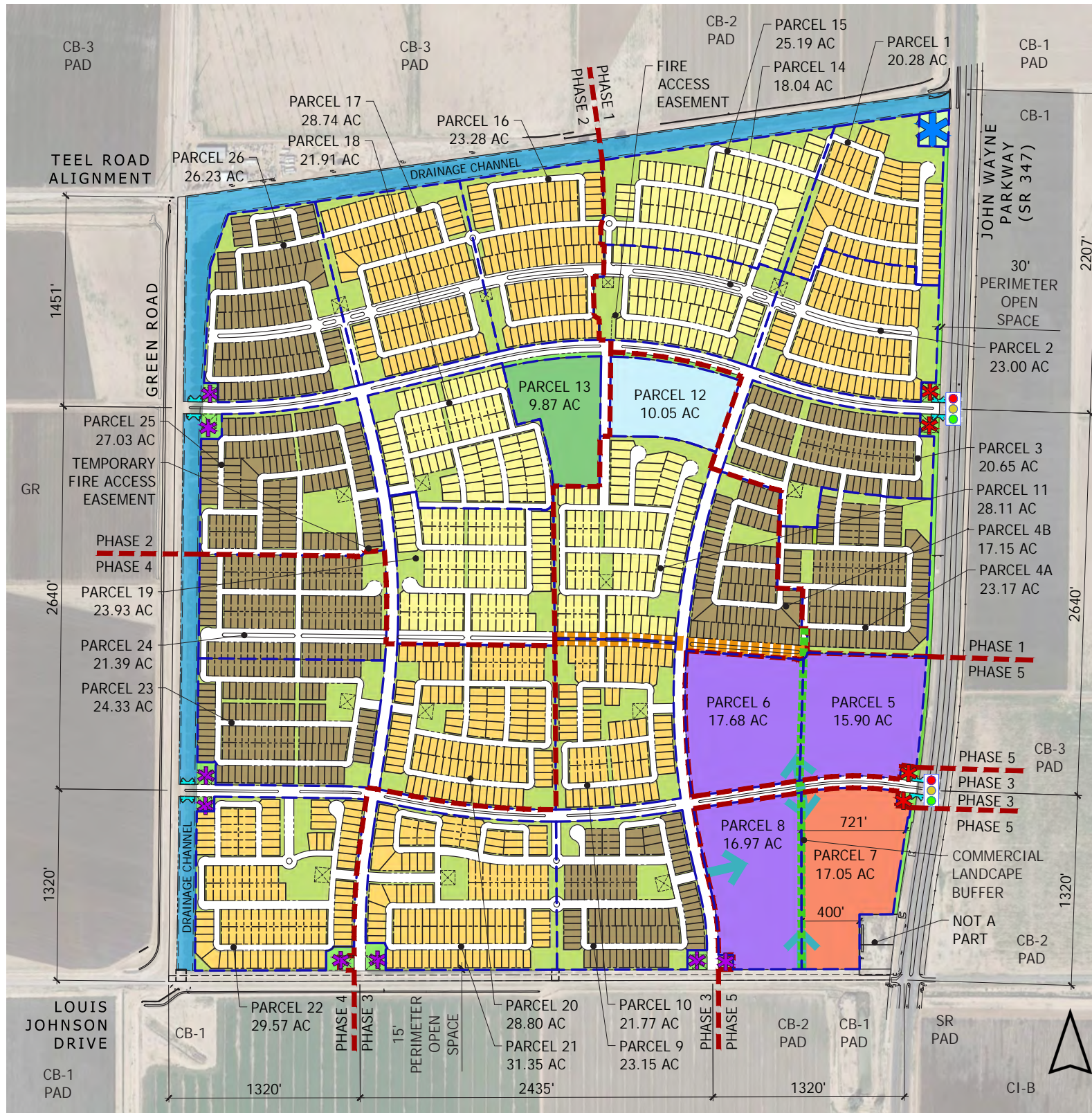


Exhibit 6: Surrounding Zoning Map



UTILITIES

TELEPHONE: CENTURY LINK/ COX COMMUNICATIONS
 CABLE TV: CENTURY LINK/ COX COMMUNICATIONS
 WASTEWATER: GLOBAL WATER SANTA CRUZ WATER COMPANY (GW-SCWC)
 WATER: GLOBAL WATER SANTA CRUZ WATER COMPANY (GW-SCWC)

NATURAL GAS: SOUTHWEST GAS CORPORATION
 SCHOOLS: JO COMBS UNIFIED SCHOOL DISTRICT #44
 ELECTRIC: ELECTRICAL DISTRICT NUMBER 3 (ED3)
 FIRE/ EMERGENCY RESPONSE: RURAL METRO FIRE AND EMERGENCY SERVICES

CLIENT/OWNER AGENT

1121 W. WARNER ROAD, STE 109
 TEMPE, AZ 85284
 P: (480)-831-2000, EXT 244
 EMAIL: SETHK@WHOLDINGS.COM
 CONTACT: SETH KEELER

CONSULTANT TEAM:

CIVIL ENGINEER

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 PHOENIX, AZ 85016
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 EMAIL: ATHOMAS@HILGARTWILSON.COM
 CONTACT: AUBREY THOMAS

PLANNER/LANDSCAPE ARCHITECT

ABLA
 310 E. RIO SALADO PARKWAY
 TEMPE, AZ 85281
 P: (480)-530-0077
 EMAIL: ANDY.BARON@ABLASTUDIO.COM
 CONTACT: ANDY BARON

PROJECT LOCATION

NORTHWEST CORNER OF JOHN WAYNE
 FREEWAY (SR 347) AND MILLER ROAD
 PINAL COUNTY, AZ

LEGEND

- REGIONAL ENTRY MONUMENT
- PRIMARY ENTRY MONUMENT
- SECONDARY ENTRY MONUMENT
- PROPOSED TRAFFIC SIGNAL
- HEADWALL
- PARKS
- PARCEL BOUNDARY LINE
- TEMPORARY SECONDARY ACCESS ROAD TO BE USED FOR PHASES 1 & 2
- THIS SECTION OF ROAD TO BE BUILT AS A PART OF PHASE 2
- PHASE BOUNDARY LINE
- PROPOSED ACCESS

Table 5: Midway I PAD Amendment Area - Proposed Density

Land Use	Zoning	Gross AC	Units	Allowed Density	Proposed Density
Moderate Low Density	R-7	620.58 AC	2,172 DU	3.5 DU	3.5 DU/AC
	MD	39.45 AC	316 DU	3.5-8 DU	8.0 DU/AC
	MR	20.02 AC	446 DU	8-24 DU	22.3 DU/AC
	C-1	24.00 AC			
PAD Amendment Area Total		704.05 AC	2,934 DU		4.2 DU/AC

DATA TABLE

PHASE 1			
ZONING	R-7		
GROSS ACREAGE	156.33 AC.		
NET ACREAGE	147.69 AC.		
FOCAL FEATURE	1.11 AC.		
PARCEL OPEN SPACE	2.99 AC.		
MISC/ROAD	21.90 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 1	20.28 AC.	50'x120'	84 D.U.
PARCEL 2	23.00 AC.	50'x120'	95 D.U.
PARCEL 3	20.65 AC.	45'x115'	96 D.U.
PARCEL 4A	23.17 AC.	45'x115'	118 D.U.
PARCEL 14	18.04 AC.	55'x125'	60 D.U.
PARCEL 15	25.19 AC.	55'x125'	93 D.U.
45'x115' LOT	43.82 AC.	45'x115'	214 D.U.
50'x120' LOT	43.28 AC.	50'x120'	179 D.U.
55'x125' LOT	43.23 AC.	55'x125'	153 D.U.
PHASE 1 PARCEL TOTAL	130.33 AC.		546 D.U.

PHASE 2

ZONING	R-7		
GROSS ACREAGE	193.42 AC.		
NET ACREAGE	190.30 AC.		
PARK	9.87 AC.		
PARCEL OPEN SPACE	1.02 AC.		
MISC/ROAD	31.41 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 16	23.28 AC.	50'x120'	97 D.U.
PARCEL 17	28.74 AC.	50'x120'	113 D.U.
PARCEL 18	21.91 AC.	55'x125'	82 D.U.
PARCEL 19	23.93 AC.	55'x125'	94 D.U.
PARCEL 25	27.03 AC.	45'x115'	132 D.U.
PARCEL 26	26.23 AC.	45'x115'	121 D.U.
45'x115' LOT	53.26 AC.	45'x115'	253 D.U.
50'x120' LOT	52.02 AC.	50'x120'	210 D.U.
55'x125' LOT	45.84 AC.	55'x125'	176 D.U.
PHASE 2 PARCEL TOTAL	151.12 AC.		639 D.U.

PHASE 3

ZONING	C-1, MD, MR & R-7		
GROSS ACREAGE	155.22 AC.		
NET ACREAGE	149.88 AC.		
SCHOOL	10.05 AC.		
PARCEL OPEN SPACE	3.11 AC.		
MISC/ROAD	20.53 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 4B	17.15 AC.	45'x115'	82 D.U.
PARCEL 9	23.15 AC.	45'x115'	100 D.U.
PARCEL 10	21.77 AC.	50'x120'	82 D.U.
PARCEL 11	28.11 AC.	55'x125'	101 D.U.
PARCEL 21	31.35 AC.	50'x120'	130 D.U.
45'x115' LOT	40.30 AC.	45'x115'	182 D.U.
50'x120' LOT	53.12 AC.	50'x120'	212 D.U.
55'x125' LOT	28.11 AC.	55'x125'	101 D.U.
PHASE 3 PARCEL TOTAL	121.53 AC.		495 D.U.

PHASE 4

ZONING	R-7		
GROSS ACREAGE	123.46 AC.		
NET ACREAGE	117.63 AC.		
PARCEL OPEN SPACE	3.11 AC.		
MISC/ROAD	16.26 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 20	28.80 AC.	50'x120'	129 D.U.
PARCEL 22	29.57 AC.	55'x125'	119 D.U.
PARCEL 23	24.33 AC.	45'x115'	127 D.U.
PARCEL 24	21.39 AC.	45'x115'	117 D.U.
45'x115' LOT	45.72 AC.	45'x115'	244 D.U.
50'x120' LOT	28.80 AC.	50'x120'	129 D.U.
55'x125' LOT	29.57 AC.	55'x125'	119 D.U.
PHASE 4 PARCEL TOTAL	104.09 AC.		492 D.U.

DESIGNATED FLOOD ZONE

FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COVERAGE FOR THE SITE IS PROVIDED ON FIRM PANEL 04021C1125E (FEMA, DECEMBER 4, 2007). ACCORDING TO THIS FIRM THE SITE RESIDES ENTIRELY WITHIN FLOOD HAZARD ZONE X. FEMA DEFINES ZONE X AS FOLLOWS: "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."

PHASE 5

ZONING	C-1, MD & MR		
GROSS ACREAGE	75.62 AC.		
NET ACREAGE	67.71 AC.		
PARCEL OPEN SPACE	1.88 AC.		
MISC/ROAD	6.14 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 5	15.90 AC.	MU	150 D.U.
PARCEL 6	17.68 AC.	MU	166 D.U.
PARCEL 8	16.97 AC.	MF	446 D.U.
PARCEL 7	17.05 AC.	COMM	
MIXED USE	50.55 AC.		762 D.U.
COMMERCIAL	17.05 AC.		
PHASE 5 PARCEL TOTAL	67.60 AC.		762 D.U.

TOTAL

ZONING	C-1, MD, MR & R-7		
GROSS ACREAGE	704.05 AC.		
NET ACREAGE	673.2 AC.		
COMMERCIAL	17.05 AC.		
SCHOOL	10.05 AC.		
MISC/ROAD	96.24 AC.		
WASH/ROAD	27.89 AC.		
FOCAL FEATURE	.91 AC.		
PARK	9.87 AC.		
PERIMETER OPEN SPACE	7.40 AC.		
PARCEL OPEN SPACE	63.53 AC.		
* OVERALL OPEN SPACE	109.60 AC.		18.10%
USE	ACREAGE	PRODUCT	** UNITS
45'x115' LOT	183.10 AC.	45'x115'	893 D.U.
50'x120' LOT	177.22 AC.	50'x120'	730 D.U.
55'x125' LOT	146.75 AC.	55'x125'	549 D.U.
PARCEL TOTAL	507.07 AC.		2172 D.U.
MIXED USE	50.55 AC.		762 D.U.
OVERALL TOTAL	557.62 AC.		** 2934 D.U.

* OVERALL OPEN SPACE PERCENTAGE BASED OFF OF NET AREA MINUS COMMERCIAL AND MIXED USE AREAS.
 ** QUANTITY OF UNITS PER LOT SIZE, TYPE, PARCEL AND PHASE MAY INCREASE OR DECREASE, SO LONG AS THE OVERALL UNIT TOTAL IS NOT EXCEEDED.
 *** OVERALL UNIT TOTAL

SITE SUMMARY TABLE

GROSS ACREAGE: 704.05 AC.
 EXISTING ZONING: CR-3 PAD, CR-4 PAD, CR-5 PAD, CB-1 PAD, SR PAD
 EXISTING LAND USE: MLDR
 CASE NUMBER: PZ-006-21/PZ-PD-006-21

REQUEST

PAD AMENDMENT WITH ZONING CHANGE- R-7 PAD, MR PAD, MD PAD, C-1 PAD

LAND USE TABLE

TOTAL GROSS ACREAGE: 704.05 AC.
 TOTAL OPEN SPACE: 109.60 AC.
 MAXIMUM PROPOSED DWELLING UNITS: 2,934
 MAXIMUM PROPOSED DENSITY: 4.17 D.U./AC.

VICINITY MAP

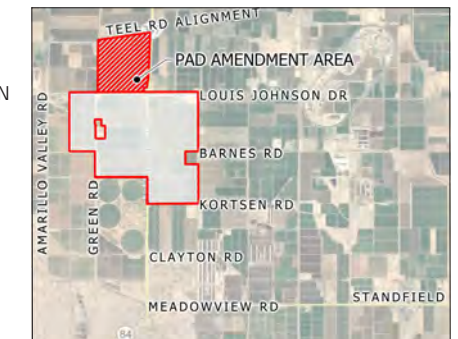


Exhibit 7: Conceptual Site Plan

DATA TABLE			
PHASE 1			
ZONING	R-7		
GROSS ACREAGE	156.33 AC.		
NET ACREAGE	147.69 AC.		
FOCAL FEATURE	1.11 AC.		
PARCEL OPEN SPACE	2.99 AC.		
MISC/ROAD	21.90 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 1	20.28 AC.	50'x120'	84 D.U.
PARCEL 2	23.00 AC.	50'x120'	95 D.U.
PARCEL 3	20.65 AC.	45'x115'	96 D.U.
PARCEL 4A	23.17 AC.	45'x115'	118 D.U.
PARCEL 14	18.04 AC.	55'x125'	60 D.U.
PARCEL 15	25.19 AC.	55'x125'	93 D.U.
45'x115' LOT	43.82 AC.	45'x115'	214 D.U.
50'x120' LOT	43.28 AC.	50'x120'	179 D.U.
55'x125' LOT	43.23 AC.	55'x125'	153 D.U.
PHASE 1 PARCEL TOTAL	130.33 AC.		546 D.U.

PHASE 2			
ZONING	R-7		
GROSS ACREAGE	193.42 AC.		
NET ACREAGE	190.30 AC.		
PARK	9.87 AC.		
PARCEL OPEN SPACE	1.02 AC.		
MISC/ROAD	31.41 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 16	23.28 AC.	50'x120'	97 D.U.
PARCEL 17	28.74 AC.	50'x120'	113 D.U.
PARCEL 18	21.91 AC.	55'x125'	82 D.U.
PARCEL 19	23.93 AC.	55'x125'	94 D.U.
PARCEL 25	27.03 AC.	45'x115'	132 D.U.
PARCEL 26	26.23 AC.	45'x115'	121 D.U.
45'x115' LOT	53.26 AC.	45'x115'	253 D.U.
50'x120' LOT	52.02 AC.	50'x120'	210 D.U.
55'x125' LOT	45.84 AC.	55'x125'	176 D.U.
PHASE 2 PARCEL TOTAL	151.12 AC.		639 D.U.

PHASE 3			
ZONING	C-1, MD, MR & R-7		
GROSS ACREAGE	155.22 AC.		
NET ACREAGE	149.88 AC.		
SCHOOL	10.05 AC.		
PARCEL OPEN SPACE	3.11 AC.		
MISC/ROAD	20.53 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 4B	17.15 AC.	45'x115'	82 D.U.
PARCEL 9	23.15 AC.	45'x115'	100 D.U.
PARCEL 10	21.77 AC.	50'x120'	82 D.U.
PARCEL 11	28.11 AC.	55'x125'	101 D.U.
PARCEL 21	31.35 AC.	50'x120'	130 D.U.
45'x115' LOT	40.30 AC.	45'x115'	182 D.U.
50'x120' LOT	53.12 AC.	50'x120'	212 D.U.
55'x125' LOT	28.11 AC.	55'x125'	101 D.U.
PHASE 3 PARCEL TOTAL	121.53 AC.		495 D.U.

PHASE 4			
ZONING	R-7		
GROSS ACREAGE	123.46 AC.		
NET ACREAGE	117.63 AC.		
PARCEL OPEN SPACE	3.11 AC.		
MISC/ROAD	16.26 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 20	28.80 AC.	50'x120'	129 D.U.
PARCEL 22	29.57 AC.	55'x125'	119 D.U.
PARCEL 23	24.33 AC.	45'x115'	127 D.U.
PARCEL 24	21.39 AC.	45'x115'	117 D.U.
45'x115' LOT	45.72 AC.	45'x115'	244 D.U.
50'x120' LOT	28.80 AC.	50'x120'	129 D.U.
55'x125' LOT	29.57 AC.	55'x125'	119 D.U.
PHASE 3 PARCEL TOTAL	104.09 AC.		492 D.U.

PHASE 5			
ZONING	C-1, MD & MR		
GROSS ACREAGE	75.62 AC.		
NET ACREAGE	67.71 AC.		
PARCEL OPEN SPACE	1.88 AC.		
MISC/ROAD	6.14 AC.		
PARCEL	ACREAGE	PRODUCT	** UNITS
PARCEL 5	15.90 AC.	MU	150 D.U.
PARCEL 6	17.68 AC.	MU	166 D.U.
PARCEL 8	16.97 AC.	MF	446 D.U.
PARCEL 7	17.05 AC.	COMM	
MIXED USE	50.55 AC.		762 D.U.
COMMERCIAL	17.05 AC.		
PHASE 5 PARCEL TOTAL	67.60 AC.		762 D.U.

