

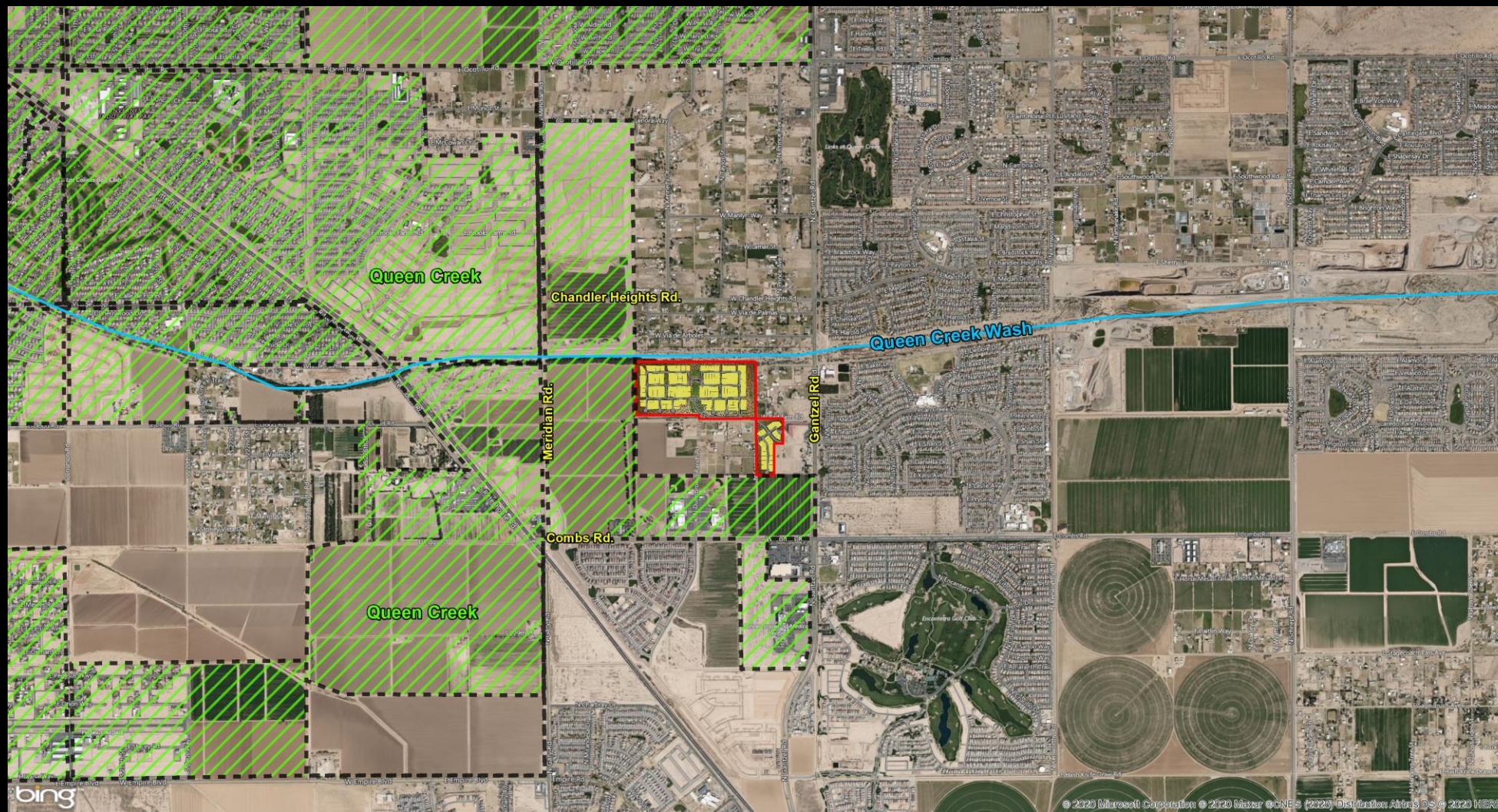
Presented to:
Pinal County Board of Supervisors
October 28, 2020

THE QUARTERS AT QUEEN CREEK

Special Area Plan Amendment
Re-zoning
PAD/OSRP



VICINITY MAP:



SITE DATA:

Project Details:

Gross Area: 88.37 Ac.

Parcel A: 74.36 Ac.