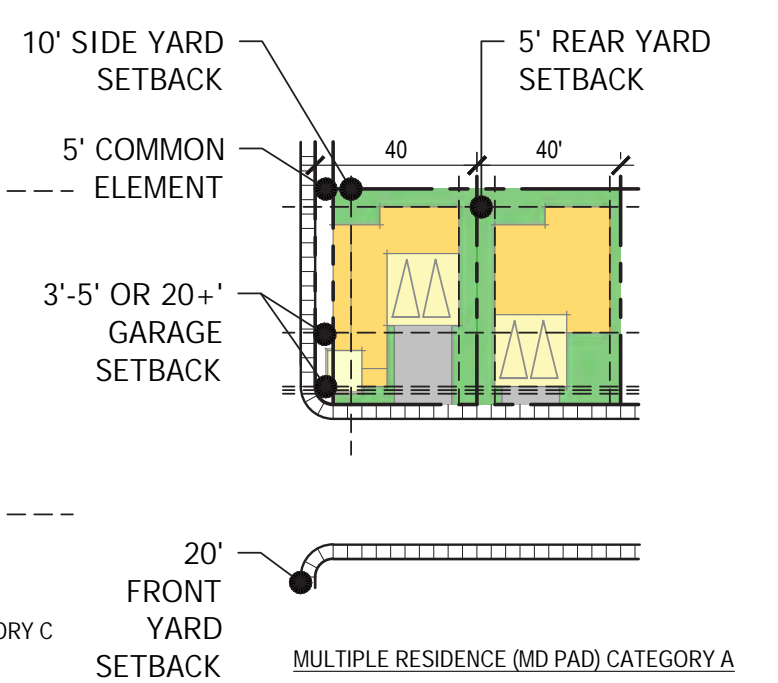
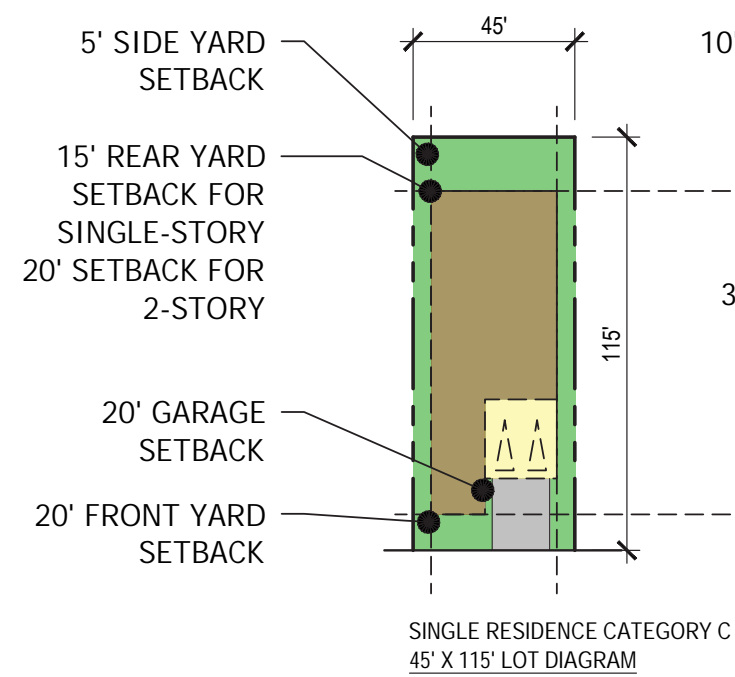
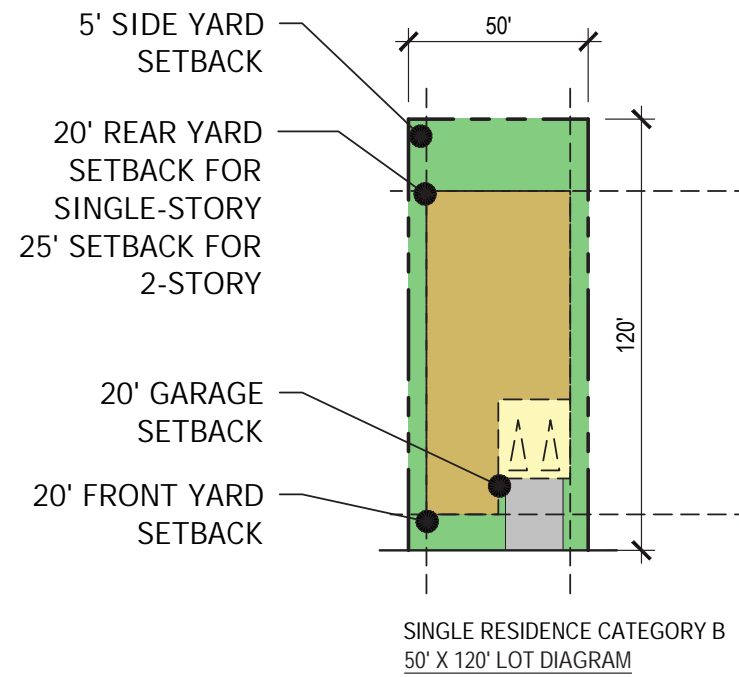
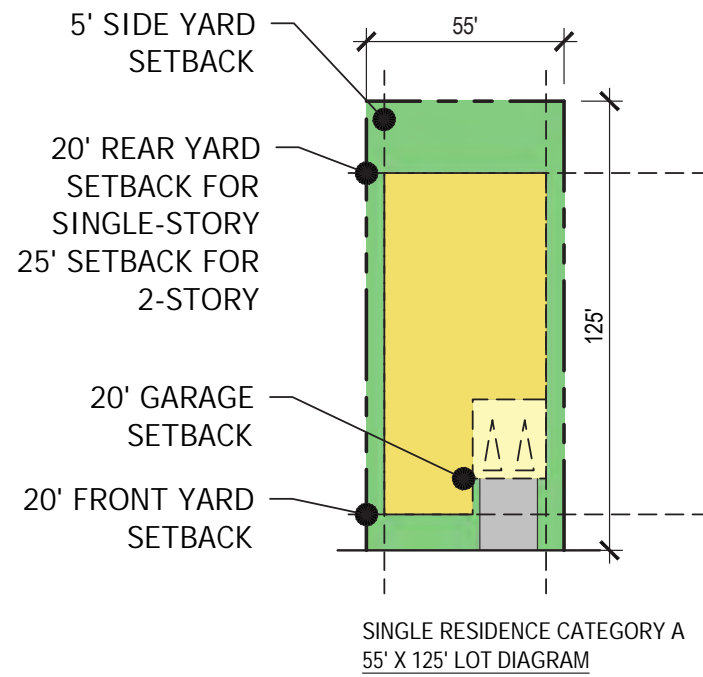
TOTAL			
ZONING	C-1, MD, MR & R-7		
GROSS ACREAGE	704.05 AC.	4.17 D.U./AC.	
NET ACREAGE	673.2 AC.		
COMMERCIAL	17.05 AC.		
SCHOOL	10.05 AC.		
MISC/ROAD	96.24 AC.		
WASH AREA	27.89 AC.		
FOCAL FEATURE	.91 AC.		
PARK	9.87 AC.		
PERIMETER OPEN SPACE	7.40 AC.		
PARCEL OPEN SPACE	63.53 AC.		
* OVERALL OPEN SPACE	109.60 AC.	18.10%	
USE	ACREAGE	PRODUCT	** UNITS
45'x115' LOT	183.10 AC.	45'x115'	893 D.U.
50'x120' LOT	177.22 AC.	50'x120'	730 D.U.
55'x125' LOT	146.75 AC.	55'x125'	549 D.U.
PARCEL TOTAL	507.07 AC.	2172 D.U.	
MIXED USE	50.55 AC.	762 D.U.	
OVERALL TOTAL	557.62 AC.	*** 2934 D.U.	

* OVERALL OPEN SPACE PERCENTAGE BASED OFF OF NET AREA MINUS COMMERCIAL AND MIXED USE AREAS.

** QUANTITY OF UNITS PER LOT SIZE, TYPE, PARCEL AND PHASE MAY INCREASE OR DECREASE, SO LONG AS THE OVERALL UNIT TOTAL IS NOT EXCEEDED.

*** OVERALL UNIT TOTAL

Exhibit 7: Conceptual Site Plan Tables - Enlarged



NOTE:
DESIGNS ARE CONCEPTUAL AND
SUBJECT TO CHANGE AT FINAL DESIGN

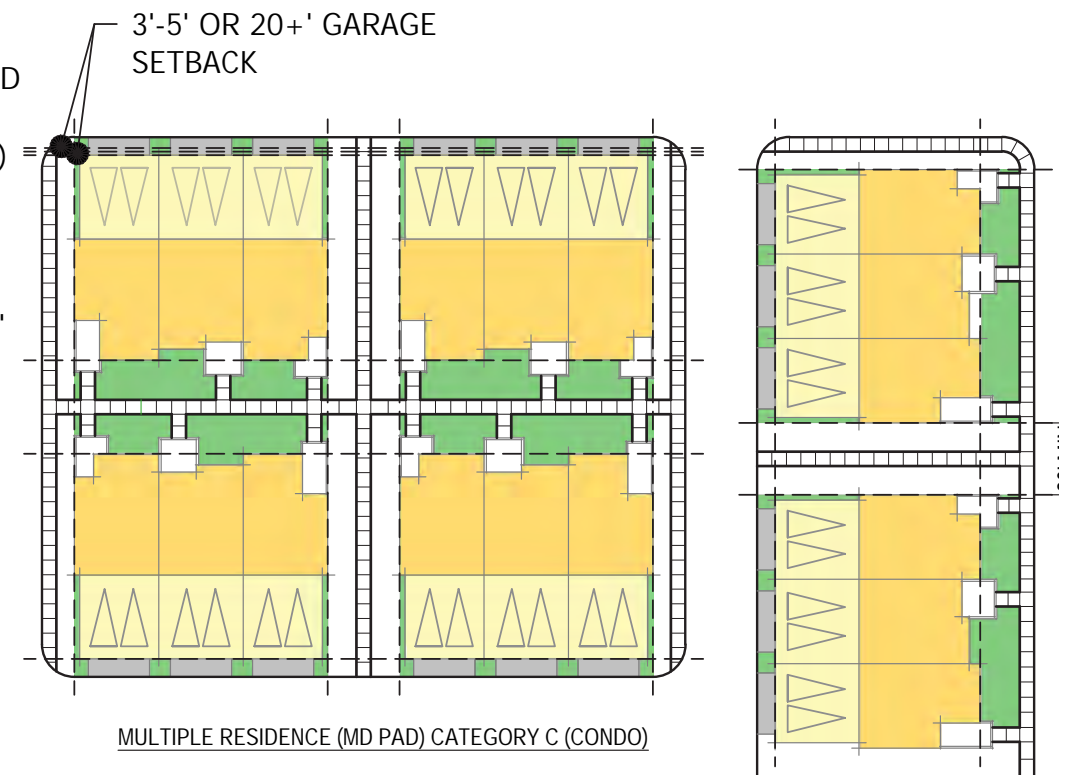
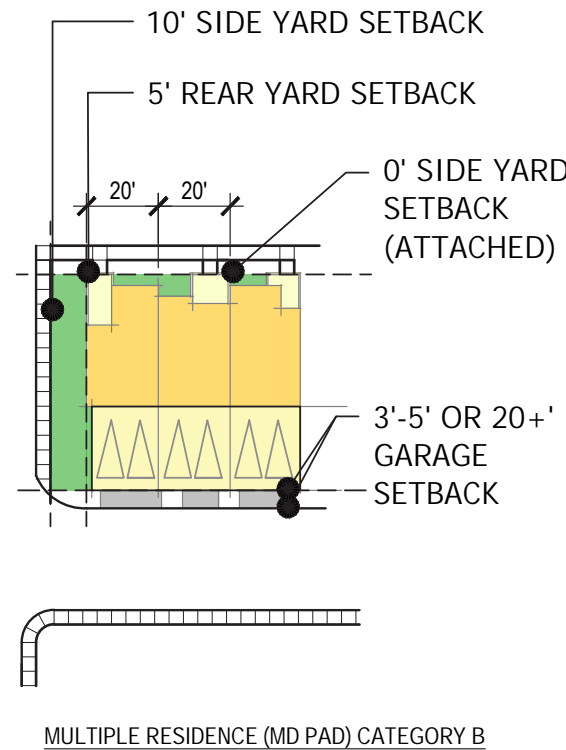
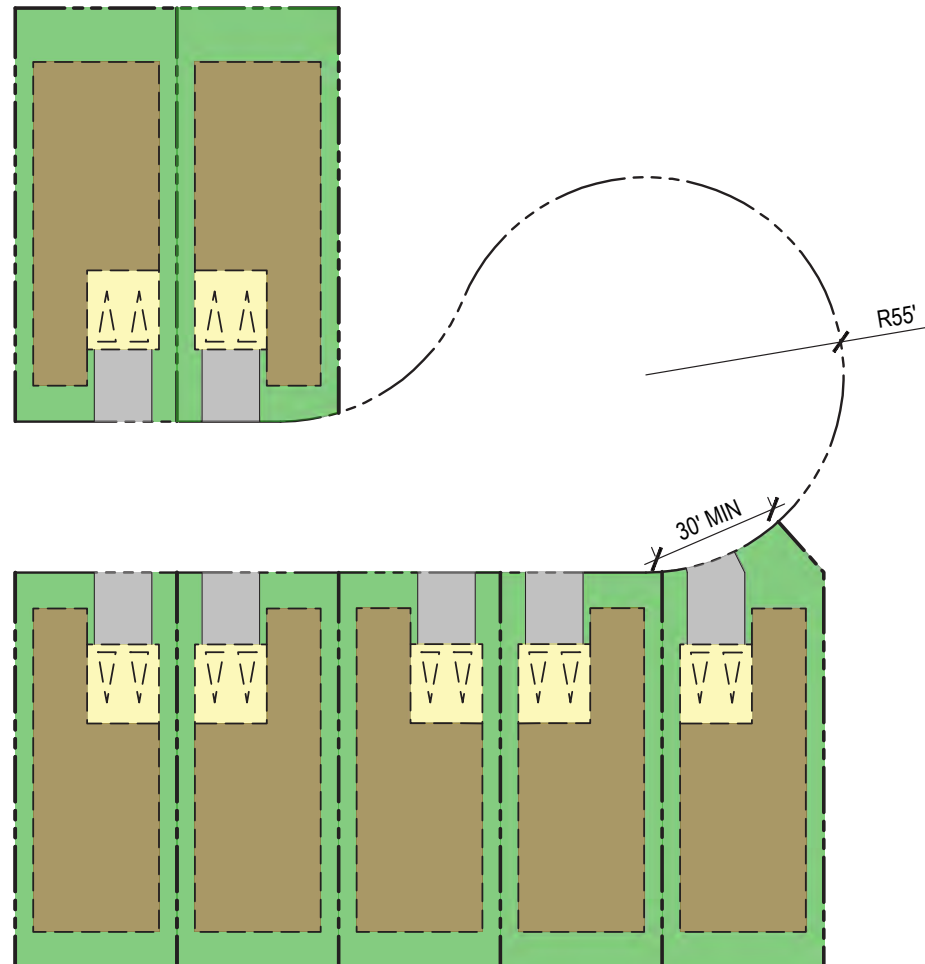


Exhibit 8: Lot Fit Diagrams

Exhibit 9: Proposed Density Comparison - Map

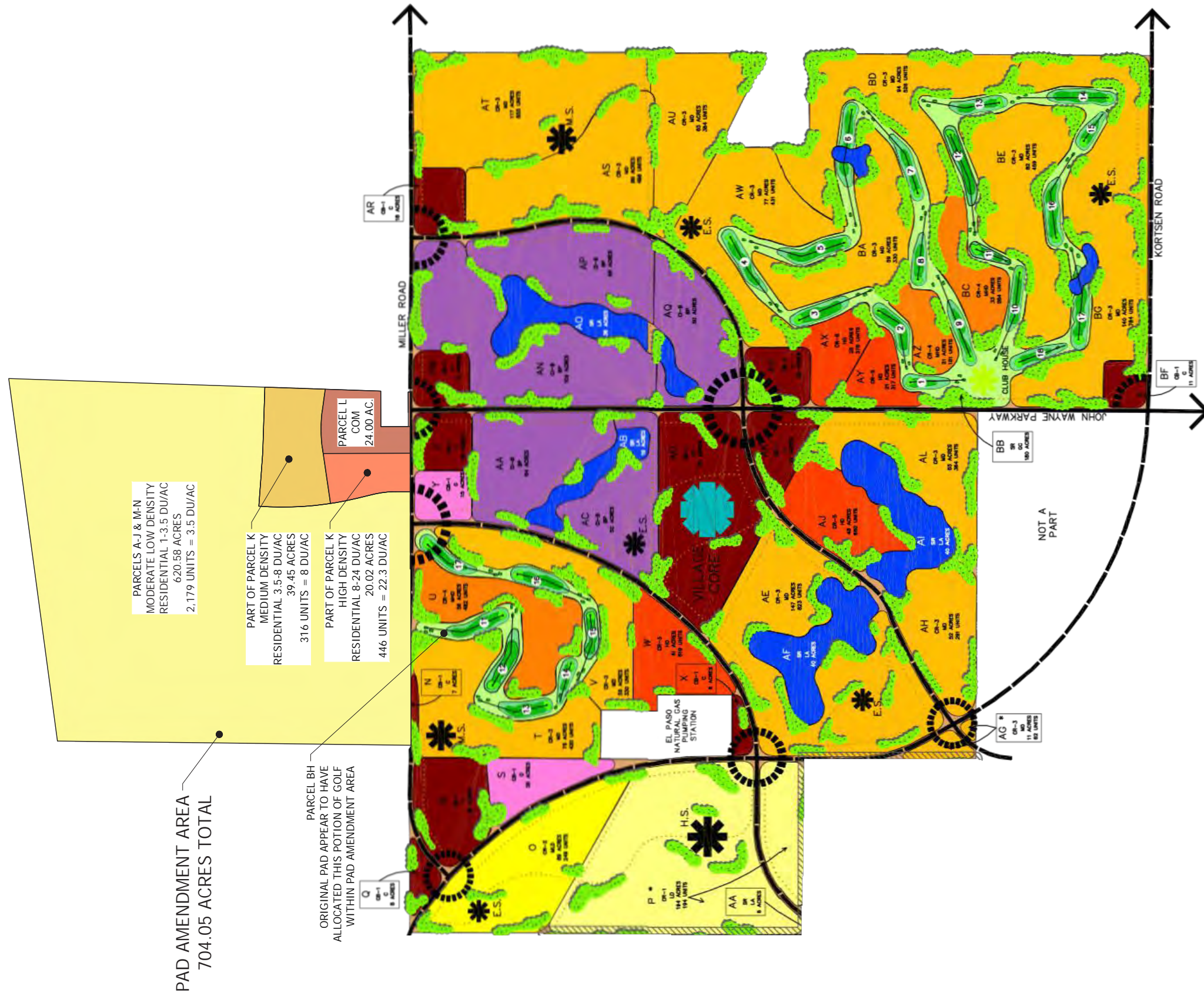


Exhibit 9: Proposed Density Comparison - Tables

Existing Entitlements and Proposed Amendments Table									
PAD Amendment Area - Moderate Low Density (1-3.5 DU/AC)									
Description	Existing			Proposed					
	Gross Acreage	766 AC	3.9 DU/AC	620.58 AC	Gross AC	3.5 DU/AC			
Parcel	*Land Use	Gross AC	Allowable Units	*Land Use	Gross AC	Proposed Units			
PARCEL A	MD	104 AC	584 DU	MLD	620.58 AC	2,172 DU			
PARCEL B	OFF	24 AC	0 DU						
PARCEL C	MHD	49 AC	419 DU						
PARCEL D	COM	20 AC	0 DU						
PARCEL E	COM	25 AC	0 DU						
PARCEL F	MD	117 AC	656 DU						
PARCEL G	OFF	17 AC	0 DU						
PARCEL H	MHD	104 AC	898 DU						
PARCEL I	MD	82 AC	460 DU						
PARCEL J	GOLF	208 AC	0 DU						
PARCEL M	COM	7 AC	0 DU						
PARCEL N	COM	9 AC	0 DU						
Moderate Low Density	MLD						MLD	620.58 AC	2,172 DU
Medium Density	MD	303 AC	1,700 DU				MD		0 DU
Medium High Density	MHD	153 AC	1,317 DU	MHD		0 DU			
Commercial	COM	61 AC		COM					
Office	OFF	41 AC		OFF					
Golf Course	GOLF	208 AC		GOLF					
PAD Amendment Area - MLD Total		766 AC	3,017 DU		620.58 AC	2,172 DU			

PAD Amendment Area - Medium Density (3.5-8 DU/AC) & High Density (8-24 DU/AC)						
Description	Existing			Proposed		
	Gross Acreage	47 AC	15.0 DU/AC	59.47 AC	Gross AC	Proposed Units
Parcel	*Land Use	Gross AC	Allowable Units	*Land Use	Gross AC	Proposed Units
PARCEL K	HD	47 AC	705 DU	MD	39.45 AC	316 @ 8 DU/AC
				HD	20.02 AC	446 @ 22.3 DU/AC
PAD Amendment Area - MD & HD Total		47 AC	705 DU		59.47 AC	762 DU

PAD Amendment Area - Commercial						
Description	Existing			Proposed		
	Gross Acreage	27 AC	0.0 DU/AC	24.00 AC	Gross AC	Proposed Units
Parcel	*Land Use	Gross AC	Allowable Units	*Land Use	Gross AC	Proposed Units
PARCEL L	COM	27 AC	0 DU	COM	24.00 AC	
PAD Amendment Area - Com Total		27 AC	0 DU		24.00 AC	0.0 DU/AC

PAD Amendment Area Total						
Description	Existing			Proposed		
	Gross Acreage	**840 AC	4.4 DU/AC	**704.05 AC	Gross AC	Proposed Units
Parcel	*Land Use	Gross AC	Allowable Units	*Land Use	Gross AC	Proposed Units
Moderate Low Density	MLD			MLD	620.58 AC	2,172 DU
Medium Density	MD	303 AC	1,700 DU	MD	39.45 AC	316 DU
Medium High Density	MHD	153 AC	1,317 DU	MHD		
High Density	HD	47 AC	705 DU	HD	20.02 AC	446 DU
Commercial	COM	88 AC		COM	24.00 AC	
Office	OFF	41 AC		OFF		
Golf Course	GOLF	208 AC		GOLF		
PAD Amendment Area Total		840 AC	3,722 DU		**704.05 AC	2,934 DU

* Land uses shown represent alternative land uses allowed within the Moderate Low Density land use category. No land use change from Moderate Low Density is proposed.