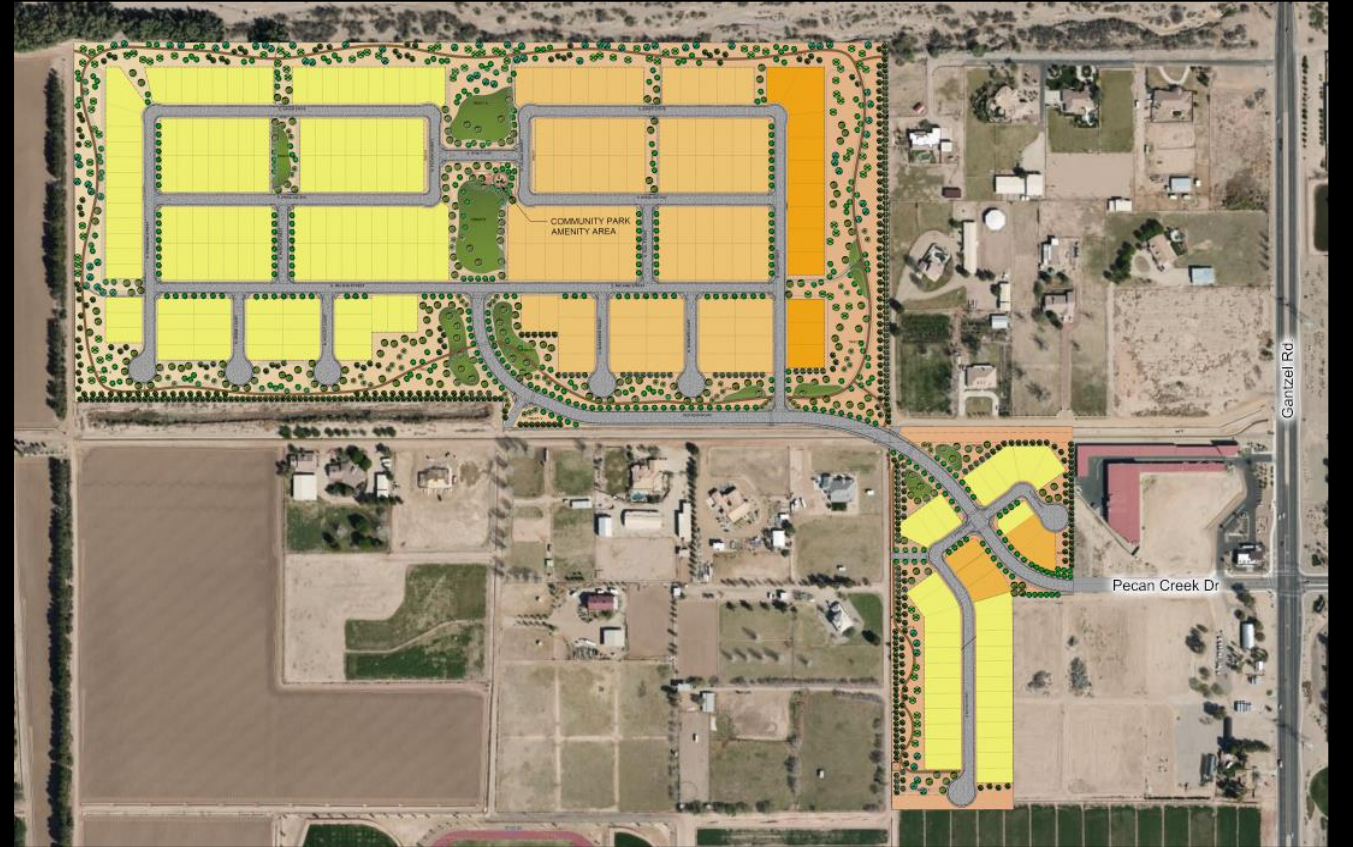
Parcel B: 14.01 Ac.

Phase 1 (Parcel B): 38 Lots

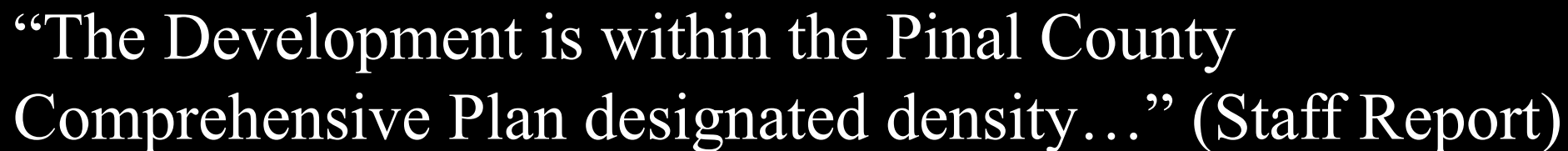
Phase 2 (Parcel A): 216 Lots

Density (Gross) 2.87 Du/Ac

Open Space 30.91 Ac (35% Overall)



MLDR (1 – 3.5 Du/Ac)



SAN TAN VALLEY SPECIAL AREA PLAN

Current Designation:
Rural Living (0-1 Du/Ac)

Proposed Designation:
Suburban Neighborhoods
(1 – 4 Du/Ac)

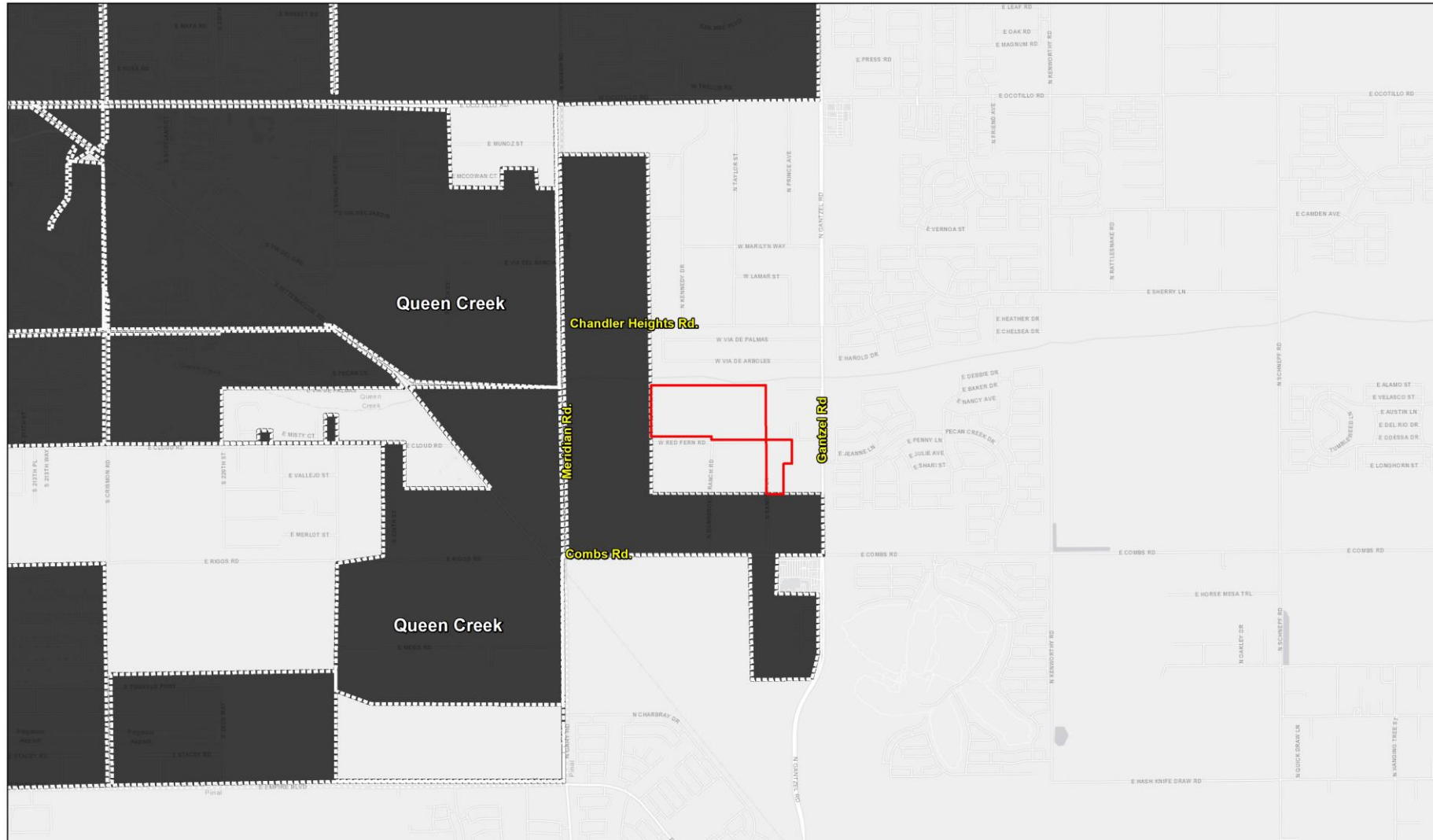
First Conversation with
Supervisor Goodman: April 2018