** Proposed acreage varies from existing acreage due to discrepancies within existing Midway I PAD.

Table 1: Conformance with Alternative Land Uses for Moderate Low Density Residential						
Description	Land Use	Acreage Requirement	Proposed Acreage	Proposed units	Proposed Density	
Parcels A-J & M-N	Medium Density Residential (1-3.5 DU/AC)	NA	620.6 AC	2,180 DU	3.5 DU/AC	
Parcel K	Medium Density (3.5-8 DU/AC)	25 - 50 AC	39.5 AC	316 DU	8.0 DU/AC	
	High Density Residential (8-24 DU/AC)	Up To 25 AC	20.0 AC	446 DU	22.3 DU/AC	
Parcel L	Commercial	Up To 25 AC	24.0 AC		NA	

Alternative Land Uses for Moderate Low Density Residential

Residential Land Use Categories

Moderate Low Density Residential (1-3.5 du/ac)

Medium Density Residential (3.5-8 du/ac)

High Density Residential (8-24 du/ac)

Medium Density Residential Uses

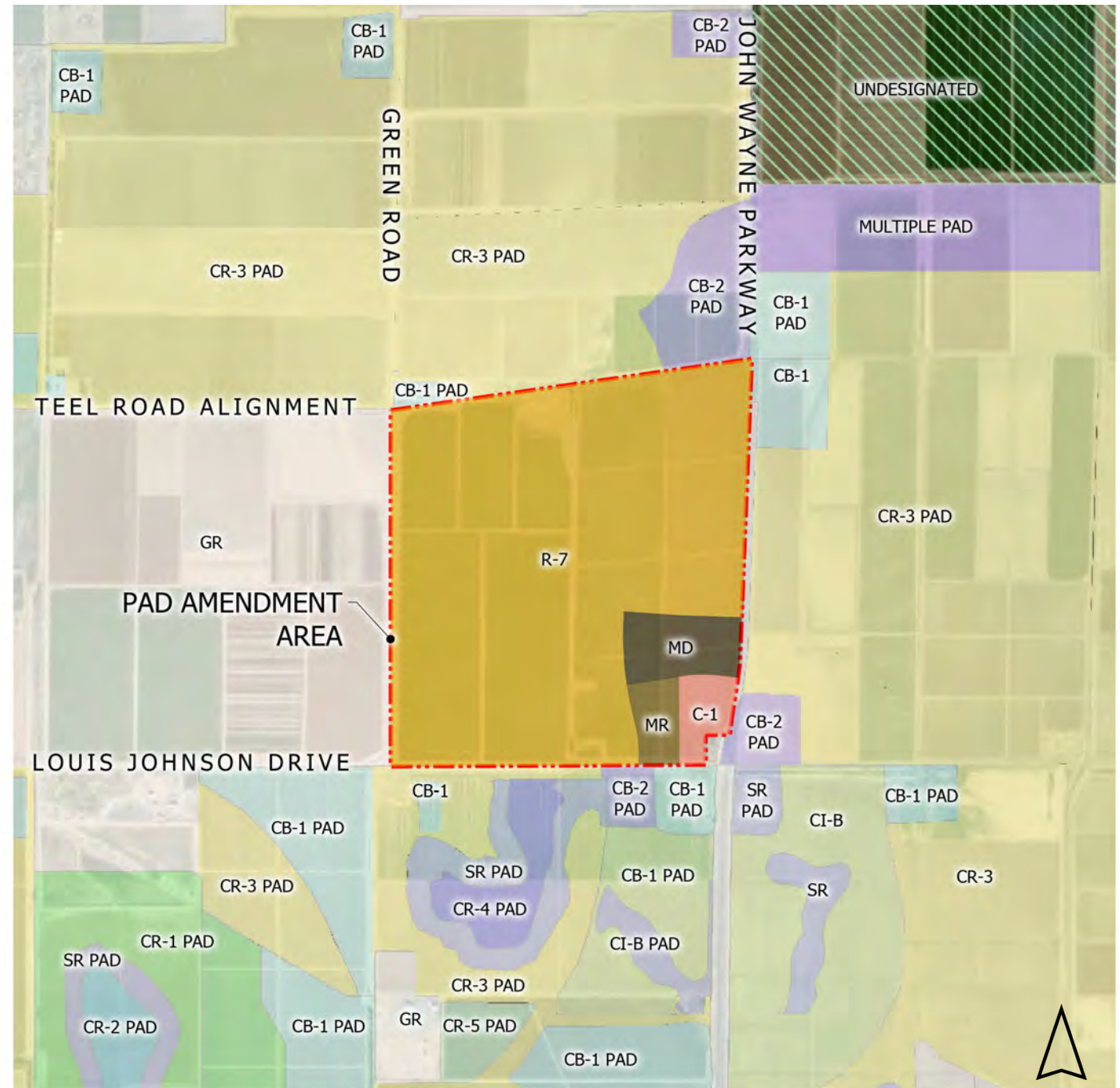
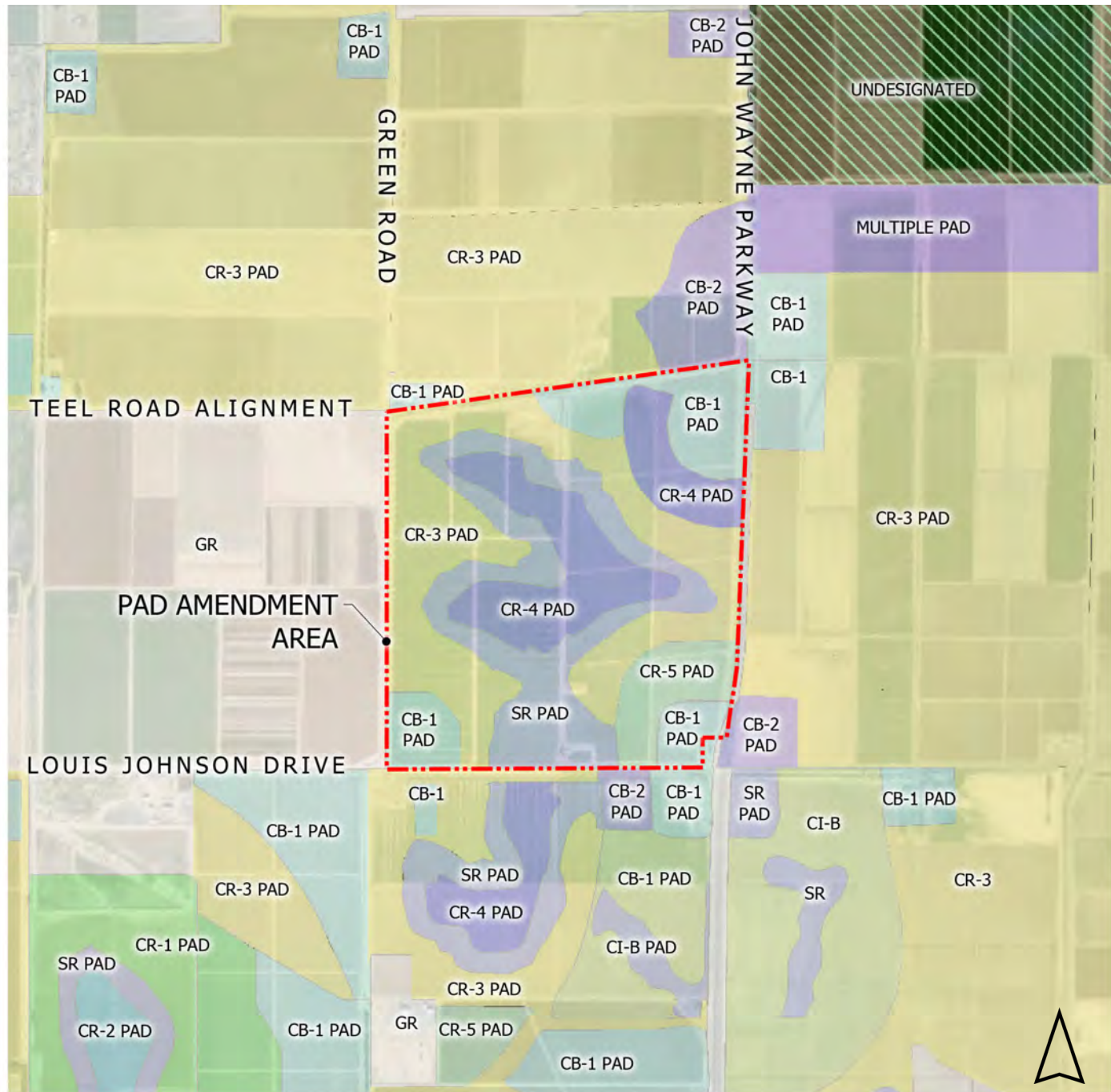
25 to 50 acres

- Allowed at the intersection of a proposed or existing principle arterial and a proposed or existing pathway or higher roadway classification, or
- Allowed as part of a 250 acre or larger master planned community

High Density Residential Uses

Up to 25 acres

- Allowed at the intersection of a proposed or existing principle arterials and a proposed or existing pathway or higher roadway classification, or
- Allowed as part of a 150 acre or larger master planned community with a land use transition to adjacent properties



EXISTING ZONING FOR AMENDMENT

- CR-3 SINGLE RESIDENCE ZONE
- CR-4 MULTIPLE RESIDENCE ZONE
- CR-5 MULTIPLE RESIDENCE ZONE
- CB-1 LOCAL BUSINESS ZONE
- SR SUBURBAN RANCH ZONE

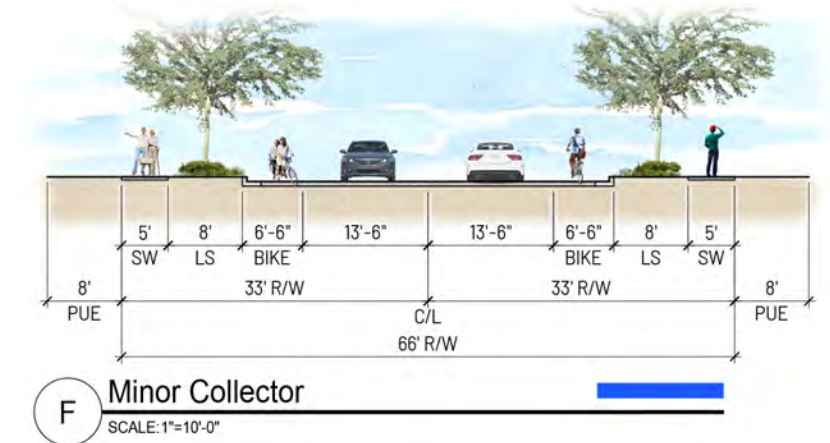
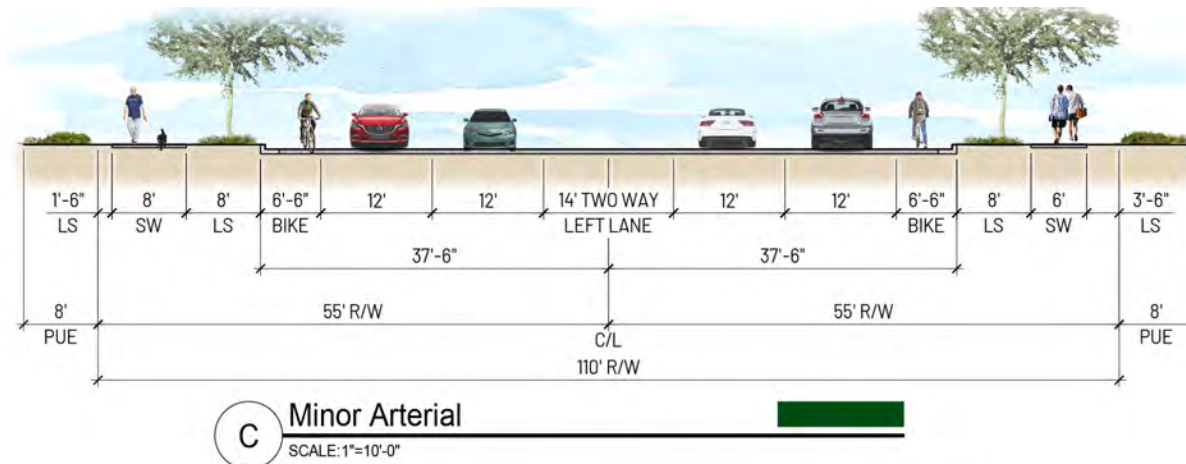
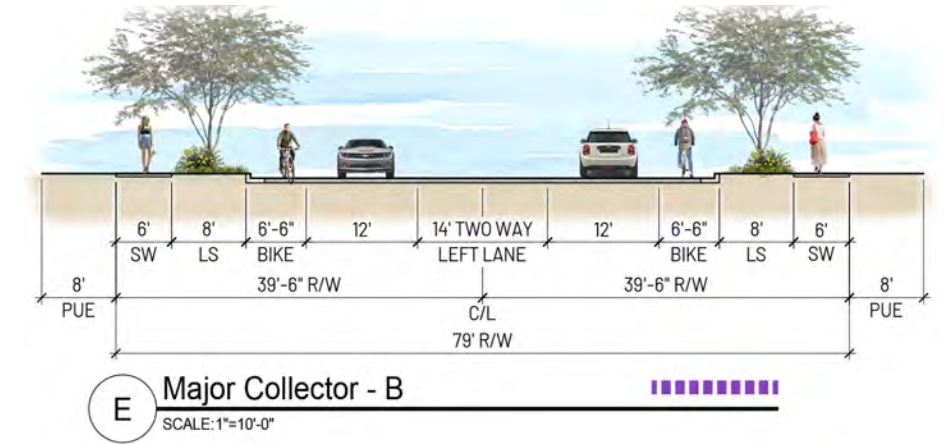
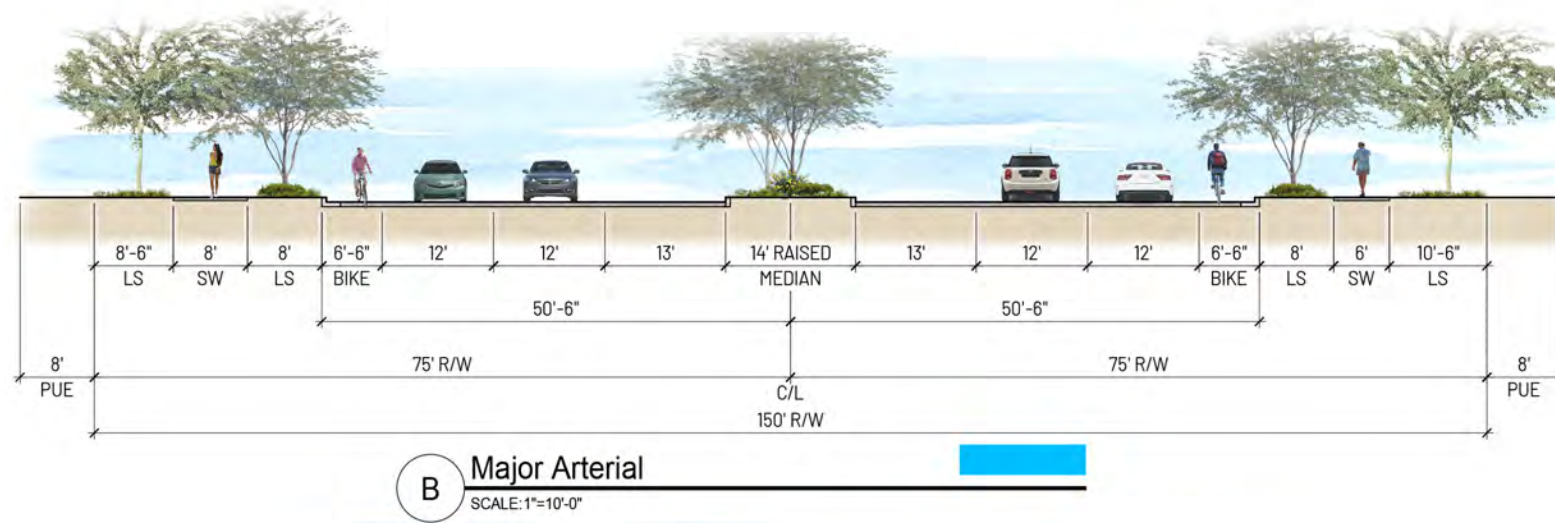
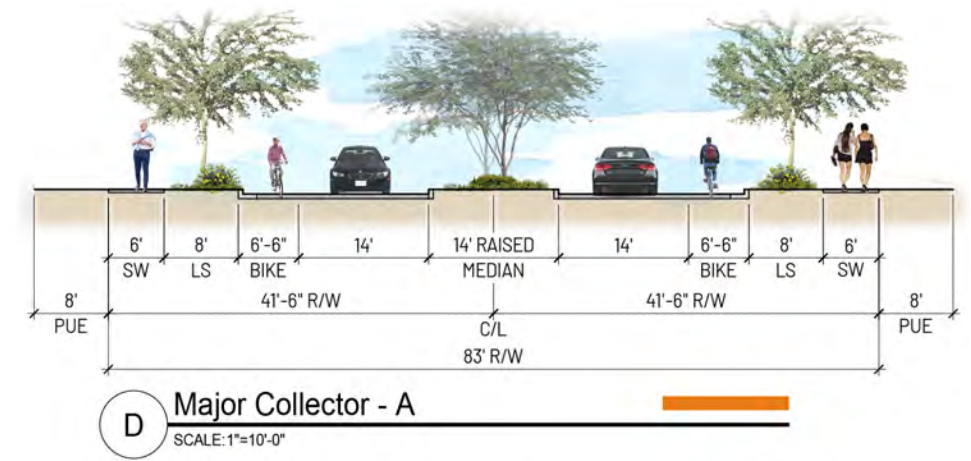
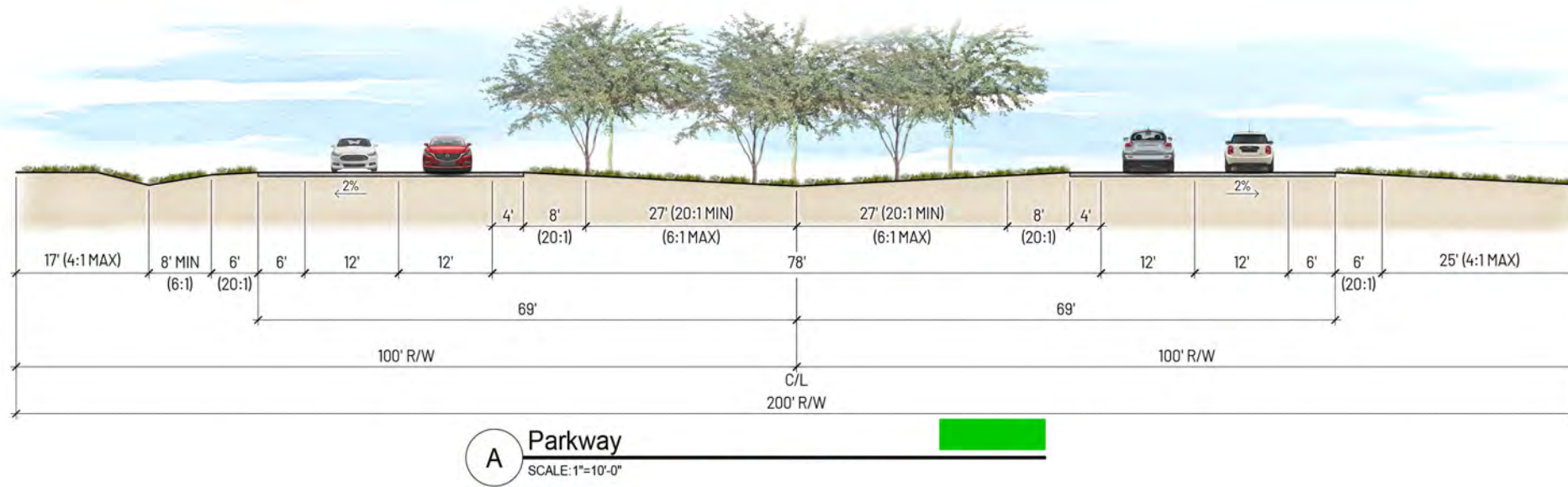
Midway I PAD Amendment Area - Comparison									
		Existing				Proposed			
Land Use	Zoning	Gross AC	Units	Density	Land Use	Zoning	Gross AC	Units	Density
Moderate Low Density	CR-3	303 AC	1,700 DU	5.6 DU/AC	Moderate Low Density	R-7	620.58 AC	2,172 DU	3.5 DU/AC
	CR-4	153 AC	1,317 DU	8.6 DU/AC		MD	39.45 AC	316 DU	8.0 DU/AC
	CR-5	47 AC	705 DU	15.0 DU/AC		MR	20.02 AC	446 DU	22.3 DU/AC
	CB-1	129 AC				C-1	24.00 AC		
	SR	208 AC							
PAD Amendment Area Total		*840 AC	3,722 DU	4.4 DU/AC			*704.05 AC	2,934 DU	4.2 DU/AC

* Proposed acreage varies from existing acreage due to discrepancies within existing Midway I PAD.

PROPOSED ZONING FOR AMENDMENT AREA

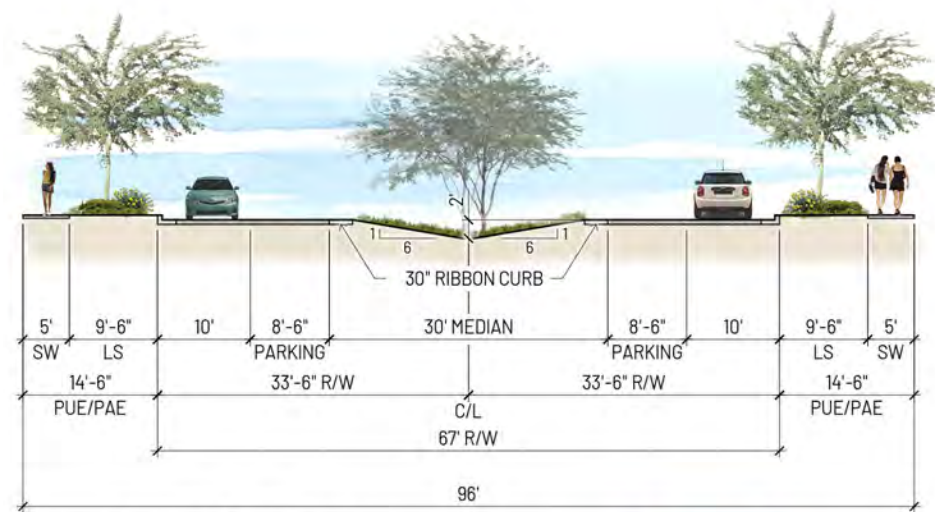
- R-7 SINGLE RESIDENCE ZONE
- MD MIXED DWELLING ZONE
- MR MULTIPLE RESIDENCE ZONE
- C-1 NEIGHBORHOOD COMMERCIAL ZONE

Exhibit 10: Existing and Proposed Zoning Map

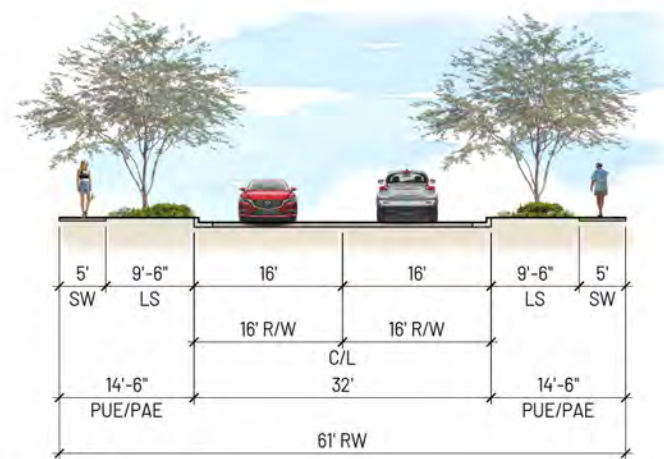


Note: See **Exhibit 17: Conceptual Landscape Character** for street theming

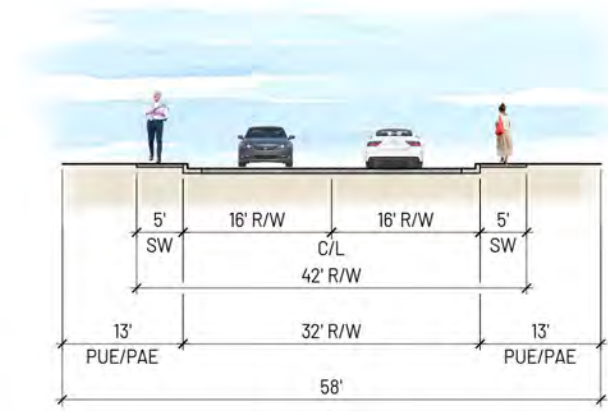
Exhibit 12: Street Sections



G Local Street - A
SCALE: 1"=10'-0"



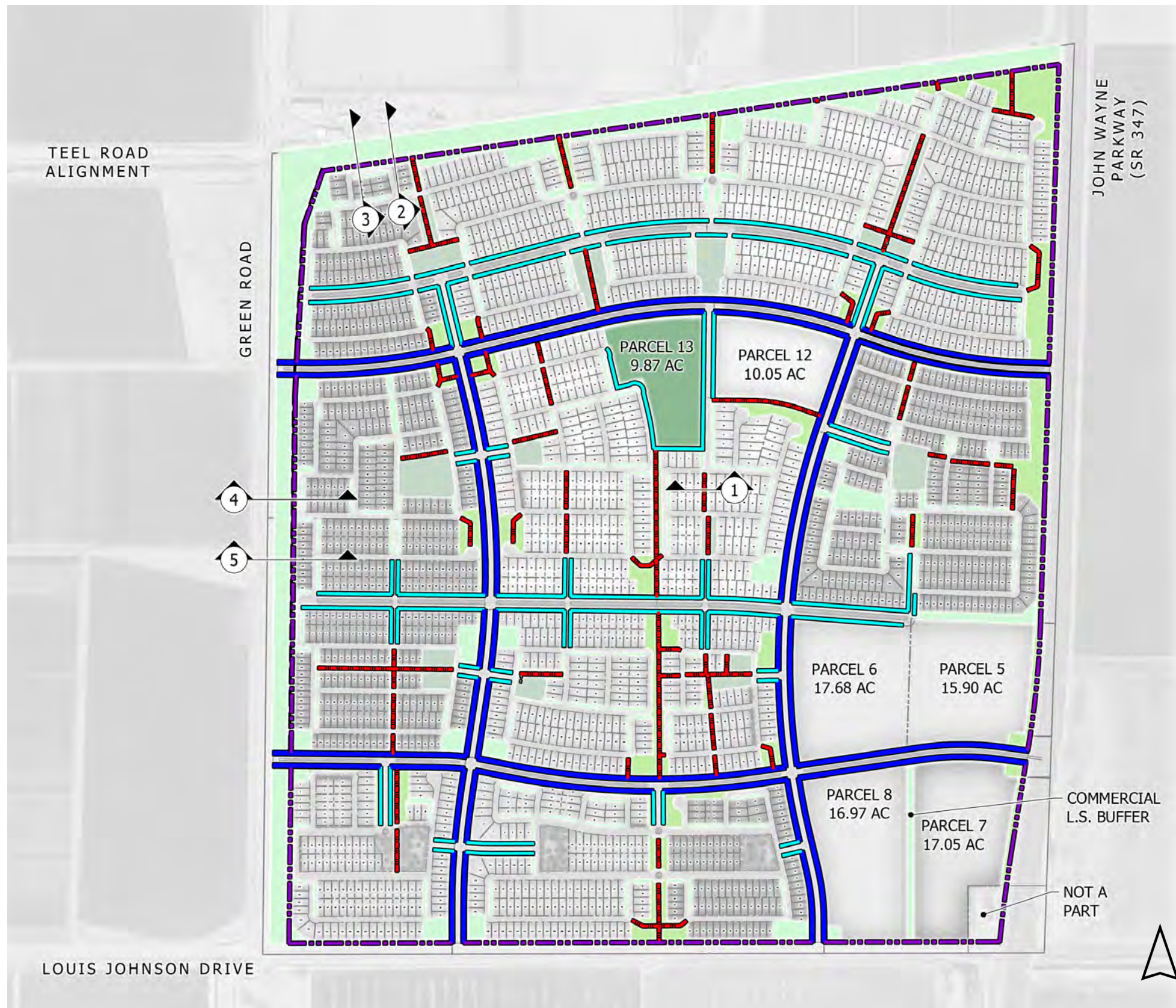
H Local Street - B
SCALE: 1"=10'-0"




I Local Street - C
SCALE: 1"=10'-0"

Note: See **Exhibit 17: Conceptual Landscape Character** for street theming

Street Sections Continued



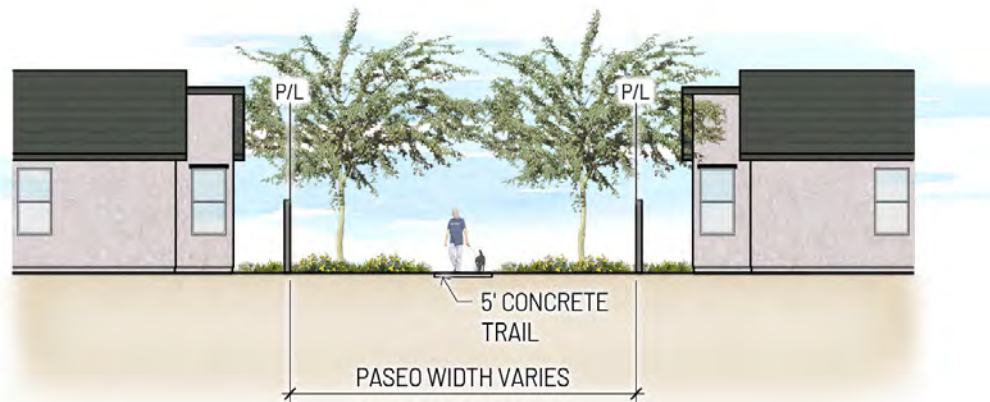
LEGEND

- 5' SIDEWALK
- 6' SIDEWALK
- 5' CONCRETE TRAIL
- - - 5' PERIMETER TRAIL
-  CONCEPTUAL TRAIL SECTION LOCATIONS

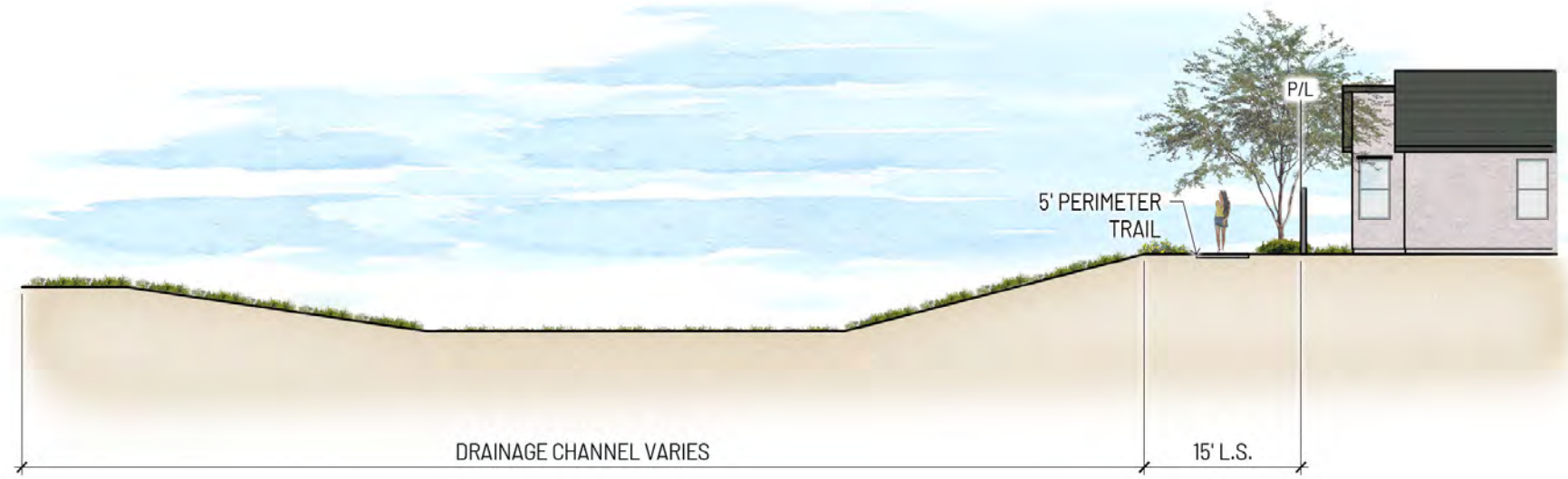
NOTE: REFERENCE EXHIBITS 14-15: CONCEPTUAL TRAIL SECTIONS FOR DETAILED CROSS SECTIONS

NOTE: FOR DETAILED STREET CROSS SECTIONS SEE STREET SECTIONS EXHIBIT

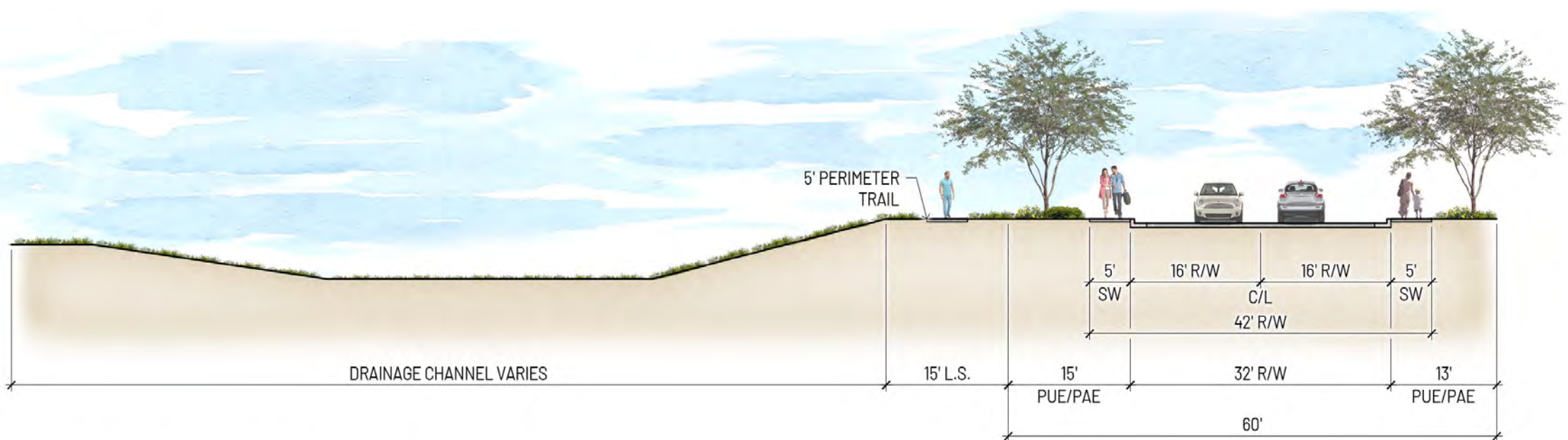
Exhibit 13: Conceptual Circulation and Trails Plan



1 Concrete Trail Within Paseo
SCALE: 1"=10'-0"

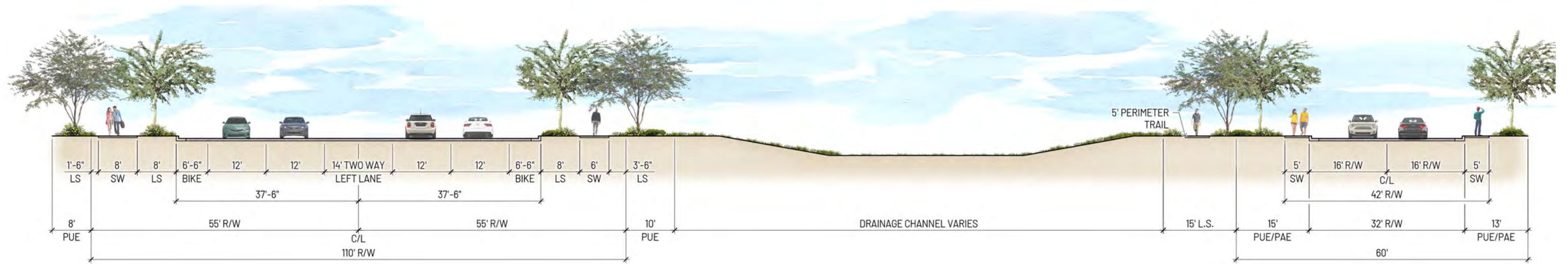


2 North Perimeter Trail Adjacent to Home
SCALE: 1"=10'-0"

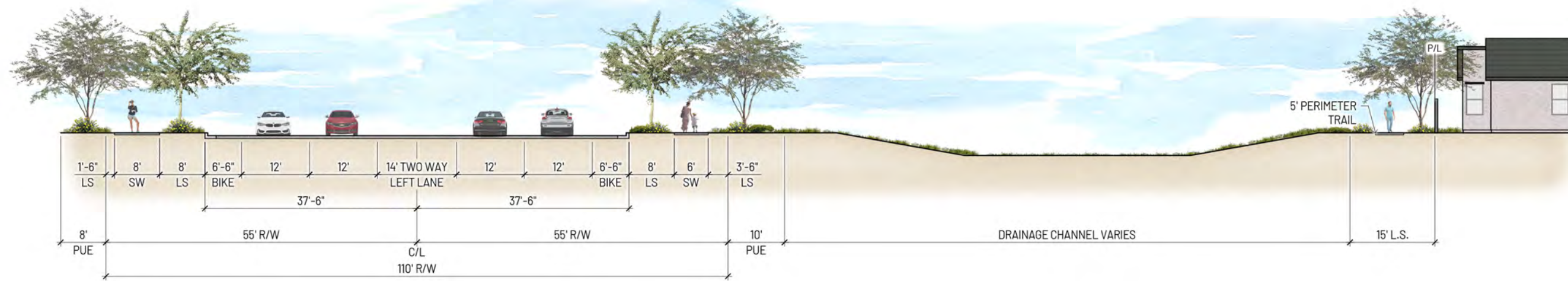


3 North Perimeter Trail Adjacent to Road
SCALE: 1"=10'-0"

Exhibit 14: Conceptual Trail Sections 1-3

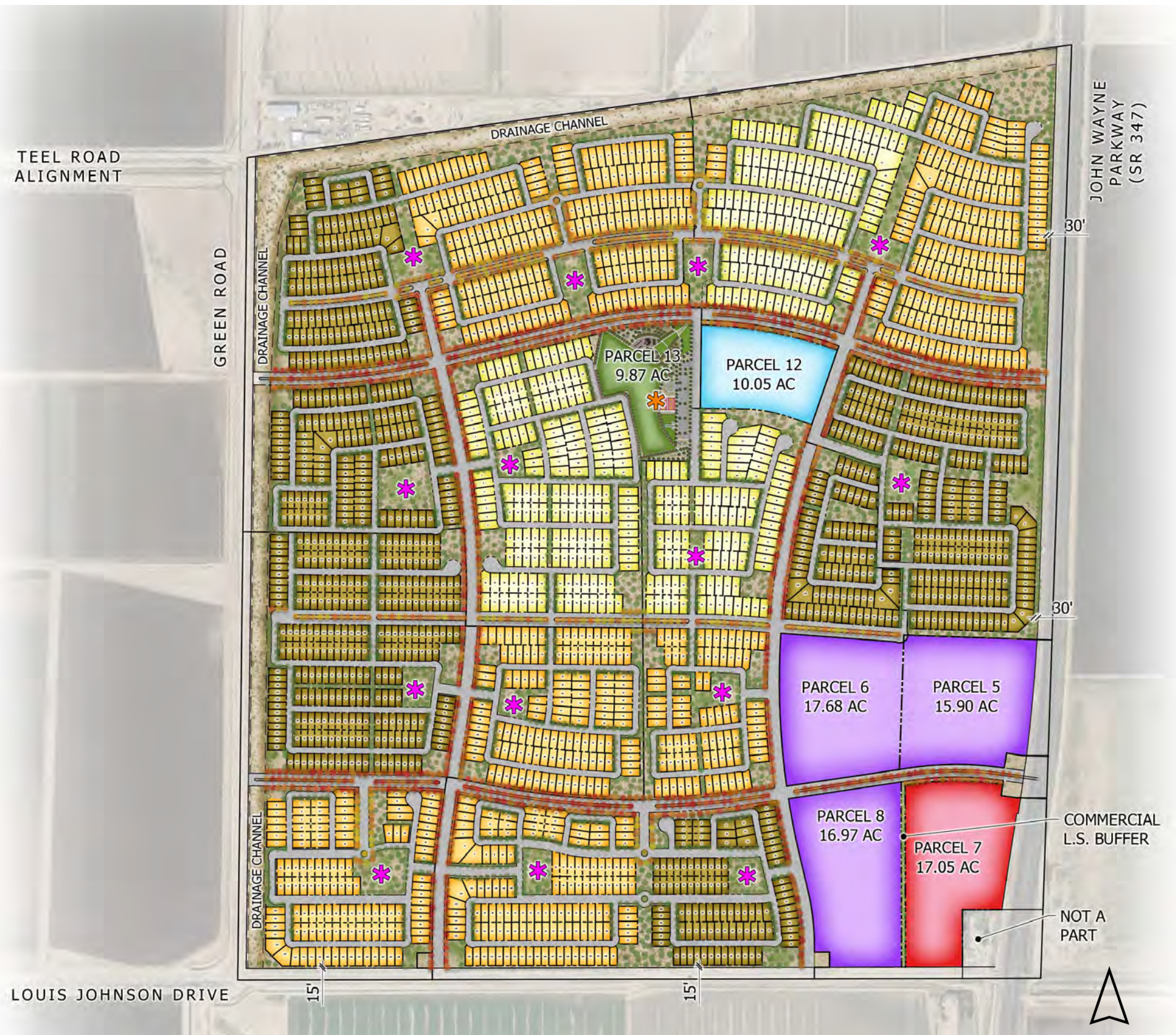


4 West Perimeter Trail Adjacent to Road
SCALE: 1"=10'-0"








5 West Perimeter Trail Adjacent to Home
SCALE: 1"=10'-0"

Exhibit 15: Conceptual Trail Sections 4-5



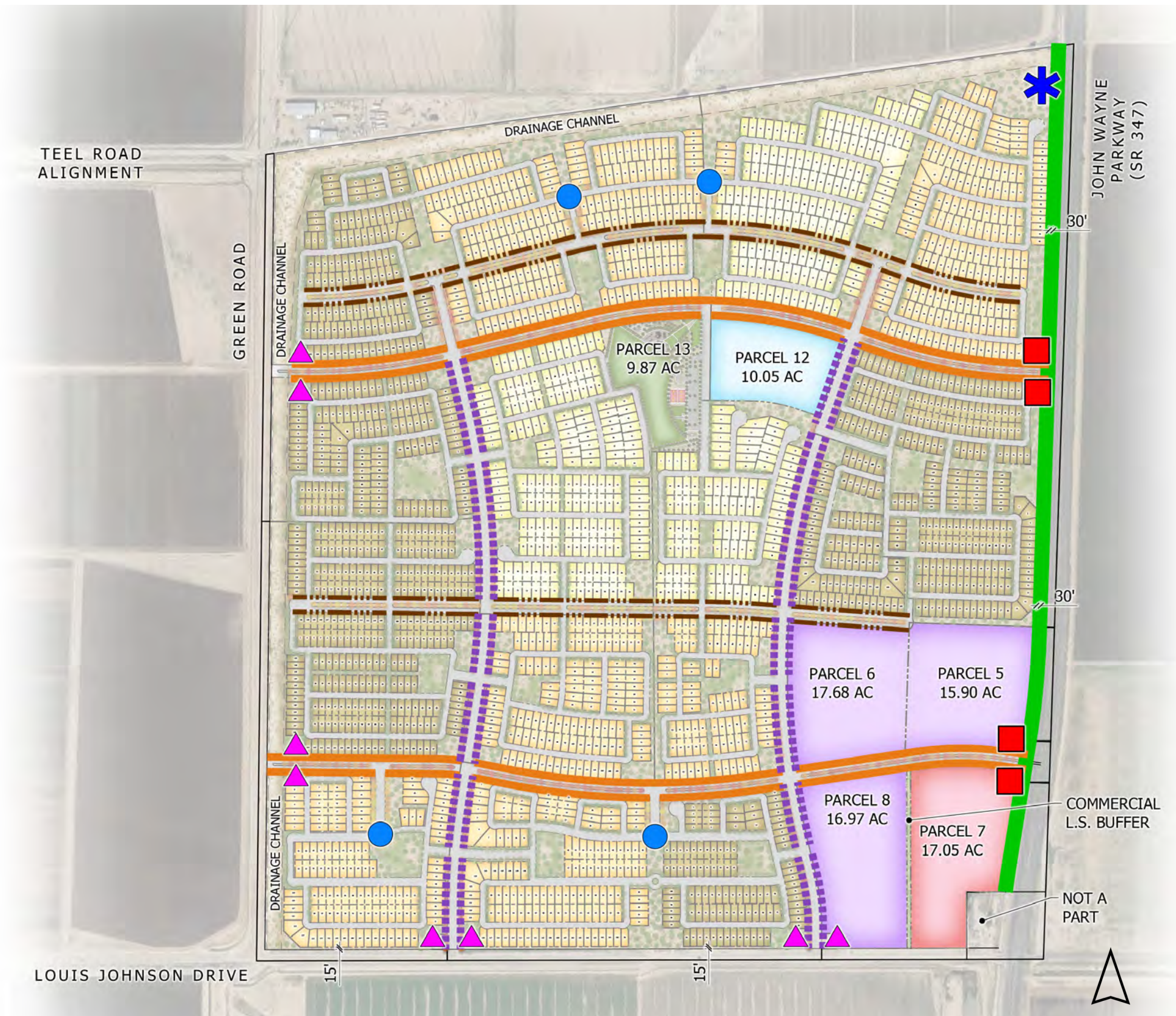
LEGEND

-  CANOPY AND ORNAMENTAL TREES
TREES TO BE SELECTED AND PLANTED PER ANA STANDARDS 15 GALLON -24" BOX
-  SHRUBS AND GROUNDCOVER
SHRUB DENSITY PER PINAL COUNTY STANDARDS
ALL LANDSCAPE AREAS TO RECEIVE 2" COVER OF DECOMPOSED GRANITE 1-5 GALLON
-  TURF
MID-IRON SOD
-  NEIGHBORHOOD PARK - SEE EXHIBIT 21: NEIGHBORHOOD PARK FOR CONCEPTUAL LIST OF AMENITIES
-  POCKET PARK - SEE EXHIBITS 22-23: CONCEPTUAL POCKET PARK VIGNETTES FOR CONCEPTUAL LIST OF AMENITIES