First Meeting with
Neighborhood Association June 2018

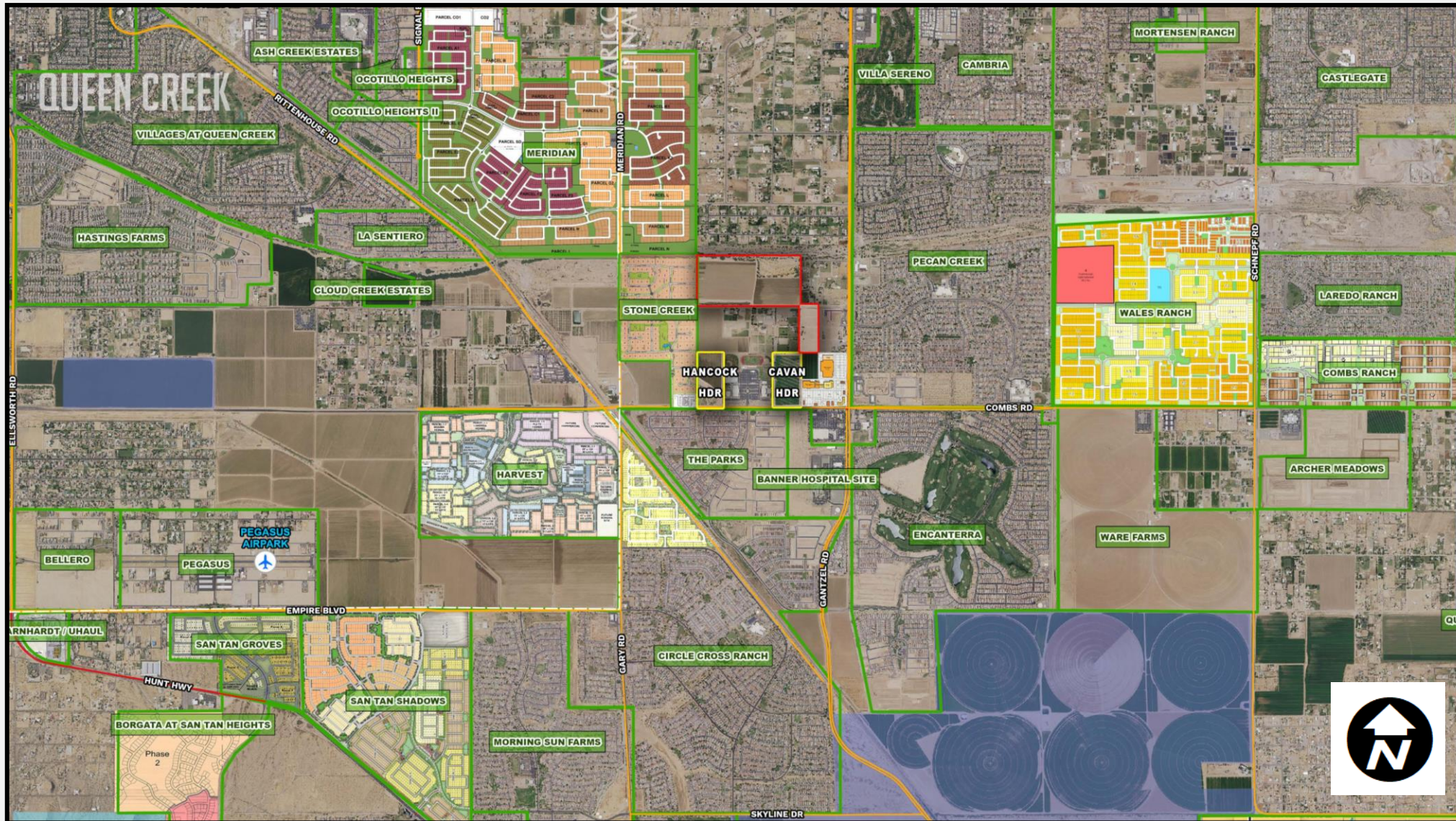
Special Area Plan Approved October 2018



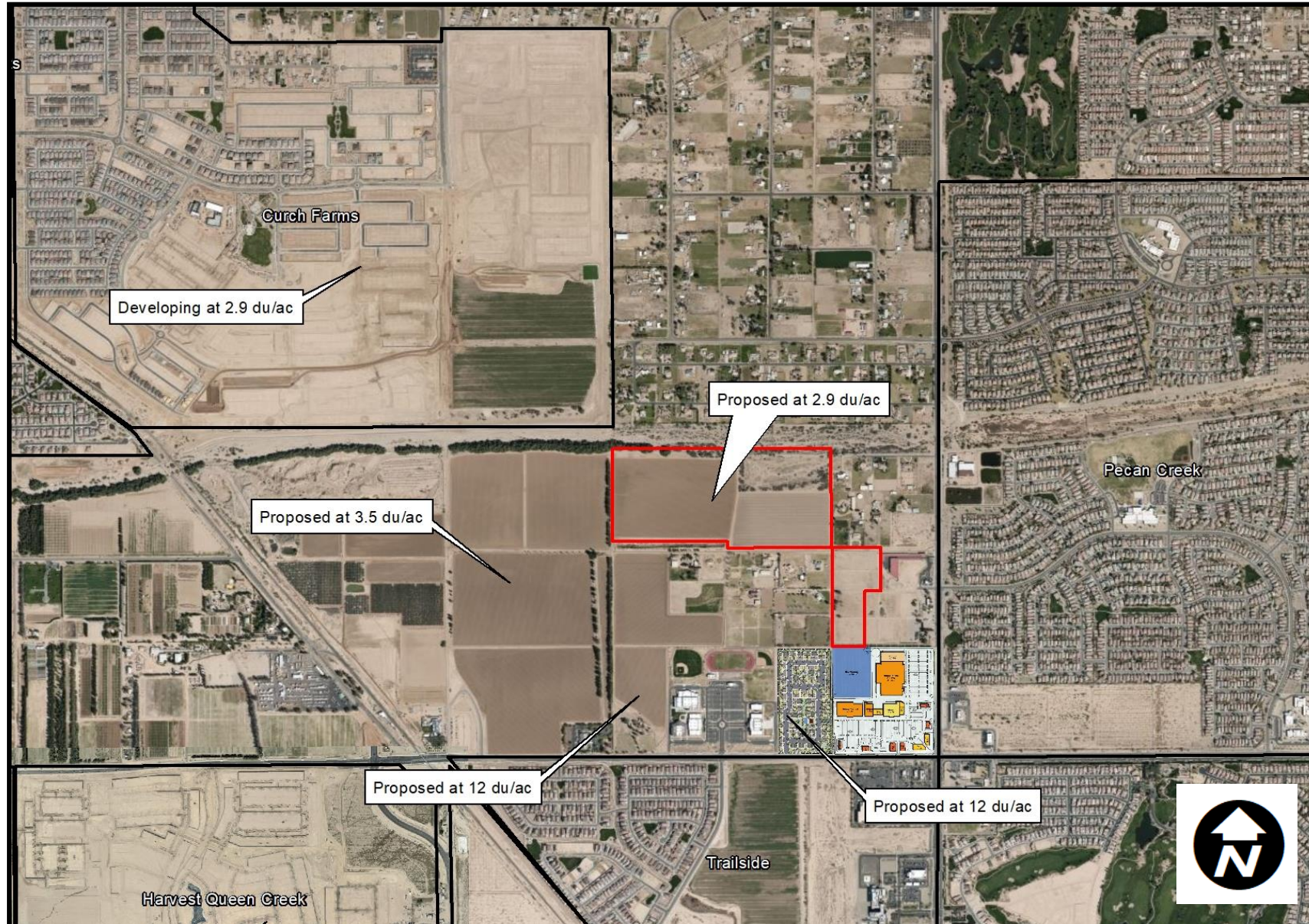
Proximity to Queen Creek



Surrounding Development Pattern



Surrounding Development Densities

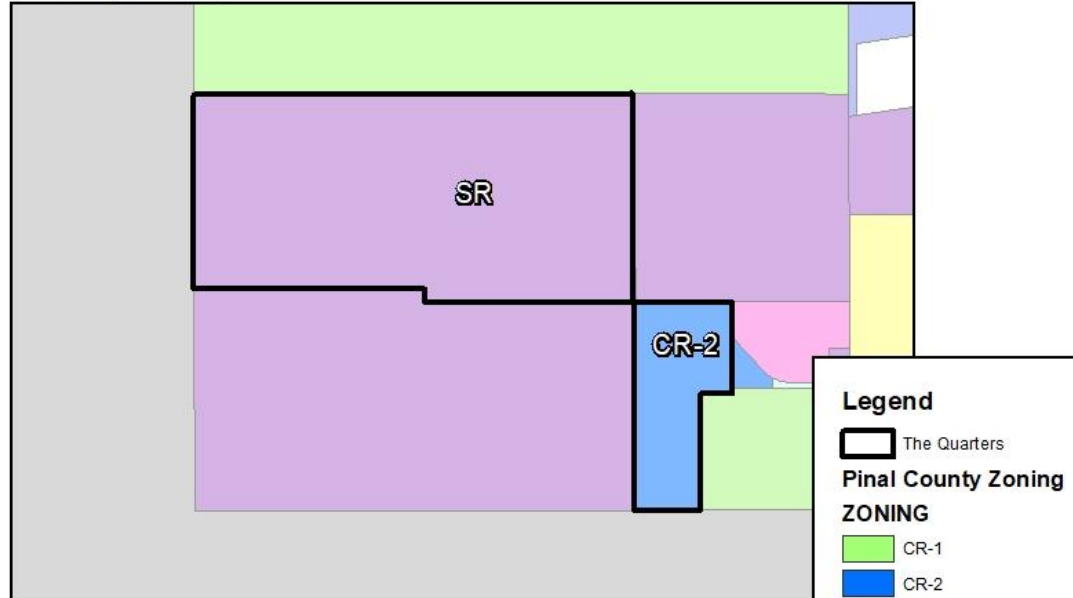


ZONING:

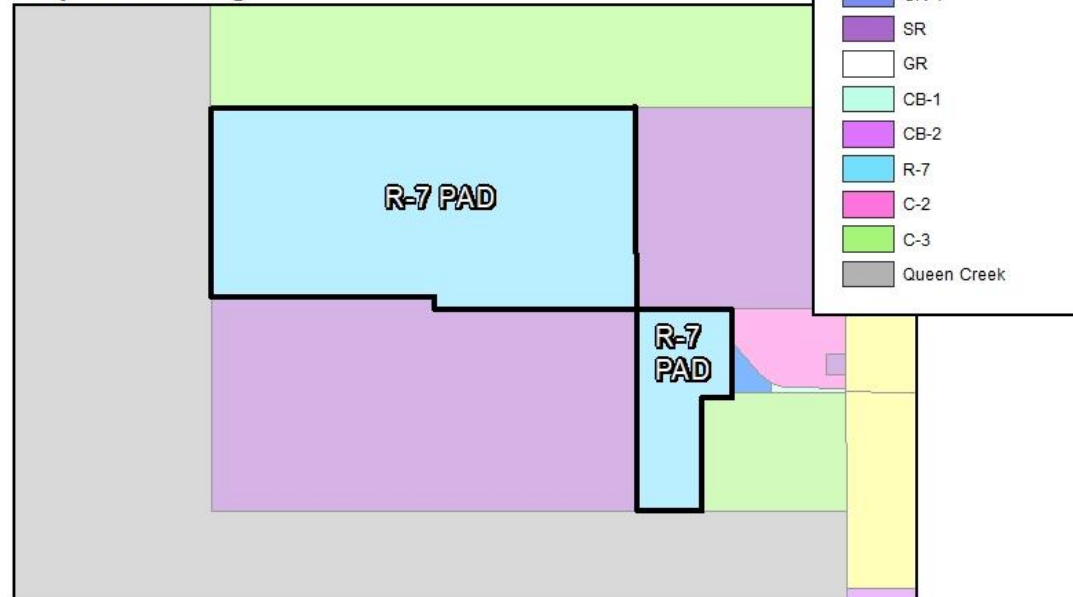
Current Designation:
SR & CR-2

Proposed Designation:
R-7 PAD

Existing Zoning

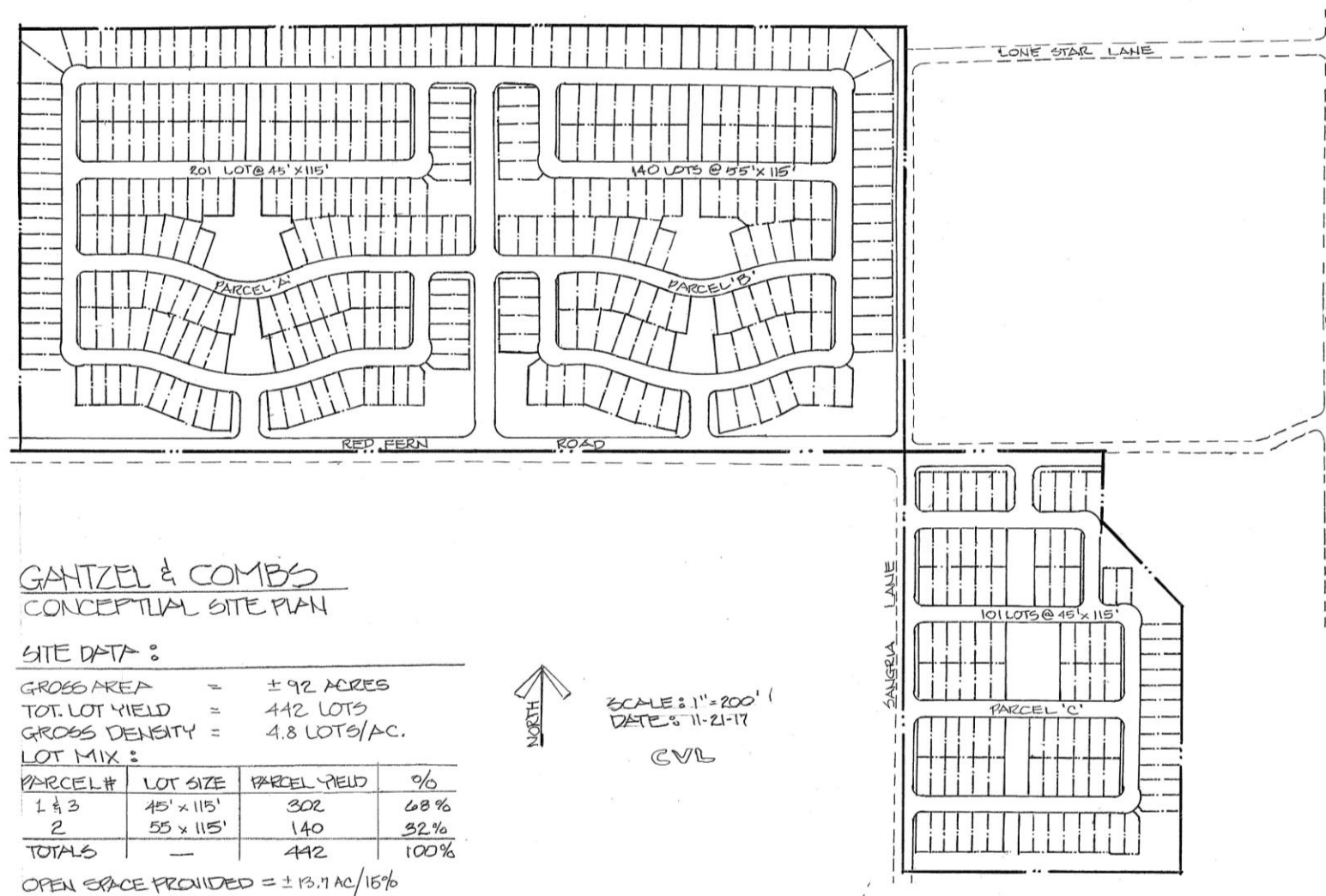


Proposed Zoning

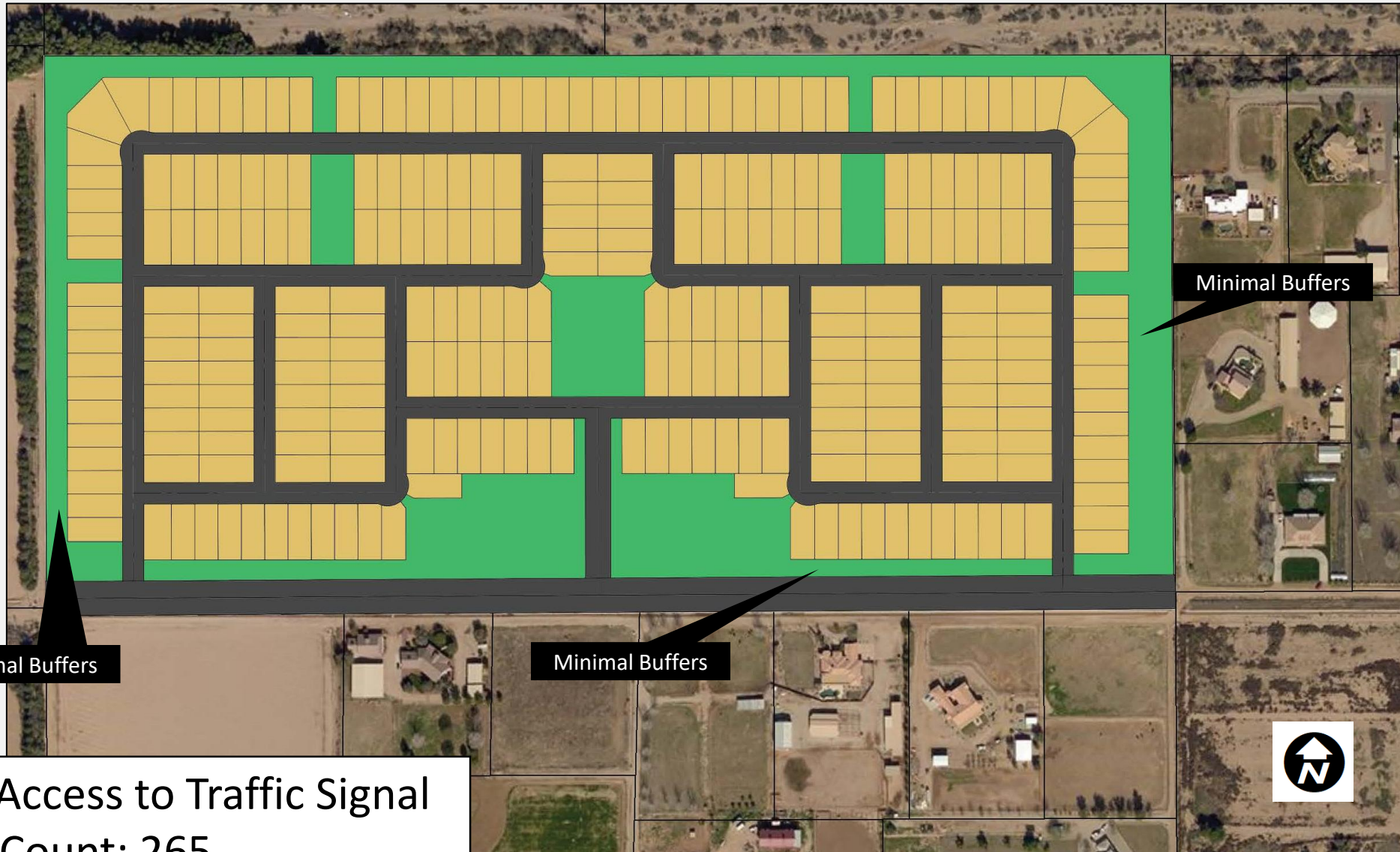