NOTE:
PLEASE REFER TO THE MASTER PLANT PALETTE IN THE PAD FOR A COMPLETE LIST OF PROPOSED PLANT MATERIALS

- PLANTING NOTES:**
- ALL FIVE (5) GALLON SHRUBS SHALL BE PLANTED AT A RATE OF FIVE SHRUBS PER 30 FEET OF LINEAR STREET FRONTAGE
 - FIVE (5) GALLON SHRUBS WITHIN RECREATION AREAS SHALL BE PLANTED AT A RATE OF SEVEN (7) SHRUBS PER 1,000 SQUARE FEET OF SURFACE AREA PROVIDED
 - THE MINIMUM NUMBER OF TREES REQUIRED SHALL BE PLANTED PER THE OPEN SPACE AND RECREATION AREA MANUAL
 - TWENTY-FIVE PERCENT (25%) OF THE TREES REQUIRED SHALL BE AT LEAST 24" BOX SIZE
 - DECORATIVE DESIGN ELEMENTS SUCH AS BENCHES AND PAVING ACCENTS SHALL BE PROVIDED WHERE APPROPRIATE TO ENHANCE THE OPEN SPACE AREAS
 - NO WASH CORRIDORS OR NATURAL FEATURES EXIST WITHIN THE SITE
 - A VEGETATIVE SALVAGE PLAN DOES NOT EXIST FOR THE SITE AS IT IS EXISTING FARMLAND
 - THERE IS NO CONSERVATION OPEN SPACE WITHIN THE SITE OR VICINITY
 - LOCATION OF TREES AND SHRUBS SHALL BE PROVIDED DURING THE CONSTRUCTION DOCUMENTATION PROCESS AND SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ARIZONA NURSERYMAN'S ASSOCIATION OR ARIZONA ASSOCIATION OF NURSERYMEN
 - RIPARIAN VEGETATION AND BIOLOGICAL HABITATS ARE NOT PRESENT ON THE SITE
 - A MINIMUM OF 25% OF EACH RECREATION AREA WILL SHALL BE DRY AND NOT USED AS RETENTION/DETENTION

Exhibit 16: Conceptual Landscape Plan



LEGEND









-  REGIONAL ENTRY MONUMENT
-  PRIMARY ENTRY MONUMENT
-  SECONDARY ENTRY MONUMENT
-  MAJOR ROUNDABOUT CHARACTER
-  PARKWAY CHARACTER
-  MAJOR COLLECTOR A CHARACTER
-  MAJOR COLLECTOR B CHARACTER
-  LOCAL CHARACTER

Exhibit 17: Conceptual Landscape Character



LEGEND

Amendment Area Open Space Table				
*Net Acreage	620.58 Ac.			
Description	Required (%)	Required (Acreage)	Provided (%)	Provided (Acreage)
Neighborhood Park (Active Recreational)				** 9.87 Ac.
Pocket Park (Active Recreational)				** 7.24 Ac.
Trail Areas (Active Recreational)				** 26.33 Ac.
Total Active Recreational Open Space	7.00%	** 43.44 Ac.	7.00%	43.44 Ac.
Passive Open Space	11.00%	68.26	11.00%	68.26 Ac.
Total Open Space	18.00%	111.70 Ac.	18.00%	111.70 Ac.

*NET ACREAGE BASED OFF OF TOTAL ACREAGE MINUS COMMERCIAL AREA AND MIXED-USE AREA FOR OPEN SPACE CALCULATIONS. ANY PORTIONS OF MIXED-USE AREA DEVELOPED AS RESIDENTIAL OR NON-RESIDENTIAL, SHALL CONFORM WITH PINAL COUNTY REQUIRED OPEN SPACE PERCENTAGE

**ACTIVE RECREATIONAL OPEN SPACE ACREAGE MAY INCREASE OR DECREASE BETWEEN CATEGORIES, SO LONG AS THE TOTAL REQUIRED ACTIVE RECREATIONAL OPEN SPACE IS PROVIDED.

*Passive open space is defined as all areas that are not classified as active open space.

Exhibit 18: Open Space Plan

LEGEND

- | | |
|--------------------------------------|--------------------------|
| ① TURF / RETENTION | ⑧ PARK ENTRY PLAZA |
| ② MULTI-USE SPORTS FIELD | ⑨ TOT LOT PLAY STRUCTURE |
| ③ BASKETBALL COURT | ⑩ RAMADA AT TOT LOT |
| ④ DOG PARK - LARGE & SMALL DOG AREAS | ⑪ TURF AMPHITHEATER |
| ⑤ PICNIC AREA W/COVERED SHADE | ⑫ TREE GROVE |
| ⑥ PARKING LOT | ⑬ CONCRETE SIDEWALK |
| ⑦ DROPOFF | |



Exhibit 19: Neighborhood Park

LEGEND

- ① PLAY STRUCTURE - MULTI-AGE
- ② LOW SCREEN WALLS IN LANDSCAPE
- ③ COVERED RAMADA
- ④ TREE LINED SIDEWALKS
- ⑤ CONCRETE WALK THROUGH OPEN SPACE
- ⑥ TURF AREA / RETENTION

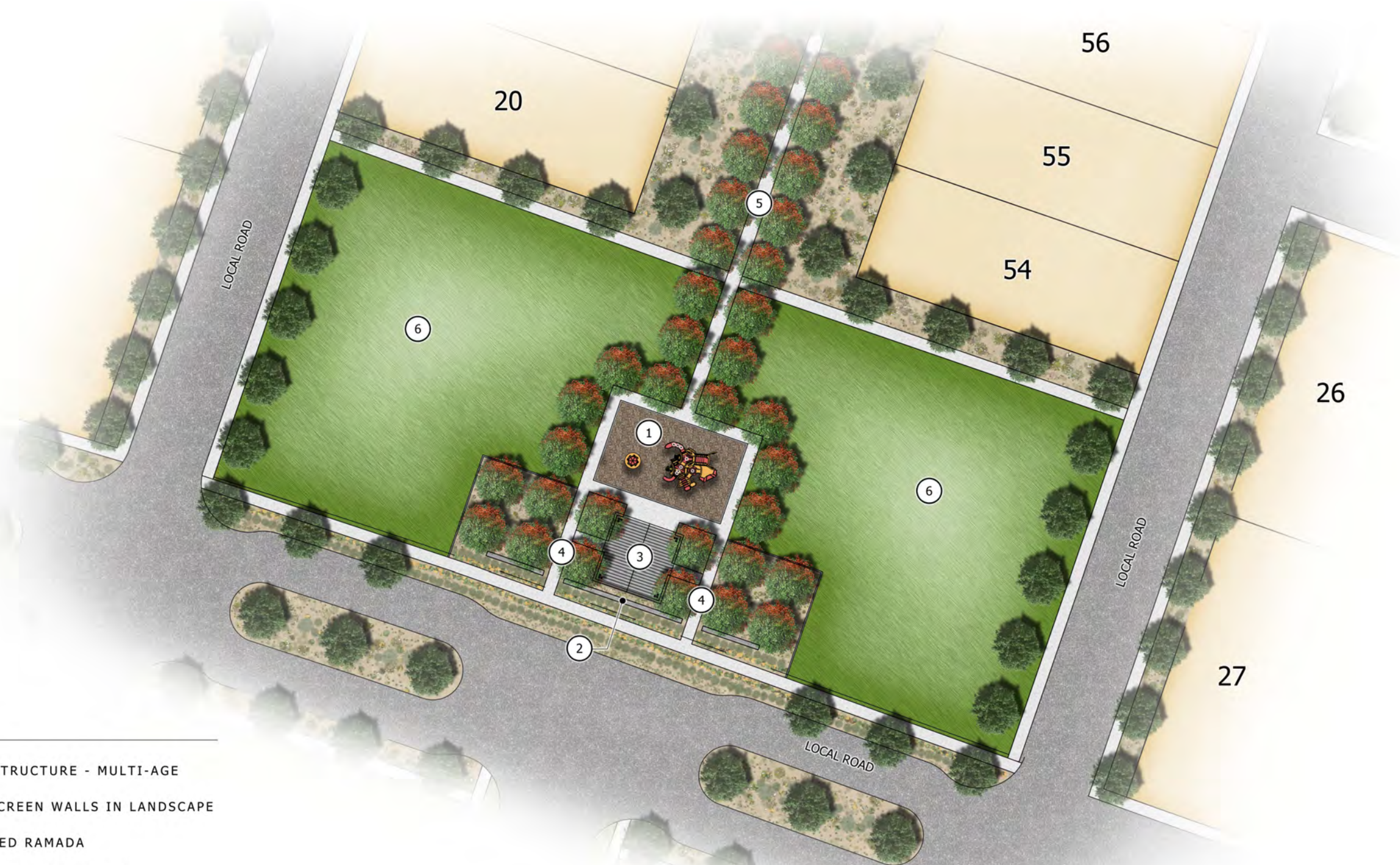


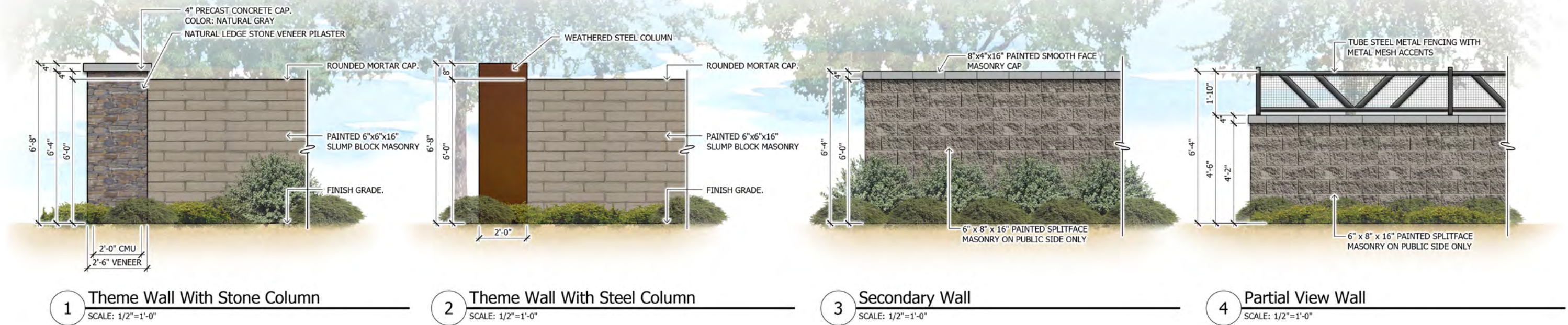
Exhibit 20: Conceptual Pocket Park Vignette 1



Exhibit 21: Conceptual Pocket Park Vignette 2



Exhibit 22: Wall Plan

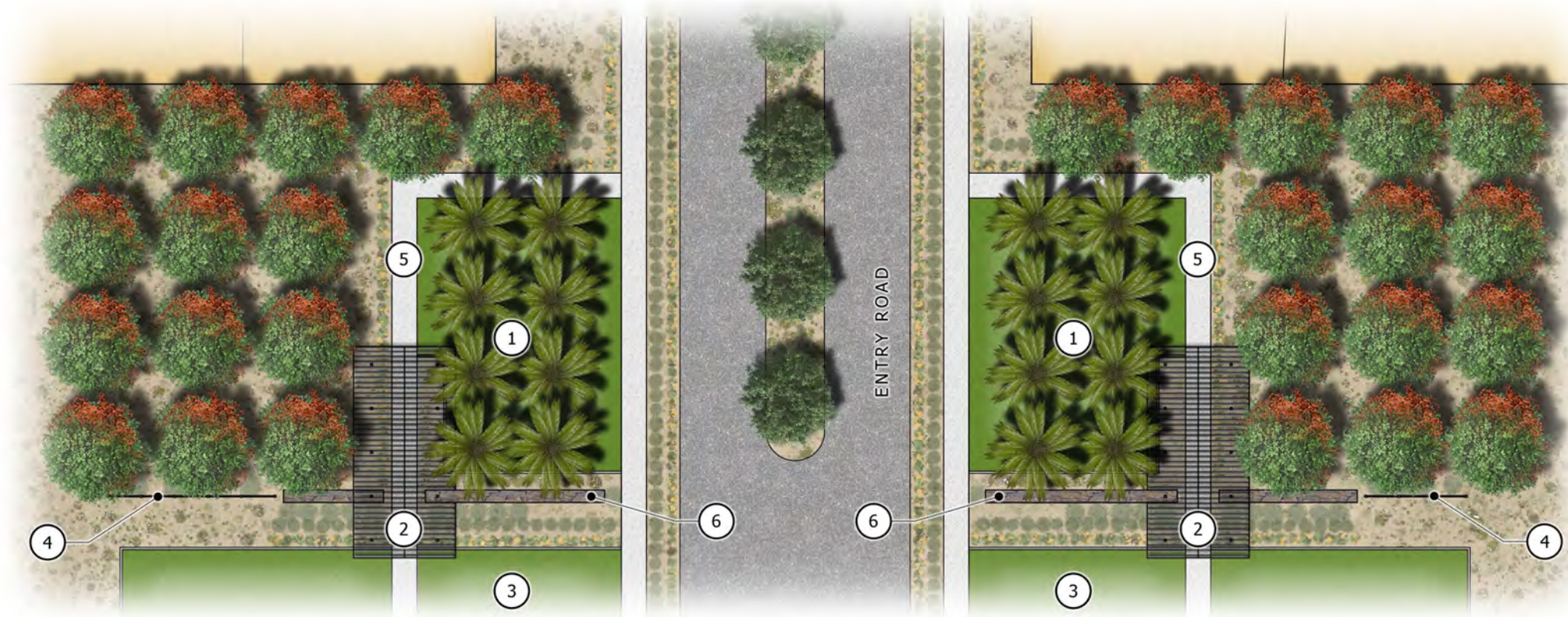


NOTE:
 DESIGNS ARE CONCEPTUAL AND
 SUBJECT TO CHANGE AT FINAL DESIGN

Exhibit 23: Wall Details



Exhibit 24: Regional Entry Monument



LEGEND

- ① PALM GROVE
- ② ENTRY PORTAL
- ③ TURF
- ④ RAIL FENCING
- ⑤ CONCRETE SIDEWALK
- ⑥ MONUMENT SIGN WALL

NOTE:
DESIGNS ARE CONCEPTUAL AND
SUBJECT TO CHANGE AT FINAL DESIGN

1 Primary Entry Monument Plan
SCALE: 1/16" = 1'-0"



2 Primary Entry Monument Elevation
SCALE: 3/32" = 1'-0"

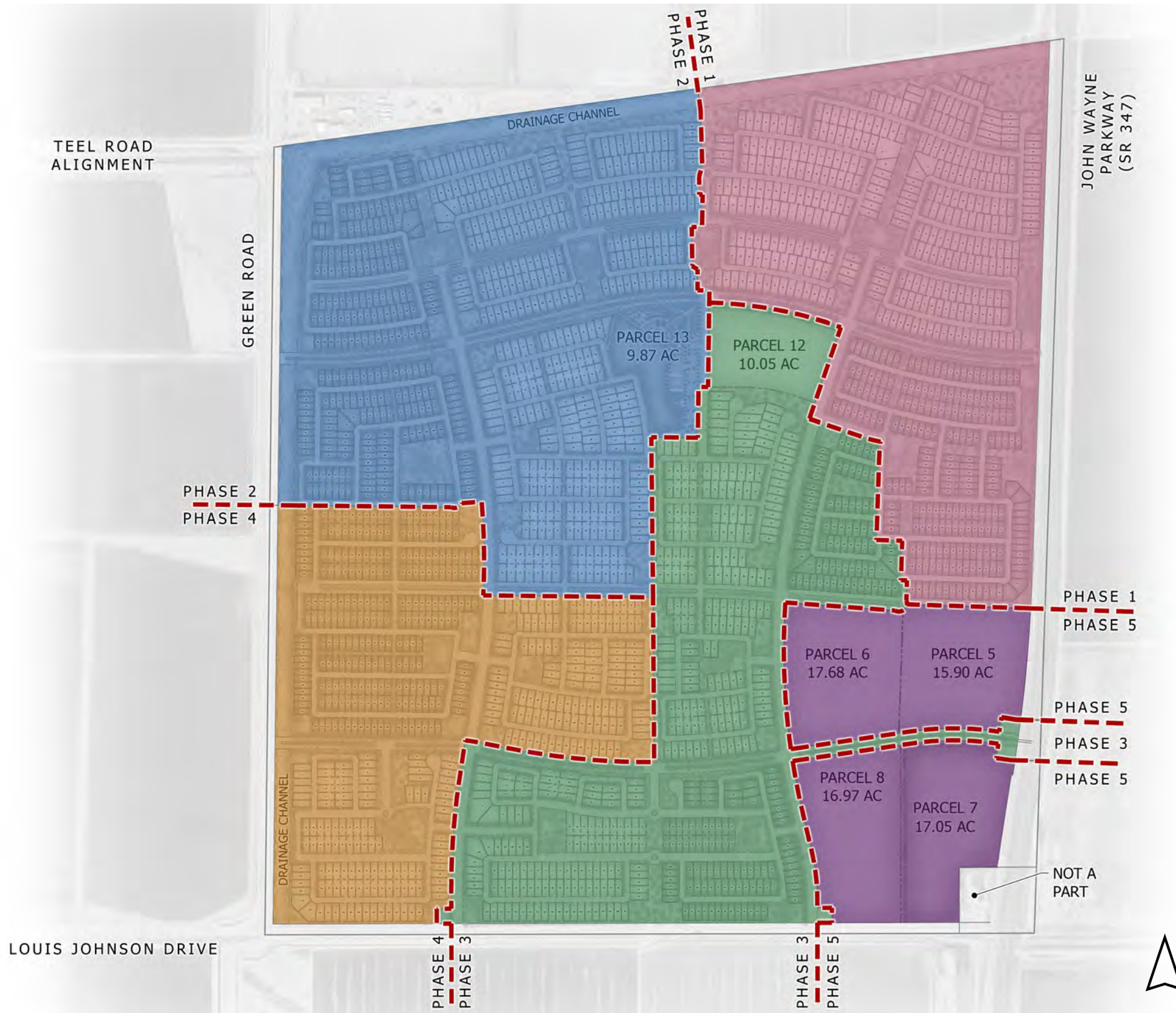
Exhibit 25: Primary Entry Monument



1 Secondary Entry Monument
SCALE: 1/2"=1'-0"

NOTE:
DESIGNS ARE CONCEPTUAL AND
SUBJECT TO CHANGE AT FINAL DESIGN

Exhibit 26: Secondary Entry Monument



LEGEND

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PHASE 5

PHASE BUILDOUT					
PHASE	GROSS ACREAGE	* UNITS	DENSITY	ZONING	*** PROJECTED BUILDOUT TIMEFRAME
PHASE 1	156.33 AC.	546	3.49	R-7	2024-2029
PHASE 2	193.42 AC.	639	3.30	R-7	2029-2034
PHASE 3	155.22 AC.	495	3.19	C-1, MD, MR & R-7	2034-2038
PHASE 4	123.46 AC.	492	3.99	R-7	2038-2042
PHASE 5	75.62 AC.	762	10.08	C-1, MD & MR	2042-2047
TOTAL	704.05 AC.	** 2,934	4.17	C-1, MD, MR & R-7	16-25 YEARS

* QUANTITIES OF UNITS PER PHASE MAY INCREASE OR DECREASE, SO LONG AS THE OVERALL UNIT TOTAL IS NOT EXCEEDED.