Original concept under previous ownership

- 4.8 Du/ac.
- 442 Lots
- No Access to Traffic Signal

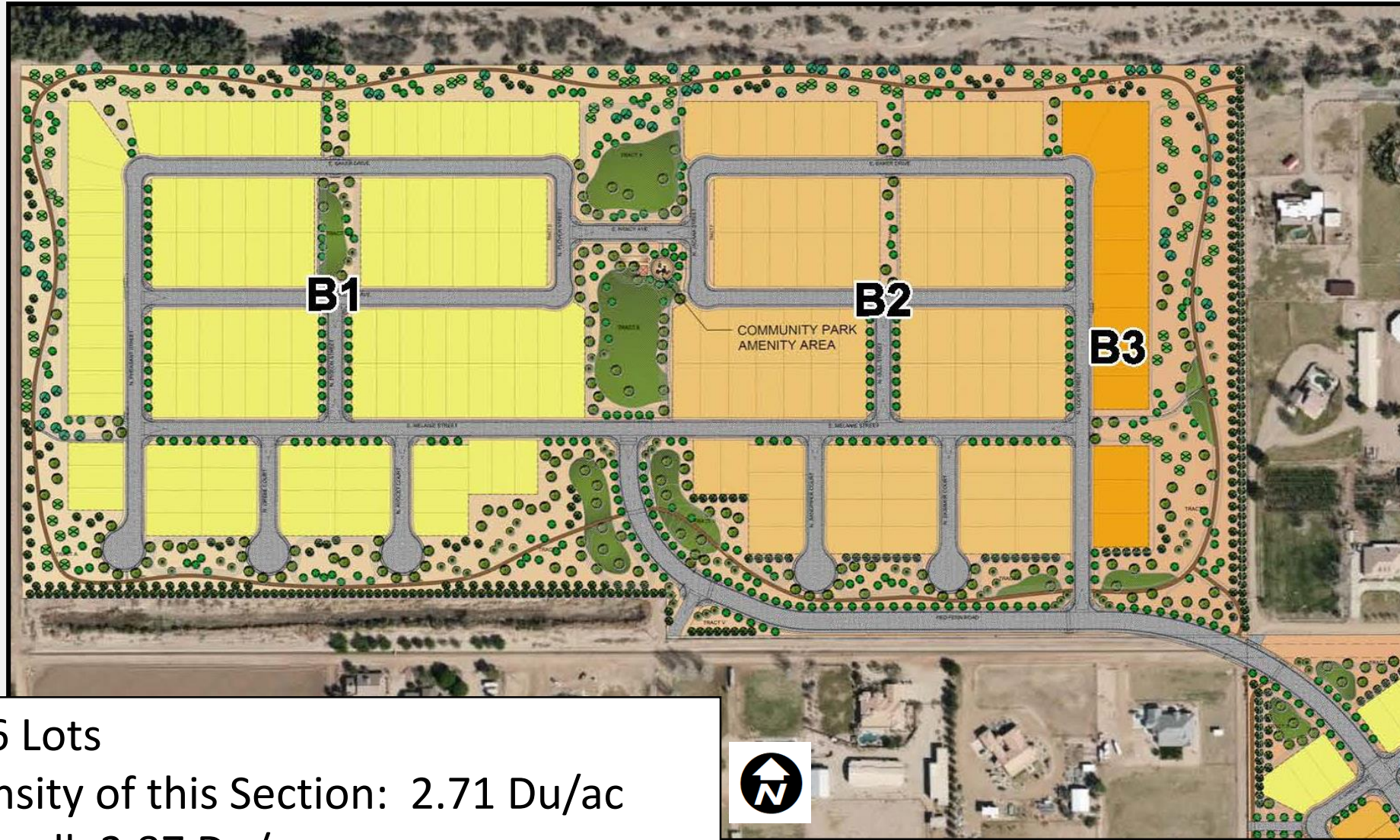


1st Site Plan



No Access to Traffic Signal
Lot Count: 265
Density: 3.5 Du/ac.