** OVERALL UNIT TOTAL.

*** PROJECTED BUILDOUT TIMEFRAME SUBJECT TO CHANGE BASED ON MARKET CONDITIONS.

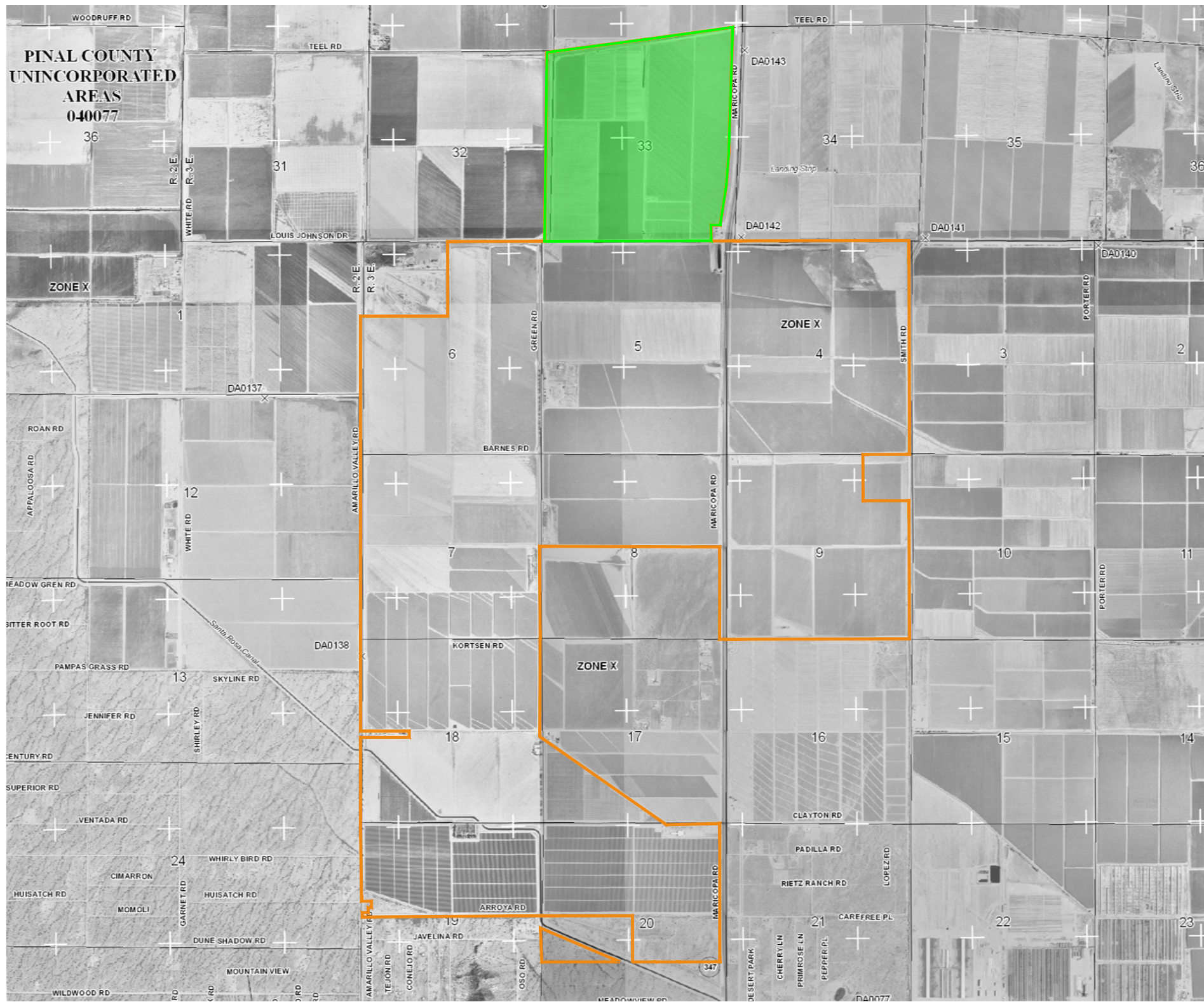
Exhibit 27: Phasing Plan



Exhibit 28: Mixed-Use Development Conceptual Perspective



Exhibit 29: Conceptual Mixed-Use and Commercial Parcels



NFP PANEL 1125E

FIRM
FLOOD INSURANCE RATE MAP
PINAL COUNTY,
ARIZONA
AND INCORPORATED AREAS

PANEL 1125 OF 2575
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
PINAL COUNTY UNINCORPORATED AREAS	040077	1125	E


Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.


MAP NUMBER
04021C1125E

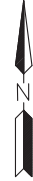
EFFECTIVE DATE
DECEMBER 4, 2007

Federal Emergency Management Agency

LEGEND

MIDWAY BOUNDARY 

PHASE 1 BOUNDARY 



3000 1500 0 3000
SCALE FEET

HILGARTWILSON
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
P: 602.490.0535 / F: 602.368.2436

MIDWAY - PHASE 1
PINAL COUNTY, ARIZONA

FIG 2: FEMA FLOOD MAP

PROJ. NO.: 2232
DATE: JUL 2021
SCALE: 1" = 3,000'
DRAWN BY: SL
CHECKED BY: AT

© Copyright, 2021, HILGARTWILSON, LLC

U:\2200\2232\2232.01 Tres Points LLC\REPORTS\DRAINAGE\Master Drainage Report - Midway Phase 1\Exhibit\2232 FIG 2 - FEMA Flood Map.dwg 7/12/2021 2:50 PM

Appendix 1: FEMA Flood Map

Appendix 2: Master Traffic Impact Analysis



Appendix 3: Master Water Plan



Appendix 4: Master Sewer Plan



Notice of Neighborhood Meeting

November 23, 2021

Dear Neighbor,

You are cordially invited to a neighborhood meeting hosted by ABLA on behalf of W Holdings regarding a proposed Rezoning and Planned Area Development amendment (PAD) application in your area. This meeting notification is being sent to all property owners within 1,200 feet of the subject property.

The subject property consists of approximately 704 acres located east of John Wayne Parkway and north of Louis Johnson Drive in Pinal County, Arizona. The location of the subject property is identified on the map on the reverse side of this letter.

W Holdings has submitted applications to Pinal County requesting; (1) a Rezoning from Single Residence CR-3 PAD, CR-4 PAD, CR-5 PAD, CR-1 PAD and SR PAD to R-7 PAD, MD PAD, MR PAD and C-1 PAD, and (2) a Planned Area Development amendment (PAD) overlay, in order to facilitate the development of a new single-family residential development, with some mixed-use and commercial.

A virtual neighborhood meeting will be held at the time listed below to discuss the applications and answer any questions you may have.

Thursday, December 9, 2021

6:00 PM Start Time

Join Zoom Meeting Link

<https://us06web.zoom.us/j/82420565190>

Meeting ID: 824 2056 5190

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 929 205 6099 US (New York)

Meeting ID: 824 2056 5190

Find your local number:

<https://us06web.zoom.us/j/82420565190>

Project
Project Number
Client
Date

If you have any questions or comments regarding the above referenced applications or the neighborhood meeting, please contact Alex Fish at ABLA, (480) 530-0077 or alex.fish@ablastudio.com. Comments or questions related to these applications may also be communicated to Sangeeta Deokar at Pinal County at (520) 866-6641 or sangeeta.deokar@pinal.gov.

Sincerely,
Alex Fish

Midway I PAD Amendment

Summary of Neighborhood Meeting

Meeting location: virtual Zoom meeting

Meeting date: December 9th, 2021

Meeting time: 6:00 p.m.

The neighborhood meeting began at approximately 6:01 p.m.

One neighbor attended the meeting along with Andy Baron of ABLA and Seth Keeler of WHoldings.

Andy Baron made a brief presentation of the proposed PAD amendment along with where the PAD amendment is in the process.

The questions that were asked at the meeting are listed as follows:

Public Comments

1. What is the timing and status of the I-11 freeway?

Response: We do not have any information regarding the timing, but the I-11 freeway alignment has only recently been selected, generally ADOT would have to acquire funding before any official schedule would be determined for construction.

2. How will the proposed PAD amendment impact me?

Response: The proposed PAD amendment area is located proximity of the project far enough away from you home that there will likely be little to no impact to you.

Mr. Baron explained that this neighborhood meeting was required as part of the PAD Amendment process. We are required to pass on the feedback from this meeting to Pinal County staff and they incorporate it into their staff reports. The meeting adjourned at approximately 6:35 p.m.



Fidelity National Title Insurance Company

Title No.: **AZ-FMPC-IMP-N/A-1-20-55002510**

CONDITION OF TITLE REPORT

Fidelity National Title Insurance Company, a Florida Corporation,
herein called the Company,

SUBJECT TO THE TERMS, LIMITATIONS AND CONDITIONS OF THE APPLICATION FOR THIS CONDITION OF TITLE REPORT, WHICH APPLICATION, OR COPY THEREOF, IS ATTACHED HERETO AND MADE A PART HEREOF

REPORTS

To the party named in Schedule A, that as disclosed by the Title Instruments, the ownership of and the defects liens and encumbrances against the Interest in the Land are as shown in Schedule B.

Any claim or other notice to the Company shall be in writing and shall be addressed to the Company at the issuing office or to:

*Fidelity National Title Insurance Company Claims Center
PO Box 45023
Jacksonville, Florida, 32232-5023
Attn: Claims Administration*

THIS REPORT IS NOT VALID AND THE COMPANY SHALL HAVE NO LIABILITY HEREUNDER UNLESS THE APPLICATION REFERRED TO ABOVE, OR COPY THEREOF, IS ATTACHED HERETO.

Countersigned by:

Natalie Bombardieri

Authorized Signature



By: *[Signature]*

ATTEST

President

[Signature]

Secretary

CONDITION OF TITLE REPORT

SCHEDULE A

Fee: **\$0.00**

Date of Report: **July 9, 2020 at 7:45 A.M.**

1. Name of Party:

FNTA-AZ CRRAR

2. The Interest referred to in the Application is:

A FEE

3. The Land referred to in the Application is described as follows:

See Exhibit A attached hereto and made a part hereof.

Issuing agent for Fidelity National Title Insurance Company

EXHIBIT A
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1: [APN: 510-48-027C](#)

A portion of the Northwest quarter of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona, more particularly described as follows:

BEGINNING at the Northwest corner of said Section 33;

Thence North 82 degrees 05 minutes 44 seconds East, along the North line of said Section 33, a distance of 2737.68 feet;

Thence South 01 degrees 18 minutes 17 seconds West, a distance of 1186.81 feet;

Thence South 89 degrees 41 minutes 03 seconds West, a distance of 2693.07 feet to a point on the West line of the Northwest quarter of said Section 33;

Thence North 00 degrees 34 minutes 56 seconds East, along said West line, a distance of 824.90 feet to the POINT OF BEGINNING.

PARCEL NO. 2: [APN: 510-48-027E](#)

The West half of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT the following described property:

A portion of the Northwest quarter of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona, more particularly described as follows:

BEGINNING at the Northwest corner of said Section 33;

Thence North 82 degrees 05 minutes 44 seconds East, along the North line of said Section 33, a distance of 2737,68 feet;

Thence South 01 degrees 18 minutes 17 seconds West, a distance of 1186.81 feet;

Thence South 89 degrees 41 minutes 03 seconds West, a distance of 2693.07 feet to a point on the West line of the Northwest quarter of said Section 33;

Thence North 00 degrees 34 minutes 56 seconds East, along said West line, a distance of 824.90 feet to the POINT OF BEGINNING; AND

EXCEPT the South 2472.00 feet as measured along the East line of the West half of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO. 3: [APN: 510-48-027D](#)

The North 1315.00 feet of the South 2472.00 feet as measured along the East line, thereof, of the West half of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

EXHIBIT A
(Continued)

PARCEL NO. 4: [APN: 510-48-027B](#)

The South 1157.00 feet as measured along the East line of the West half of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

PARCEL NO. 5: [APN: 510-48-028](#)

The East half of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT that part lying East of the Easterly highway right-of-way line, as said right-of-way was granted to Pinal County, Arizona, by Easement recorded December 13, 1950 in [Docket 35, Page 595](#); and

EXCEPT that portion of the Southeast quarter of the Southeast quarter of said Section 33, described as follows:

BEGINNING at the intersection of the North line of the County Highway right-of-way along the South line of said Section 33, with the Westerly line of the right-of-way granted to Pinal County, Arizona, by Easement recorded December 13, 1950 in [Docket 35, Page 595](#);

Thence West 210 feet along the North line of the County Highway right-of-way;

*

Thence North 420 feet;

Thence East and parallel with the South line of said Section 33 to the Westerly line of the right-of-way granted to Pinal County, Arizona, by Easement recorded December 13, 1950 in [Docket 35, Page 595](#);

Thence Southerly along said Westerly right-of-way line to the POINT OF BEGINNING; and

EXCEPT any portion deeded to Pinal County in [Docket 1767, Page 982](#), described as follows:

BEGINNING a the Northeast corner of said Section 33;

Thence South 01 degrees 52 minutes 51 seconds West along the East line of Section 33, a distance of 3073.96 feet to the East quarter corner of said Section 33;

Thence South 01 degrees 53 minutes 27 seconds West along the East line of said Section 33, a distance of 1861.99 feet;

Thence along the arc of a curve to the right having a radius of 1432.40 feet, a distance of 520.84 feet;

Thence South 22 degrees 43 minutes 27 seconds West, a distance of 207.02 feet;

Thence from a Local Tangent Bearing of South 22 degrees 45 minutes 18 seconds West along the arc of a curve to the left having a radius of 1432.40 feet, a distance of 60.19 feet;

Thence South 89 degrees 53 minutes 30 seconds West, a distance of 82.34 feet;

Thence from a Local Tangent Bearing of North 07 degrees 46 minutes 22 seconds East along the arc of a curve to the right having a radius of 11,599.16 feet, a distance of 258.47 feet;

Thence North 09 degrees 02 minutes 59 seconds East, a distance of 377.30 feet;

Thence South 80 degrees 57 minutes 01 seconds East, a distance of 10.00 feet;

EXHIBIT A
(Continued)

Thence from a Local Tangent Bearing of North 09 degrees 02 minutes 59 seconds East along the arc of a curve of the left having a radius of 11,329.16 feet, a distance of 1416.48 feet;

Thence North 01 degrees 53 minutes 09 seconds East, a distance of 3339.67 feet;

Thence along the arc of a curve to the left having a radius of 22,788.31 feet, a distance of 299.44 feet to a point on the North line of said Section 33;

Thence North 82 degrees 10 minutes 26 seconds East, a distance of 98.38 feet to the POINT OF BEGINNING; and

EXCEPT any portion as Deeded to Pinal County in [Docket 1767, Page 983](#), described as follows:

BEGINNING at the Southeast corner of said Section 33;

Thence South 89 degrees 36 minutes 53 seconds West along the South line of Section 33, a distance of 186.34 feet to the TRUE POINT OF BEGINNING;

Thence continuing along the South line of said Section 33, South 89 degrees 36 minutes 53 seconds West, a distance of 76.84 feet to the Northwest section corner of Section 4, Township 6 South, Range 3 East;

Thence South 89 degrees 53 minutes 30 seconds West along the South line of said Section 33, a distance of 73.24 feet;

Thence from a Local Tangent Bearing of North 01 degrees 26 minutes 07 seconds East along the arc of a curve to the right having a radius of 1507.40 feet, a distance of 469.69 feet;

Thence North 89 degrees 53 minutes 30 seconds East; a distance of 79.77 feet;

Thence from a Local Tangent Bearing of North 20 degrees 20 minutes 51 seconds East along the arc of a curve to the right having a radius of 1432.40 feet, a distance of 60.19 feet;

Thence North 22 degrees 43 minutes 27 seconds East, a distance of 207.02 feet;

Thence along the arc of a curve to the left having a radius of 1432.40 feet, a distance of 520.84 feet;

Thence South 01 degrees 53 minutes 27 seconds West along the East line of said Section 33, a distance of 469.56 feet;

Thence from a Local Tangent Bearing of South 20 degrees 02 minutes 27 seconds West along the arc of a curve to the right having a radius of 1507.40 feet, a distance of 70.60 feet;-

Thence South 22 degrees 43 minutes 27 seconds West, a distance of 207.06 feet;

Thence from a Local Tangent Bearing of South 22 degrees 45 minutes 18 seconds West along the arc of a curve to the left having a radius of 1357.40 feet, a distance of 500.68 feet to the TRUE POINT OF BEGINNING.

PARCEL NO. 6: [APN 510-56-001](#) and 510-56-002

That part of the Southeast quarter of the Southeast quarter of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Base and Meridian, Final County, Arizona, more particularly described as follows:

BEGINNING at the intersection of the North line of the right of way for the county highway along the South line of said Section 33 and the Westerly line of the right of way granted to Pinal County, Arizona, by Easement recorded December 13, 1950, in [Docket 35, Page 595](#), records of Pinal County, Arizona;

EXHIBIT A
(Continued)

Thence West 210 feet along the North line of said county highway right of way;

Thence North 420 feet;

Thence East parallel with the South line of said Section 33 to the Westerly line of the right of way granted to Pinal County, Arizona, by Easement recorded December 13, 1950, in [Docket 35, Page 595](#);

Thence Southerly along said Westerly right of way line to the POINT OF BEGINNING;

EXCEPT that portion conveyed to Pinal County by mesne deeds of record the last of which recorded April 22, 1996 in [Docket 1771, Page 97](#) described as follows:

That portion of the Southeast quarter of the Southeast quarter of Section 33, Township 5 South, Range 3 East of the Gila and Salt River Meridian, Pinal County, Arizona described as follows:

Beginning at the Southeast corner of said Section 33;

Thence South 89 degrees 36 minutes 53 seconds West, along the South line of Section 33, a distance of 261.38 feet;

Thence from a Local Tangent Bearing of North 01 degrees 30 minutes 59 seconds East along the arc of a curve to the Right having a radius of 1432.40 feet, a distance of 40.03 feet;

Thence continuing along the arc of said 1432.40 feet radius curve to the Right a distance of 211.98 feet to the TRUE POINT OF BEGINNING;

Thence South 89 degrees 53 minutes 30 seconds West, a distance of 48.93 feet;

Thence from a Local Tangent Bearing of North 06 degrees 43 minutes 37 seconds East along the arc of a curve to the Right having a radius of 13,599.16 feet a distance of 199.35 feet;

Thence continuing along the arc of said 11,599.16 feet radius curve to the Left a distance of 12.40 feet;

Thence North 89 degrees 53 minutes 30 seconds East, a distance of 82.34 feet;

Thence from a Local Tangent Bearing of South 20 degrees 20 minutes 51 seconds West along the arc of a curve to the Left having a radius of 1432.40 a distance of 218.76 feet to the TRUE POINT OF BEGINNING; AND

EXCEPT that portion conveyed to Pinal County by mesne deeds of record the last of which recorded April 22, 1996 in [Recording No. 1996-013983](#), described as follows:

Beginning at the Southeast corner of said Section 33;

Thence South 89 degrees 36 minutes 53 seconds West along the South line of Section 33, a distance of 261.38 feet to the TRUE POINT OF BEGINNING;

Thence continuing South 89 degrees 36 minutes 53 seconds West, a distance of 1.79 feet;

Thence South 89 degrees 53 minutes 30 seconds West along the South line of Section 33, a distance of 45.14 feet;

Thence from a Local Tangent Bearing of North 05 degrees 29 minutes 05 seconds East along the arc of a curve to the Right having a radius of 11,599.16 feet a distance of 40.20 feet;

Thence continuing along the arc of said 11,599.16 feet radius curve to the Right a distance of 211.28 feet;

EXHIBIT A
(Continued)

Thence North 89 degrees 53 minutes 30 seconds East, a distance of 48.93 feet;

Thence from a Local Tangent Bearing of South 11 degrees 34 minutes 49 seconds West along the arc of a curve to the Left having a radius of 1432.40 feet, a distance of 211.99 feet

Thence continuing along the arc of said 1432.40 feet radius curve to the Left a distance of 40.03 feet to the TRUE POINT OF BEGINNING.

CONDITION OF TITLE REPORT

SCHEDULE B

Fidelity National Title Insurance Company reports that Title Instruments, on the date hereof, disclose:

1. Ownership of the Interest is in the name of:

Entitlements, LLC, an Arizona limited liability company, as to an undivided 50% interest; and FB1, LLC, an Arizona limited liability company, as to an undivided 50% interest, by Warranty Deed recorded February 28, 2012 in [Recording No. 2012-015870](#), as to Parcel No. 1; and

FB5, LLC, an Arizona limited liability company, by Special Warranty Deed recorded January 30, 2019 in [Recording No. 2019-006332](#), as to Parcel No. 2; and

Tres Points, L.L.C., an Arizona limited liability company, by Special Warranty Deed recorded February 07, 2014 in [Recording No. 2014-007606](#), as to Parcel No. 3; and

Stephen E. Richardson and Vicki L. Richardson, husband and wife, by Special Warranty Deed recorded March 07, 2012 in [Recording No. 2012-018626](#), as to Parcel No. 4; and

Meridian 80, LLC, an Arizona limited liability company, by Special Warranty Deed recorded March 22, 2017 in [Recording No. 2017-019749](#), as to Parcel No. 5; and

Crystal Anne-Johnston Whitmore, by QuitClaim Deed recorded February 04, 2015 in [Recording No. 2015-006818](#), as to Parcel No. 6

2. The following defects, liens and encumbrances (which are not necessarily shown in their order of priority) against the Interest:

SCHEDULE B
(Continued)

- A. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the year 2020.

- B. Taxes and assessments (plus penalties and interest, if any) collectible by the County Treasurer for the following year:
 - Year: 2018
 - Certificate of Purchase No.: 11374
 - Amount: \$4,320.16
 - Amount good through: October 20, 2020
 - (Affects Parcel No. 3)

- C. Liabilities and obligations imposed upon said Land by its inclusion within any district formed pursuant to Title 48, Arizona Revised Statutes.

- D. Any rights, liens, claims or equities, if any, in favor of following districts:
 - Central Arizona Water Conservation District
 - Pinal County Flood Control District
 - Stanfield Flood District
 - Maricopa/Stanfield Irrigation and Drainage District

- E. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
 - Purpose: public highway
 - Recording Date: May 26, 1950
 - Recording No: [Docket 27, Page 351](#)
 - (Affects Parcel No. 4)

- F. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
 - Purpose: highway purposes
 - Recording Date: May 26, 1950
 - Recording No: [Docket 27, Page 402](#)
 - (Affects Parcel No. 5)

- G. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
 - Purpose: electric lines and appurtenant facilities
 - Recording Date: January 29, 1951
 - Recording No: [Docket 39, Page 5](#)
 - (Affects Parcel No. 5)

- H. Matters contained in that certain document
 - Entitled: Establish Roadway
 - Recording Date: February 21, 1964
 - Recording No: [Docket 375, Page 572](#)

Reference is hereby made to said document for full particulars.
(Parcel Nos. 1, 2, 3, 4 and 5)

SCHEDULE B
(Continued)

I. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: electric lines and appurtenant facilities
Recording Date: October 21, 1971
Recording No: [Docket 645, Page 200](#); and thereafter Assignment of Electrical Utility Easements
Recording Date: September 30, 2010
[Recording No: 2010-092661](#)
(Affects Parcel Nos. 3 and 4)

J. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: electric lines and appurtenant facilities
Recording Date: July 29, 1971
Recording No: [Docket 637, Page 286](#); and thereafter Correction
Recording Date: October 21, 1971
Recording No: [Docket 645, Page 201](#); and thereafter Assignment of Electrical Utility Easements
Recording Date: September 30, 2010
[Recording No: 2010-092661](#)
(Affects Parcel No. 5)

K. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: electric lines and appurtenant facilities
Recording Date: April 25, 1977
Recording No: [Docket 864, Page 805](#)
(Affects Parcel Nos. 2 and 3)

L. Matters contained in that certain document

Entitled: Memorandum of Understanding and Agreement
Recording Date: April 18, 1984
Recording No: [Docket 1219, Page 811](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 4)

M. Matters contained in that certain document

Entitled: Notice of Exercise of Reserved Right-of-Way by the United States
Recording Date: September 02, 1986
Recording No: [Docket 1385, Page 593](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 5)

N. Matters contained in that certain document

Entitled: Notice of Exercise of Reserved Right-of-Way to Private Interest or Corporation for Open Canal
Recording Date: October 07, 1986
Recording No: [Docket 1392, Page 737](#)

SCHEDULE B
(Continued)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 5)

O. Matters contained in that certain document

Entitled: Agreement Relating to Exercise of Reserved Right-of-Way with Private Interest
or Corporation for Open Canal
Recording Date: June 07, 1987
Recording No: [Docket 1448, Page 873](#); and
Recording Date: August 29, 1987
Recording No: [Docket 1482, Page 300](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 5)

P. Matters contained in that certain document

Entitled: Notice Regarding Lands Included Within Maricopa-Stanfield Irrigation and
Drainage District
Recording Date: June 06, 1989
Recording No: [Docket 1609, Page 685](#)

Reference is hereby made to said document for full particulars.

Q. Matters contained in that certain document

Entitled: Agreement (Irrigation Facilities)
Recording Date: September 18, 1989
Recording No: [Docket 1630, Page 778](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel Nos. 2, 3 and 4)

R. Matters contained in that certain document

Entitled: Agreement
Recording Date: October 18, 1989
Recording No: [Docket 1636, Page 273](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 5)

S. The community interest of Bill Johnston Jr., if married on September 4, 1990, as disclosed by Quit-Claim
Deed recorded September 11, 1990 in [Docket 1697, Page 922](#).
(Affects Parcel No. 6)

T. Matters contained in that certain document

Entitled: Agreement to Donate Right-of-Way Appraisal/Compensation Waiver
Recording Date: December 26, 1990
Recording No: [Docket 1716, Page 226](#), and
Re-Recording Date: January 29, 1991
Re-Recording No: [Docket 1722, Page 566](#), and

SCHEDULE B
(Continued)

Recording Date: September 10, 1991
Recording No: [Docket 1771, Page 101](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 6)

- U. The right prohibit, limit, control or restrict access to Maricopa Road, as set forth in the document (Quit-Claim Deed)

Recording Date: December 26, 1990
Recording No.: [Docket 1716, Page 228](#); and
Re-Recording Date: January 29, 1991
Re-Recording No: [Docket 1722, Page 568](#), and
Recording Date: September 10, 1991
Recording No: [Docket 1771, Page 101](#), and
Recording Date: April 22, 1996
Recording No: 1996-013983
(Affects Parcel No. 6)

- V. Matters contained in that certain document

Entitled: Agreement to Donate Right-of-Way Appraisal/Compensation Waiver
Recording Date: December 26, 1990
Recording No: [Docket 1716, Page 229](#), and
Re-Recording Date: January 29, 1991
Re-Recording No: [Docket 1722, Page 570](#); and
Recording Date: September 10, 1991
Recording No: [Docket 1771, Page 97](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 6)

- W. The right prohibit, limit, control or restrict access to Maricopa Road, as set forth in the document (Quit-Claim Deed)

Recording Date: December 26, 1990
Recording No.: [Docket 1716, Page 231](#); and
Re-Recording Date: January 29, 1991
Re-Recording No: [Docket 1722, Page 572](#); and
Recording Date: September 10, 1991
Recording No: [Docket 1771, Page 97](#)
(Affects Parcel No. 6)

- X. The right prohibit, limit, control or restrict access to Maricopa Road, as set forth in the document (Quit-Claim Deeds)

Recording Date: August 22, 1991
Recording No: [Docket 1767, Page 982](#); and
Recording No: [Docket 1767, Page 983](#)
(Affects Parcel No. 5)

SCHEDULE B
(Continued)

Y. Matters contained in that certain document

Entitled: Notice of Exercise of Easement and Grant of Use of Pipeline Facilities
Recording Date: July 20, 1994
Recording No: [Docket 2028, Page 164](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel Nos. 2, 3 and 4)

Z. Matters contained in that certain document

Entitled: Pinal County Resolution No. 110100-MI for The Development of Midway I
Recording Date: November 03, 2000
[Recording No: 2000-045966](#)

Reference is hereby made to said document for full particulars.

AA. Matters contained in that certain document

Entitled: Resolution of Disposal
Recording Date: June 29, 2004
[Recording No: 2004-048761](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 6)

BB. Matters shown on record of survey:

Recording No.: [Book 21 of Surveys, Page 67](#)
(Affects Parcel Nos. 1, 2, 3 and 4)

CC. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document

Entitled: Subordination Agreement
Lessor: Arroyo Pacific Investments, Inc., an Arizona corporation
Lessee: ABCDW,L.L.C., an Arizona limited liability company
Sub-Lessee: Tempe Farming Co., an Arizona general partnership
Recording Date: March 27, 2009
[Recording No: 2009-030729](#)
(Affects Parcel No. 4)

DD. Matters contained in that certain document

Entitled: Affidavit of Disclosure
Recording Date: February 28, 2012
[Recording No: 2012-015871](#)

Reference is hereby made to said document for full particulars.
(Affects Parcel No. 1)

SCHEDULE B
(Continued)

EE. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$none shown
 Dated: February 28, 2012
 Trustor/Grantor Entitlements, LLC, an Arizona limited liability company; and FB1, LLC, an Arizona limited liability company
 Trustee: Security Title Agency, Inc.
 Beneficiary: Georgetown Holdings, LLC, an Arizona limited liability company
 Recording Date: March 30, 2012
Recording No: [2012-025789](#)
 (Affects Parcel No. 1)

FF. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$1,158,333.00
 Dated: February 5, 2014
 Trustor/Grantor Tres Points, LLC, an Arizona limited liability company
 Trustee: Security Title Agency, Inc.
 Beneficiary: The Don Lie2 Enterprises, Inc. Profit Sharing Plan
 Recording Date: February 06, 2014
Recording No: [2014-007293](#)

First Loan Modification to the terms and provisions of said deed of trust as therein provided

Recording Date: December 22, 2017
Recording No: [2017-093827](#)

Loan Assumption and Release Agreement to modify the terms and provisions of said deed of trust as therein provided

By and between: The Don Liem Enterprises, Inc., Profit Sharing Plan, Tres Points, LLC, an Arizona limited liability company, and FB5, LLC, an Arizona limited liability company
 Recording Date: January 30, 2019
Recording No: [2019-006333](#)

An assignment of the beneficial interest under said deed of trust which names:

Assignee: DLE PSP, LLC, an Arizona limited liability company
 Recording Date: March 13, 2019
Recording No: [2019-017355](#)
 (Parcel No. 2)

GG. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$1,100,000.00
 Dated: August 11, 2014
 Trustor/Grantor Tres Points, LLC, an Arizona limited liability company
 Trustee: Security Title Agency, Inc.
 Beneficiary: Paul T. Clifton, as Trustee of the Hansfam Three Settlement Trust (31.82%); and Susan Leas Clifton, as Trustee of The Robert and Marie Hansen Foundation (68.18%)
 Recording Date: August 13, 2014
Recording No: [2014-046752](#)

SCHEDULE B
(Continued)

First Loan Modification Agreement to modify the terms and provisions of said deed of trust as therein provided

Recording Date: October 31, 2017
Recording No: 2017-079563

An assignment of the beneficial interest under said deed of trust which names:

Assignor: Paul Clifton, Trustee of the Hansfam Three Settlement Trust created under Agreement dated December 9, 2002, and Jan M. Vernon, as Independent Trustee of the Hansfam Three Settlement Trust created under instrument dated December 9, 2002
Assignee: Paul T. Clifton, Susan Lea Clifton, and Gregory V. Gadarian, Trustees of The Robert & Marie Hansen Foundation created under Agreement dated July 1, 2001
Recording Date: July 29, 2019
Recording No: 2019-060708

Second Loan Modification Agreement to modify the terms and provisions of said deed of trust as therein provided

Recording Date: July 29, 2019
Recording No: 2019-060709
(Affects Parcel No. 3)

HH. Community Interest of Crystal Anne Johnston Whitmore, on February 04, 2015 as disclosed by QuitClaim Deed, recorded February 04, 2015 in Recording No. 2015-006818.
(Affects Parcel No. 6)

II. Matters contained in that certain document

Entitled: Pinal County Resolution No. 012016-FADAM1 First Amendment to Development Agreement for Midway I
Recording Date: January 25, 2016
Recording No: 2016-004540

Reference is hereby made to said document for full particulars.

JJ. Matters contained in that certain document

Entitled: Non-Exclusive Franchise for Southwest Gas Corporation
Recording Date: June 21, 2016
Recording No: 2016-039825

Reference is hereby made to said document for full particulars.

KK. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$1,452,012.56
Dated: March 21, 2017
Trustor/Grantor: Meridian 80, LLC, an Arizona limited liability company
Trustee: Security Title Agency, Inc.
Beneficiary: Seneca Ranch, L.L.C., an Arizona limited liability company

SCHEDULE B
(Continued)

Recording Date: March 22, 2017
Recording No: 2017-019750

First Loan Modification Agreement to modify the terms and provisions of said deed of trust as therein provided

Recording Date: December 22, 2017
Recording No: 2017-093838
(Affects Parcel No. 5)

LL. An option to purchase said Land with certain terms, covenants, conditions and provisions as set forth therein.

Optionor: Tres Points, LLC, an Arizona limited liability company
Optionee: FB5, LLC, an Arizona limited liability company
Disclosed by: Memorandum of Option
Recording Date: December 21, 2017
Recording No: 2017-093430
(Affects Parcel No. 3)

MM. Matters contained in that certain document

Entitled: Board of Supervisors of Pinal County Resolution No. 021815-MMCC
Designation the Maricopa Mountain Community as a Colonia
Recording Date: January 03, 2018
Recording No: 2018-000428

Reference is hereby made to said document for full particulars.

NN. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$none shown
Dated: March 10, 2017
Trustor/Grantor: Meridian 80, LLC, an Arizona limited liability company
Trustee: Security Title Agency, Inc.
Beneficiary: Tres Points, LLC, an Arizona limited liability company
Recording Date: January 17, 2018
Recording No: 2018-003491

Collateral Assignment

By and between: Tres Points, LLC and Post Applegate LLC, an Arizona limited liability company, as to \$800,000.00
Recording Date: April 30, 2018
Recording No: 2018-031741

Collateral Assignment

By and between: Tres Points, LLC. And Daniel W. Thelander, Trustee of The Daniel W. Thelander Trust UAD 3/21/94, as to an undivided 60% interest; and Richard T. Thelander and Pamela L. Thelander, Trustees of The R. Todd Thelander and Pamela Thelander Trust UAD 05/24/06, as to an undivided 40% interest

SCHEDULE B
(Continued)

Recording Date: May 23, 2018
Recording No: 2018-038649
 (Affects Parcel No. 5)

OO. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$121,354.61
 Dated: January 29, 2019
 Trustor/Grantor FB5, LLC, an Arizona limited liability company
 Trustee: Security Title Agency, Inc.
 Beneficiary: Tres Points, LLC, an Arizona limited liability company
 Recording Date: January 30, 2019
Recording No: 2019-006334
 (Affects Parcel No. 2)

PP. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$none shown
 Dated: January 29, 2019
 Trustor/Grantor FB5, LLC, an Arizona limited liability company
 Trustee: Security Title Agency, Inc.
 Beneficiary: Tres Points, LLC, an Arizona limited liability company
 Recording Date: January 30, 2019
Recording No: 2019-006335
 (Parcel No. 2)

Tax Note:

Year: 2019
Tax Parcel No: 510-48-027B, 510-48-027C, 510-48-027D, 510-48-027E, 510-48-0280, 510-56-0010, and 510-56-0020
 (See Tax Sheets attached.)

3. The following matters are disclosed by name only and the Company, without additional information, is unable to determine whether any or all of these matters are defects, liens or encumbrances against the Interest:

Note: This Condition of Title Report does not address General Index matters (such as proceedings, liens, or decrees), which do not specifically describe said Land.



M I D W A Y

Open Space and Recreation Plan Narrative

Location: Northwest Corner of John Wayne Freeway (SR 347) and West Louis Johnson Drive
PZ-PD-006-21

Prepared :

February 26, 2021 - 1st Submittal
August 16, 2021 - 2nd Submittal
December 23, 2021 - 3rd Submittal
March 18, 2022 - Final Submittal

Submitted to:

Pinal County Planning Division
31 N. Pinal Street
Building F
Florence, AZ 85132



Project Team



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Section 1: Open Space and Recreation Plan Overview

This Open Space and Recreation Plan (“OSRP”) for the Midway I Planned Area Development (PAD) Amendment Area (“Amendment Area” or “Site”) provides a balanced plan for the initial area of Midway I PAD to be developed. The open space within Midway is spread throughout the community intended to give residents access to both active and passive open space and recreation within a quarter of a mile or less. The design of these spaces will enhance the overall theme of contemporary rural/agrarian, create a visual sense of arrival and place in community, and encourage connectivity and recreation opportunities for residents of all ages.

Midway has been envisioned to be an all-encompassing community that includes elements for an agrarian theme to harken it back to the land’s previous use for agriculture. These theming elements will utilize native and low-water use plant selections, building materials, and planting arrangements to evoke a sense of living in a quaint yet contemporary agrarian community. The Community is planned to have a mixture of landscape areas throughout to provide for open space that is both usable and aesthetically pleasing.

The community will have a pedestrian circulation and trail system that connects residents with the school, open space areas, the neighborhoods and pocket parks, as well as the commercial areas at the southwestern portion of the site. The Community collector road system has been designed to be linear with traffic circles positioned at the end of each transition to allow for both the ease of vehicular navigation and provide for a focal point, in either direction, for establishing view corridors throughout. The collector road landscaping will include portions that are tree lined, trees planted in small groves, formal planting areas and the use of grass to provide a wide variety of planting textures for residents to enjoy as they traverse through their community. These same concepts will be applied to the Neighborhood Parks, Pocket Parks, and open space.

There are a variety of recreation uses within the masterplan that will be described in their respective hierarchy. These areas will come in the form of neighborhood parks and pocket parks of which will be active open space. These open space amenities will provide for a variety of options for residents to enjoy their community all of which will be maintained by the formation of the future Homeowner’s Association. The open space areas and amenities at Midway meet or exceed the minimum requirements per the Pinal County Open Space & Recreational Area Guideline Manual (OSRAM). **See Exhibit 1: Amendment Area Open Space Table** for a breakdown of the open space.

Table 1: Amendment Area Open Space Table

Table 1: Amendment Area Open Space Table				
*Net Acreage	620.58 Ac.			
Description	Required (%)	Required (Acreage)	Provided (%)	Provided (Acreage)
Neighborhood Park (Active Recreational)				** 9.87 Ac.
Pocket Park (Active Recreational)				** 7.24 Ac.
Trail Areas (Active Recreational)				** 26.33 Ac.
Total Active Recreational Open Space	7.00%	** 43.44 Ac.	7.00%	43.44 Ac.
Passive Open Space	11.00%	68.26	11.00%	68.26 Ac.
Total Open Space	18.00%	111.70 Ac.	18.00%	111.70 Ac.
*NET ACREAGE BASED OFF OF TOTAL ACREAGE MINUS COMMERCIAL AREA AND MIXED-USE AREA FOR OPEN SPACE CALCULATIONS. ANY PORTIONS OF MIXED-USE AREA DEVELOPED AS RESIDENTIAL OR NON-RESIDENTIAL, SHALL CONFORM WITH PINAL COUNTY REQUIRED OPEN SPACE PERCENTAGE REQUIREMENTS.				
**ACTIVE RECREATIONAL OPEN SPACE ACREAGE MAY INCREASE OR DECREASES BETWEEN CATEGORIES, SO LONG AS THE TOTAL REQUIRED ACTIVE RECREATIONAL OPEN SPACE IS PROVIDED.				
NOTE: ACTIVE RECREATIONAL SPACES TO INCLUDE: COMMUNITY AND POCKET PARKS THAT MAY INCLUDE AMENITIES SUCH AS GARDENS, RAMADAS, TOT LOTS, SEATING, DOG PARKS, AND OPEN PLAY/ TURF AREAS.				

Exhibit 1: Amendment Area Open Space Table





Section 2: Context

The Amendment Area is 704.05 acres bounded to the north by agricultural land, to the east by John Wayne Parkway (SR 347), to the south by Miller Road/ Louis Johnson Drive, and to the west by Green Road (see **Exhibit 3: Regional Vicinity Map** and **Exhibit 4: Aerial Vicinity Map**) within Pinal County. Currently the Amendment Area is being utilized as an agricultural field with no habitable structures located on-site. The Amendment Area is surrounded by agricultural and undeveloped land. There are no existing or proposed conservation open spaces within one mile of the Site.



Section 3: Development Concept

Table 2: Open Space Requirement Calculation

Slope Categories	0%-5% Slope	<5%-10% Slope	<10% Slope	Totals
Measures Areas Within Each Category	620.58	0 acres	0 acres	620.58 acres
Conservation Open Space Required	Min. Req'd. = 0%-3%	Min. Req'd. = 5%	Min. Req'd. = 9%	0 acres
	Area Req'd. = 0 Acres	Area Req'd. = 0 Acres	Area Req'd. = 0 Acres	
Recreation Open Space Required	Min. Req'd. = 7%	Min. Req'd. = 6%	Min. Req'd. = 4%	43.44 acres
	Area Req'd. = 43.44 Acres	Area Req'd. = 0 Acres	Area Req'd. = 0 Acres	
Total Open Space Required	Min. Req'd. = 18%	Min. Req'd. = 18%	Min. Req'd. = 18%	68.26 acres
	Area Req'd. = 68.26 Acres	Area Req'd. = 0 Acres	Area Req'd. = 0 Acres	

Table 3: Open Space Allocation Table

Category (for 0-5% Slope)	Area Required	Area Provided
Conservation Open Space	0 acres	0 acres
Developed Open Space	-	
Recreation Open Space	43.44 acres	43.44 acres
Total Open Space*	111.70 acres	111.70 acres

* "Total Open Space" is the combination of conservation and developed open space. Developed open space includes recreation open space.

Midway is planned to have a variety of residential uses totaling a maximum of 2,942 units. The layout of the collector streets, pedestrian paths, and the school located adjacent to the neighborhood park provide ample opportunities for an active lifestyle within the Midway community. The proposed school site was strategically placed along two major collectors and the Community trail system to provide for students and families to be able to walk or bike to school to further promote an active lifestyle.

3.1 Design Theme

The Amendment Area draws on the historical roots of agriculture for the site as well as the greater context of Pinal County. Drawing on ideas of picket fences, picturesque barns set among orderly planting, and a mixture of deciduous and evergreen trees to create a dynamic living landscape – the proposed design evokes a contemporary agrarian sensibility. Each material, texture, and choice of trees that frame and create a backdrop for the entry monuments were carefully chosen to evoke a sense of rustic nostalgia blended with a contemporary modernesque feel.

3.2 Arterial or Theme Streets

The Arterial streets of the community provide primary access for residents within the community and shall have a landscape character that communicates the proposed character and style of the community. The Theme Streets, Arterial streets with designated landscape character shall include:

- A combined and structured landscape pattern and layered plant material to create an enhanced vehicular and pedestrian experience as residents move through the community.
- A mixture of deciduous and evergreen trees, both native and non-native, shall be spaced thirty feet (30') on center or in equivalent groupings adjacent to the proposed right of way.
- Shrub and ground cover material shall be planted to provide patterns and layers that respond to site geometry and site conditions.
- Shrub and ground cover planting shall provide a mixture of textures, sizes, and colors to limit a monochromatic character through the project.
- All plant material shall be chosen in accordance with the Arizona Low Water use plant list and shall provide a mixture of native and non-native plant material.
- All plant material shall be irrigated by an automatic underground irrigation system.