Current Plan

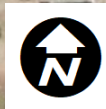


216 Lots

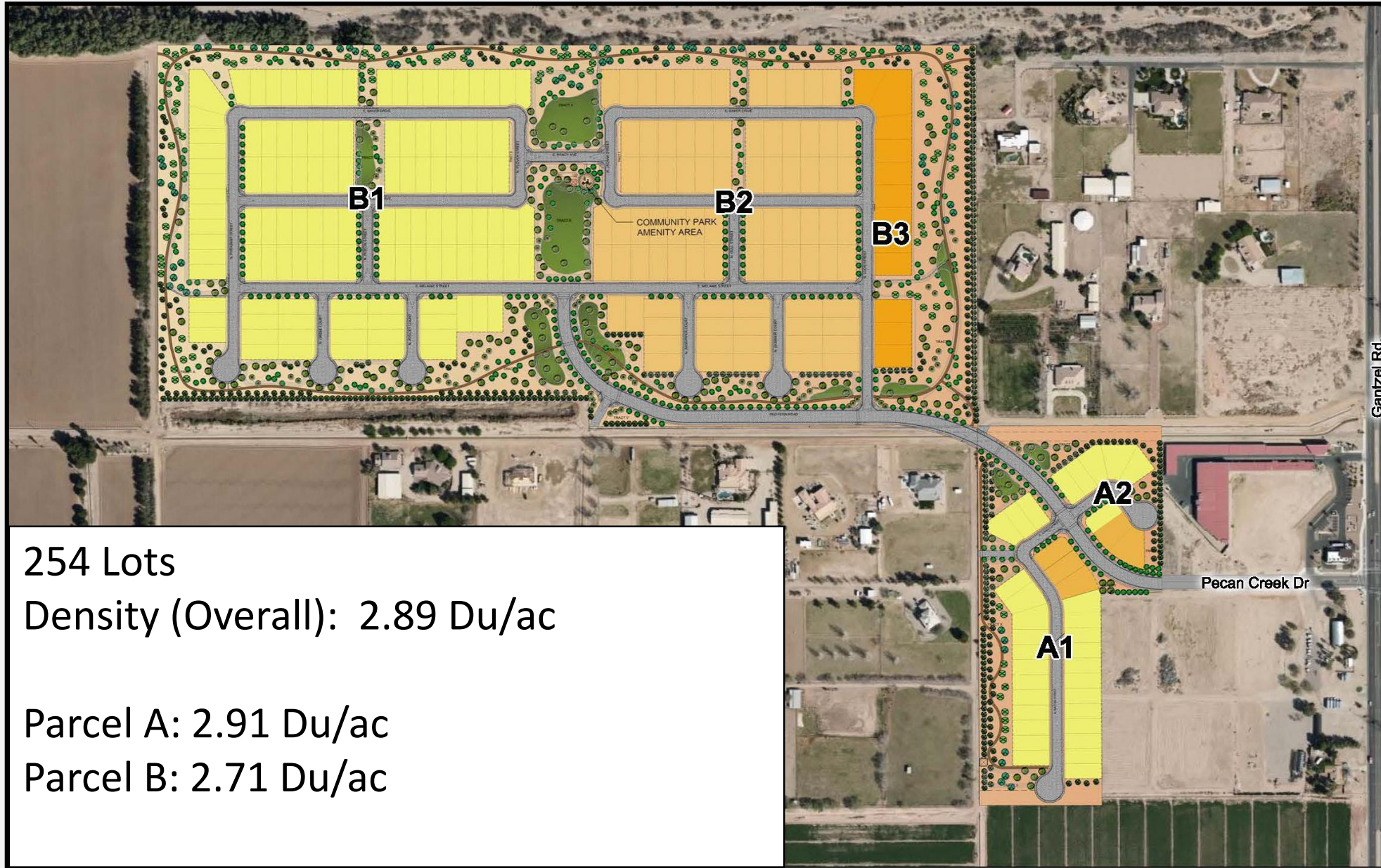
Density of this Section: 2.71 Du/ac