3.3 Collector and Local Streets

The Collector and Local streets throughout the community provide the more intimate pedestrian and vehicular experiences as residents and visitors enter into parcels and neighborhoods. These streets shall:

- Be extension of the Theme Streets with the incorporation of accent plant material and a smaller scale of design.
- A mixture of deciduous and evergreen trees, both native and non-native, shall be spaced thirty feet (30') on center or in equivalent groupings adjacent to the proposed right of way.
- Collector and Local street streetscape shall include flowering accent trees and accent plant material that will provide focal points in the landscape.
- Shrub and ground cover material shall be planted to provide patterns and layers that respond to site geometry and site conditions.
- Shrub and ground cover planting shall provide a mixture of textures, sizes, and colors with an emphasis on flowering plants and accent plant material.
- All plant material shall be chosen in accordance with the Arizona Low Water use plant list and shall provide a mixture of native and non-native plant material.
- All plant material shall be irrigated by an automatic underground irrigation system.

3.4 Commercial Areas (C-1)

The philosophy of the commercial landscape standards are to establish an attractive, high quality landscape character for the individual lots that is harmonious with the character and theme of the overall project. All landscape and parking areas of each lot shall:

- Be landscaped with an attractive combination of trees, shrubs, ground cover, lawn/ decomposed granite, and accent plant material that appropriately responds to the Midway Community in both texture and scale.
- Landscaping shall create a 'good neighbor' image with deciduous and evergreen trees and plant material that help to screen unsightly areas and highlight attractive view.
- 20' landscape buffers shall be provided adjacent to Residential Areas. Paseos that occur on Residential property may count towards required buffers.
- All plant material shall be irrigated by an automatic underground irrigation system.

3.5 Residential Areas (MD, MR, and R-7)

Individual parcel landscape designs are part of a larger landscape character instead of stand-alone statements. No design should dominate the landscape. Instead, the landscape of individual parcel should interweave with Common Areas to give Midway a sense of place.

- A mixture of deciduous and evergreen trees, both native and non-native, shall be utilized through the residential areas.
- All pedestrian connections and walkways shall be shaded as to promote a more pedestrian friendly experience between residential areas.



- All plant materials shall provide a mixture of textures, forms, sizes, and color to provide continuity through the community.
- All common landscaped areas not occupied by buildings, structures, vehicle access and parking areas, loading and unloading areas and approved storage areas shall be landscape.
- 20' landscape buffers shall be provided adjacent to Residential Areas. Paseos that occur on Residential property may count towards required buffers.
- All plant material shall be irrigated by an automatic underground irrigation system.

3.6 Retention Areas

Stormwater retention areas have been designed to appear as natural as possible with meandering edges, gradual grade changes, and varying side slopes. Stormwater retention areas have been located in visible and accessible areas throughout the community. Retention areas offer an opportunity to continue the contemporary agrarian theme into open areas to provide visual relief from structures. Where required, all retention areas shall:

- Be completely landscaped with trees, shrubs or turf.
- The landscaping shall provide erosion protection while allowing for unrestrictive flow to retention.
- Turf is encouraged in retention areas, and physically adjoin outdoor spaces, sidewalks, curbs, and shrub/groundcover areas to avoid the creation of small isolated islands of turf.
- Landscape grading shall compliment the contours found in the landscape area, and shall not have sharp transitions or unnatural shapes.
- Granite riprap may be used for erosion protection, storm water management or aesthetic applications.
- All common landscaped areas not occupied by buildings, structures, vehicle access and parking areas, loading and unloading areas and approved storage areas shall be landscaped.
- Future phases may continue to be farmed, improved with temporary landscaping along the street frontage, or otherwise maintained in a dust free manner.
- All plant materials shall provide a mixture of textures, forms, sizes, and color to provide continuity through the community.
- All plant material shall be irrigated by an automatic underground irrigation system.

3.7 Phasing

The Amendment Area will be developed over the course of five (5) phases and each phase will include areas of open space. The neighborhood park will be included in Phase 2.





Section 4: Target Market

The Amendment Area will promote a variety of product types but is intended to be a family-oriented community. The Site will attract families who are looking for highly amenitized open spaces within their neighborhoods. The large neighborhood park and proposed school site will attract families to the Site as well.



Section 5: Slope Analysis

Currently, the Amendment Area is active agriculture fields. The Project site and surrounding area generally drains to the northeast at an approximate slope of 0.4%.



Section 6: Preliminary Hydrology

The Amendment Area is currently agricultural land. In existing conditions, the Amendment Area slopes to the northeast at an approximate slope of 0.4%. In proposed conditions, the Amendment Area will be graded to ensure all proposed structures are protected during the 100-year storm. Onsite grading will ensure that positive drainage is maintained across the site, draining runoff generated onsite to retention basins via surface flow. Offsite runoff approaching the Site will be routed around the Site in engineered channels which will outfall at Site's northeastern corner, as in existing conditions. All proposed structures will be provided with a minimum of one-foot of freeboard from the peak 100-year water surface elevation in adjacent channels and basins.



Section 7: Flood Zone

Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) coverage for the Project is provided on FIRM panel 04021C1125E (FEMA, December 4, 2007). According to this FIRM the Project resides entirely within flood hazard Zone X. FEMA defines Zone X as follows:

Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.

The FEMA FIRM panel and the Project boundary are shown on **Appendix 1: FEMA Flood Map**.



Section 8: Riparian Vegetation & Biological Habitats

The Amendment Area is flat, agricultural land that has been farmed for many years. There are currently no significant natural features on the property. Consequently, there are no riparian vegetation or biological habitats on the Site.



Section 9: General OSRP Design Guidelines

The following general design guidelines have been implemented in the OSRP for the Amendment Area, and are consistent with the requirements of the OSRAM:

- Open space has been designed to be a community amenity and will be provided in all areas or neighborhoods of the community.
- Open space areas have been strategically situated in high visibility locations; at the end of entry roads into individual neighborhoods, adjacent to the main community collector streets, or at the end of cul-de-sacs where trails and pathway can connect into them.
- The lot layout for the Amendment Area has been designed around the open space areas, to ensure close proximity, visibility and interconnectivity of the open space.
- Fragmentation of open space areas has been avoided whenever possible.



Section 10: Conservation Open Space

The property has been used for agricultural purposes for many years and is essentially flat farm ground. Consequently, it does not have sensitive resource areas that merit conservation as natural open space. No existing vegetation remains therefore a Salvage Plan will not be included with this project.





Section 11: Developed Open Space

The developed open space at Midway was designed to first connect every neighborhood with the overall masterplan in order to create a true sense of community. The open space amenities will be designed and developed in accordance with the guidelines of this Open Space Recreation Manual and timing as required in the Pinal County Development Standards Code 2.176.160 (A). The following guidelines have been implemented in the developed open space areas:

- Historic drainage patterns in the area will be maintained and adhered to along with the natural drainage patterns.
- Storm water retention areas have been designed with future residents in mind for open space as its primary use. These areas will be designed to appear as natural as possible between the combination of gradual grading and landscape elements.
- The storm water retention areas have been intentionally located within the neighborhoods for ease of connectivity for use as open space.
- Landscaping within the open space areas and along the collector road system will follow the requirements of the size, quantity, coverage, and placement guidance of the OSRAM.
- Following the agrarian theme of the Community, the main entrance and both sides of the collector system will have enhanced landscaping elements such as tree lined collector with evergreen trees, neighborhood parks, and landscaped roundabouts all with the intention of providing for a true sense of an open space and creating a community that only continues to get better over time as landscaping matures.

The following activities and land uses shall be counted as part of the required open space:

- Recreation areas;
- Multi-use trails;
- Retention/detention areas; and
- Entryways and streetscapes.

The flagship Neighborhood Park is the largest and most significant developed open space in the Project and will be constructed with Phase 2. As a result, each of the above criterion will be achieved with the developmental phasing as proposed.

All developed open space areas will be owned and maintained by the Midway Homeowners Association.



Section 12: Recreation Area Open Space

This OSRP provides several recreation areas with a variety of amenities for residents to use, including a 9.87-acre neighborhood park and several pocket parks located throughout the Site (see **Exhibit 6: Open Space Plan**).

12.1 Recreation Area Design Guidelines

- a. Recreation areas should be provided in a manner where they are easily visible and accessible.
- b. Playground/tot lot equipment should include but not be limited to, slides, swings, pre-manufactured structures that meet the National Playground Safety Institute Standards requirements for age groups 2 to 5 years old and 6 to 12 years old.
- c. Tot lots and other active play equipment should be covered with a shade structure.
- d. Tot lots and other active play equipment should be located to be visible and easily accessible.
- e. Seating areas should be located in appropriate locations to provide supervision of activities.
- f. Seating areas shall incorporate shade.
- g. All recreation areas within the development should be connected through a multi-use path or trail system. The multi-use path or trail system should provide linkages to open space, recreation areas, trails, paths, bikeways, schools and commercial parcels within the proposed development as well as to adjacent neighborhoods and communities, and the County's trail system, if applicable.
- h. Where lighting is provided for pathways, trails, ramadas, parking and security the lighting should be designed to be operated as an automatic dusk to dawn system.
- i. Path lighting, where provided, should be low level and low intensity; but adequate enough to maintain an acceptable level of safety.
- j. All lighting shall meet the requirements of Chapter 2.195 of the Pinal County Development Services Code.



12.1 Pocket Parks

The smaller pocket parks will include amenities such as play structures, covered ramadas, swing sets, and bag toss courts. Additionally, large turf areas, that also serve as retention areas, will provide space for free play. Tree lined sidewalks and trails will connect the pocket parks to the larger circulation system, enabling residents to quickly get to other open space areas and the large neighborhood park and school site (see **Exhibit 15: Conceptual Pocket Park Vignette 1** and **Exhibit 16: Conceptual Pocket Park Vignette 2**). For a full list of suggested amenities for pocket parks see **Exhibit 2: Suggested Park Amenity Table**.

- All homes are to be located within approximately 1/4th of a mile of a pocket park unless they are within 1/2 mile of a neighborhood park.
- Pocket parks are to be a minimum of 1/4 acre size
- Pocket parks shall have a minimum of two amenities, which may be selected from the **Exhibit 2: Suggested Park Amenity Table**, or other comparable amenities.

12.2 Neighborhood Park

An approximately 9.87-acre neighborhood park is centrally located within the Site and encourages outside activity and a healthy community. The neighborhood park serves as a focal point within the community given its size and proximity to the proposed school site. This open space area provides for larger scale recreation such as sport games, community event, and offers the possibility of a school partnership as well. Development of this park will include several amenities in accordance with OSRAM suggestions, including, but not limited to, the following: sport courts, large turf play areas, ramadas, and play areas/structures. See **Exhibit 14: Neighborhood Park**. For a full list of suggested amenities for neighborhood parks see the **Exhibit 2: Suggested Park Amenity Table**.

- One neighborhood park is required for communities of 1,000 units or more.
- Neighborhood parks are to be a minimum of 1 acres.
- Neighborhood parks shall have a minimum of three amenities, which may be selected from the **Exhibit 2: Suggested Park Amenity Table**, or other comparable amenities.

12.3 Paths and Multi-Use Trails

In addition to parks, a network of open space paths, sidewalks, and trails will be provided to achieve true community connectivity and encourage healthy lifestyles for residents. The trails will connect each neighborhood to the others, as well as to various open spaces, recreational amenities, and park amenities. Benches and shaded seating areas may be provided at appropriate locations throughout the circulation system.

Pedestrian access is provided throughout the residential development as well as to the non-residential developments. The major collector streets will have a 6' sidewalk on both sides of the street. The minor collector streets will have 5' sidewalks on both sides of the street. Concrete trails will be provided to connect residents to open spaces and a perimeter trail will be provided around the perimeter of the Site. Residents will be connected to the proposed park, school, and commercial parcels through sidewalks and soft trails (see **Exhibit 7: Conceptual Circulation and Trails Plan** and **Exhibits 10-11: Conceptual Trail Sections 1-5**).

Table 4: Suggested Park Amenity Table

Amenity	Park Hierarchy		Minimum Standards
	Pocket Park (1/4 Ac. Min)	Neighborhood Park (1 Ac. Min)	
Bag Toss Courts	X	X	
Barbeque	X	X	
Bench and Seating Areas	X	X	
Bike Parking		X	4 Spaces
Bocce Ball Courts		X	
Community Garden		X	
Dog Park With Seating/ Benches		X	10,000 SF
Drinking Fountains		X	
Fire Pit	X	X	
Paths in addition to sidewalks	X	X	
Outdoor Fitness/Stretch Equipment		X	
Open Play/Turf	X	X	20,000 SF (NP), 5,000 SF (PP)
Pickleball Court		X	
Picnic Tables	X	X	
Ramadas	X	X	250 SF
Play Structure (Ages 2-5)	X	X	1 Per 500 Units
Play Structure (Ages 5-12)	X	X	
Seating Area with Shade Trees	X		
Tennis Court		X	
Trash Cans	X	X	
Volleyball Court		X	

*Note: Amenities listed above are intended as conceptual suggestions and are not intended to be an exhaustive list.

Exhibit 2: Suggested Park Amenity Table





Section 13: Landscaping

The landscape theme for the Amendment Area has been developed to provide walking trails and common area amenities while being low maintenance and maintaining the aesthetic of the community. Landscaping will be consistent with other communities in Pinal County and nearby City of Maricopa and will utilize the native, non-native, and low water use/drought tolerant plants where reclaimed water is not being utilized (see **Exhibit 12: Conceptual Landscape Plan**).

The landscape concept strengthens the overall community theme and provides for a controlled transition between planned and indigenous open space areas. The landscape concept elements include circulation, open space and recreation, and design guidelines.

The landscape guidelines are to be used by Pinal County and developers as a means of achieving the following project goals:

- Ensure that landscape design considerations include reclaimed water consumption and erosion control measures.
- Enhance site improvements within view corridors on and off-site.
- Define specific plan materials in varying combinations to achieve a cohesive community identity.
- Utilize plan materials to visually identify and delineate development areas while blending them into the overall visual environment.

Table 5: Planting Criteria Table	
Location	Minimum Criteria
Collector and Arterial Street Frontages (ROW)	1 tree (24-in. box min), 5 shrubs (5 gal. min.) per 30 LF.
Paseo/ Retention Areas	1 tree (24-in box min.), 5 shrubs (5 gal min.) per 5,000 SF
Commercial Areas	1 tree (24-in box min.) per 1,000 SF

Table 6: Conceptual Plant Palette

Tree	
Botanical Name	Common Name
Acacia aneura	Mulga Acacia
Acacia smallii	Sweet Acacia
Acacia willardiana	Palo Blanco
Bauhinia lunarioides	Anacacho Orchid Tree
Bauhinia x blakeana	Hong Kong Orchid
Caesalpinia cacalaco	'Smoothie' Cascalote
Chilopsis linearis	Desert Willow
Chitalpa tashkentensis	Chitalpa
Eucalyptus papuana	Ghost Gum
Fraxinus greggii	Little Leaf Ash
Olea europaea	'Wilsonii' Wilsonii Olive
Pistacia chinensis	'Red Push' Red Push Chinese Pistache
Pistacia lentiscus	Mastic Tree
Prosopis hybrid	Thornless Mesquite
Prosopis glandulosa	Honey Mesquite
Quercus virginiana	'Cathedral' Cathedral Live Oak
Quercus virginiana	'Empire' Empire Live Oak
Quercus virginiana	'Joan Leonetti' Joan Leonetti Live Oak
Quercus virginiana	Southern Live Oak
Sophora secundiflora	Texas Mountain Laurel
Ulmus parvifolia 'Allee'	Allee Elm
Vitex agnus-castus	Chaste Tree
Groundcovers	
Botanical Name	Common Name
Eremophila prostrata	Outback Sunrise
Eremophila Juniperus sabina 'Buffalo'	Buffalo Juniper
Lantana sp.	'New Gold' Lantana
Lantana sp.	'Dallas Red' Lantana
Rosmarinus officinalis 'Prostratus'	Trailing Rosemary
Ruellia 'Katie'	Dwarf Ruellia 'Katie'
Teucrium chamaedrys 'prostratum'	Prostrate Germander
Trachelospermum jasminoides Asiaticum	Asiatic Jasmine
Wedelia trilobata	Wedelia



Extra Large Shrubs	
Botanical Name	Common Name
Bougainvillea 'Barbara Karst'	Barbara Karst Bougainvillea
Bougainvillea 'California Gold'	California Gold Bougainvillea
Buddleia davidii	Butterfly Bush
Buddleia marrubifolia	Woolly Butterfly Bush
Caesalpinia gillesii	Yellow Bird of Paradise
Caesalpinia mexicana	Mexican Bird of Paradise
Caesalpinia pulcherrima	Red Bird of Paradise
Cordia boissieri	Anacahuita
Cordia parvifolia	Little Leaf Cordia
Dodonaea viscosa	Hopbush
Nerium oleander 'tree form'	Standard Oleander 'Tree Form'
Rosa banksiae 'Alba Plena'	White Lady Bank's Rose
Tecoma alata 'Orange Jubilee'	Orange Jubilee
Tecoma 'Sparky'	Sparky Bells
Tecoma Stans	Yellow Bells
Tecoma x 'Bells of Fire'	Bells of Fire
Tecoma x 'Sunrise'	Sunrise
Vauquelinia californica	Arizona Rosewood

Large Shrubs	
Botanical Name	Common Name
Calliandra californica	Red Fairy Duster
Cassia artemisioides 'Silver'	Silver Cassia
Cassia nemophila	Desert Cassia
Justicia californica	Red Chuparosa
Larrea tridentata	Creosote
Leucophyllum langmaniae 'Lynn's Legacy'	Lynn's Legacy Sage
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage
Salvia clevelandii	Chaparral Sage
Simmondsia Chinensis	Jojoba
Viguiera deltoidea	Goldeneye



Medium Shrubs	
Botanical Name	Common Name
<i>Dalea frutescens</i>	Black Dalea
<i>Dalea frutescens</i> 'Sierra Negra'	Sierra Negra Dalea
<i>Eremophila glabra</i> spp. <i>carnosa</i>	Winter Blaze
<i>Eremophila hygrophana</i> Blue Bells	Blue Bells
<i>Hibiscus rosa-sinensis</i> 'Diamond Head'	Double Red Hibiscus
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Leucophyllum candidum</i> 'Thunder Cloud'	Thunder Cloud Sage
<i>Leucophyllum frutescens</i> 'Compacta'	Compact Texas Sage
<i>Leucophyllum</i> X 'Heavenly Cloud'	Heavenly Cloud Sage
<i>Leucophyllum zygophyllum</i>	Cimarron Sage
<i>Nerium oleander</i> 'Little Red'	Little Red Oleander
<i>Nerium oleander</i> 'Petite Pink'	Petite Pink Oleander
<i>Punica granatum</i>	Dwarf Pomegranate
<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary
<i>Ruellia brittoniana</i>	Purple Ruellia
<i>Simmondsia chinensis</i>	'Vista' Compact
<i>Jojoba</i> <i>Teucrium fruticans</i>	Bush Germander

Small Shrubs	
Botanical Name	Common Name
<i>Anisacanthus quadrifidus</i> v. <i>brevilobus</i>	Mountain Flame
<i>Bougainvillea</i> 'Alexandra'	Alexandra Bougainvillea
<i>Calliandra eriophylla</i>	Pink Fairy Duster
<i>Callistemon viminalis</i> 'Little John'	Little John Bottle Brush
<i>Myrtus communis</i> 'compacta'	Dwarf Myrtle
<i>Olea europaea</i> "Little Ollie"	Dwarf Olive
<i>Teucrium chamaedrys</i>	Germander

Vines	
Botanical Name	Common Name
<i>Bougainvillea</i> 'Barbara Karst'	Barbara Karst Bougainvillea
<i>Hardenbergia violacea</i>	Purple Lilac Vine
<i>Rosa banksiae</i>	Lady Bank's Rose



Cacti/ Accents	
Botanical Name	Common Name
Agave bovicornuta	Cow's Horn Agave
Agave geminiflora	Twin Flowered Agave
Agave schidigera	Durango Delight Agave
Agave parryi 'truncata'	Parry's Agave
Aloe barbadensis	Medicinal Aloe
Aloe hyb. 'Blue Elf'	Blue Elf Aloe
Aloe striata	Coral Aloe
Bouteloua gracilis	Blonde Ambition
Bulbine frutescens	Shrubby Bulbine
Hesperaloe sp. Pink Parade	Pink Parade Hesperaloe
Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca
Muhlenbergia capillaris	'Regal Mist'
Muhlenbergia lindheimeri	'Autumn Glow'
Muhlenbergia rigens	Deer Grass
Myoporum parvifolium	Trailing Myoporum
Nassella tenuissima	Mexican Feather Grass
Nolina bigelovii	Bear-grass
Opuntia basilaris	Beavertail Prickly Pear
Opuntia santa rita	Purple Prickly Pear
Ophiopogon jaburan 'Dwarf Kyoto'	Dwarf Mondo Grass
Opuntia sp. Kelly's Choice	Kelly's Choice Prickly Pear
Opuntia violacea 'Santa-Rita'	Purple Prickly Pear
Pachycereus marginatus	Mexican Fence Post Cactus
Pedilanthus macrocarpus	Slipper Plant
Penstemon eatonii	Firecracker Penstemon
Portulacaria afra minima	Dwarf Elephant Food
Yucca baccata	Banana Yucca
Yucca pallida	Pale Leaf Yucca
Yucca recurvifolia	Soft Leaf Yucca
Yucca rupicola	Twisted Leaf Yucca

Note:

- *Plants with thorns may not be located along pedestrian routes or directly adjacent to tails.*
- *All plant material to follow Arizona Low Water Use Palette*