Overall: 2.87 Du/ac

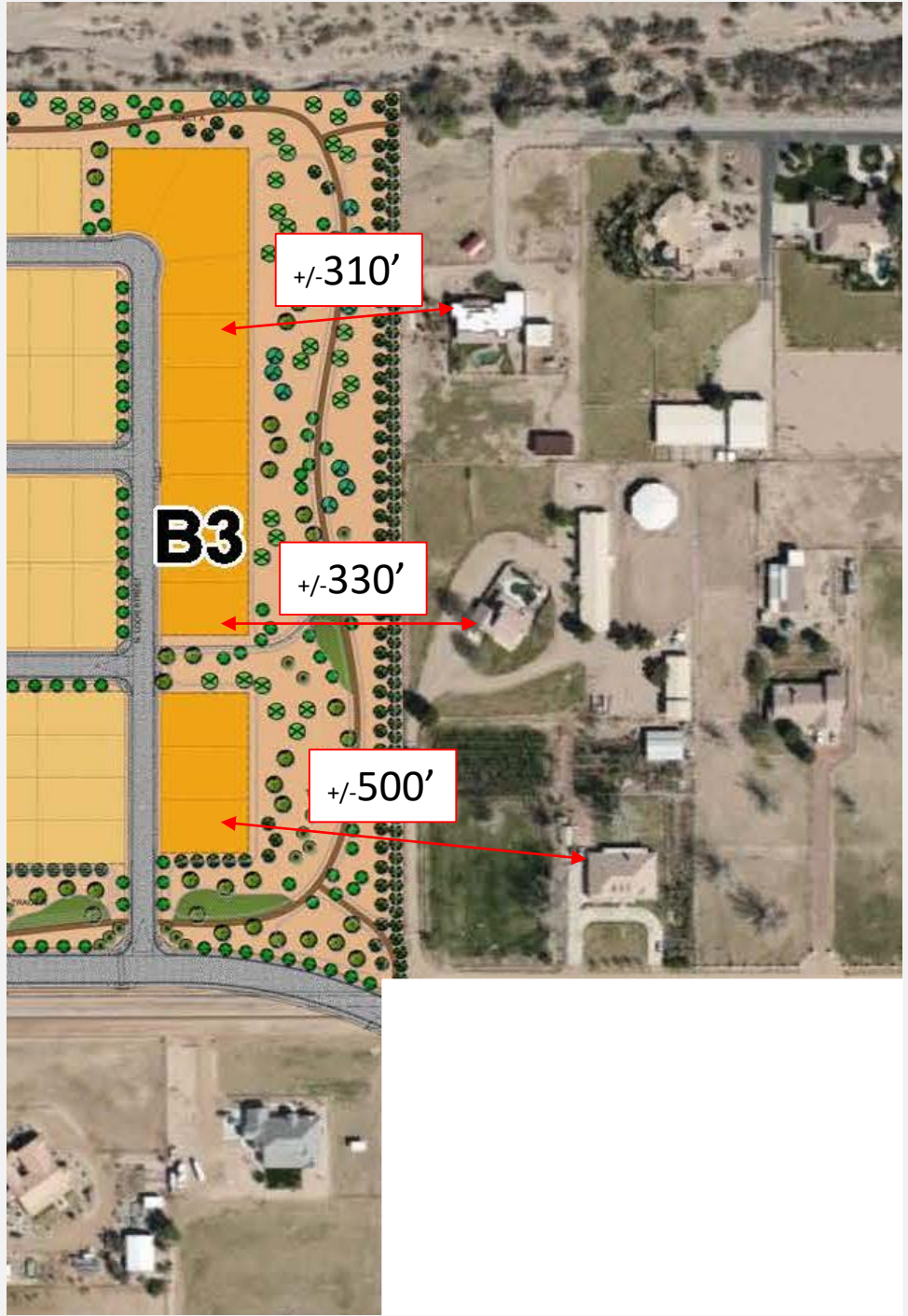
Access to Signal



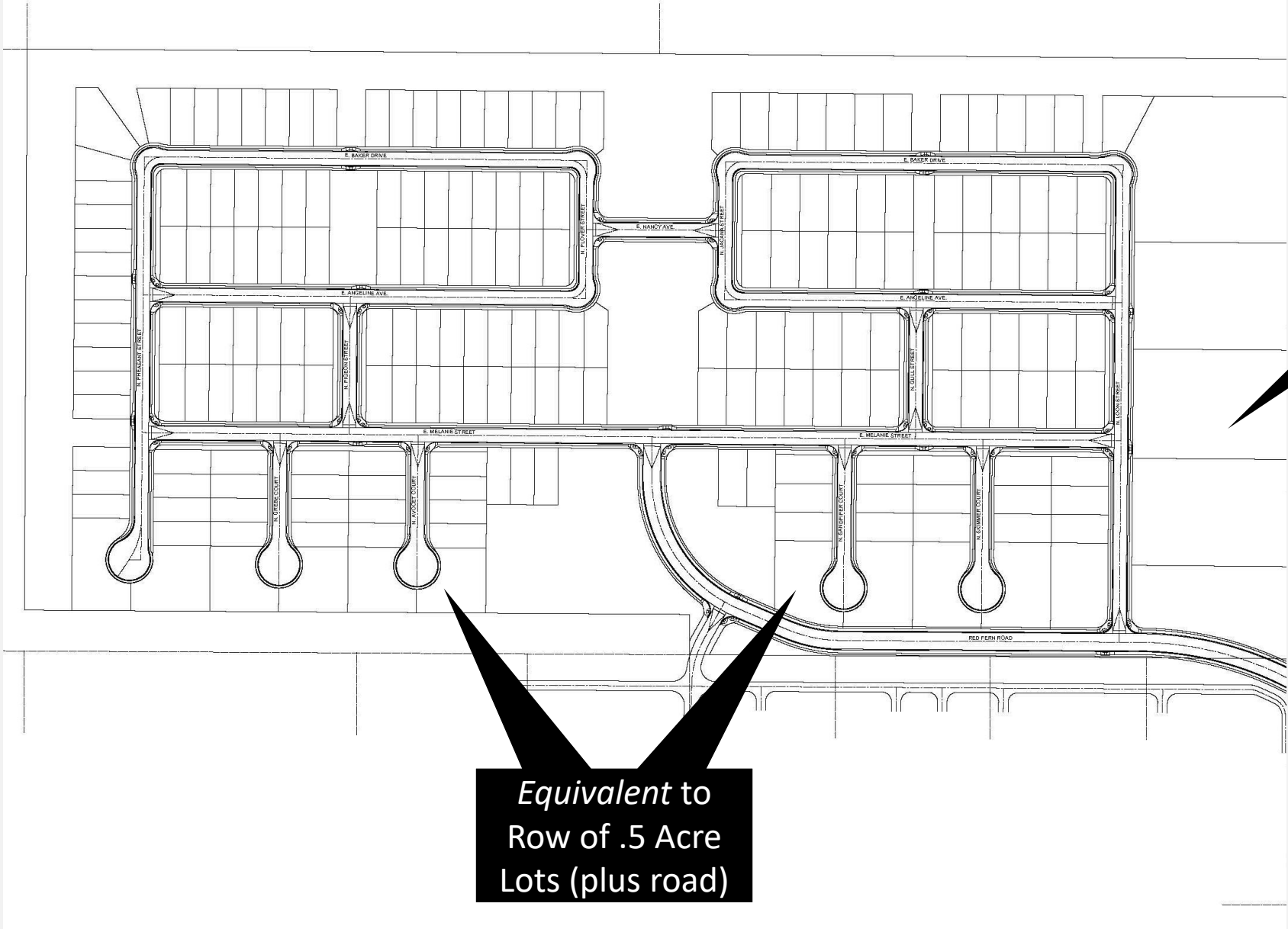
Current Plan







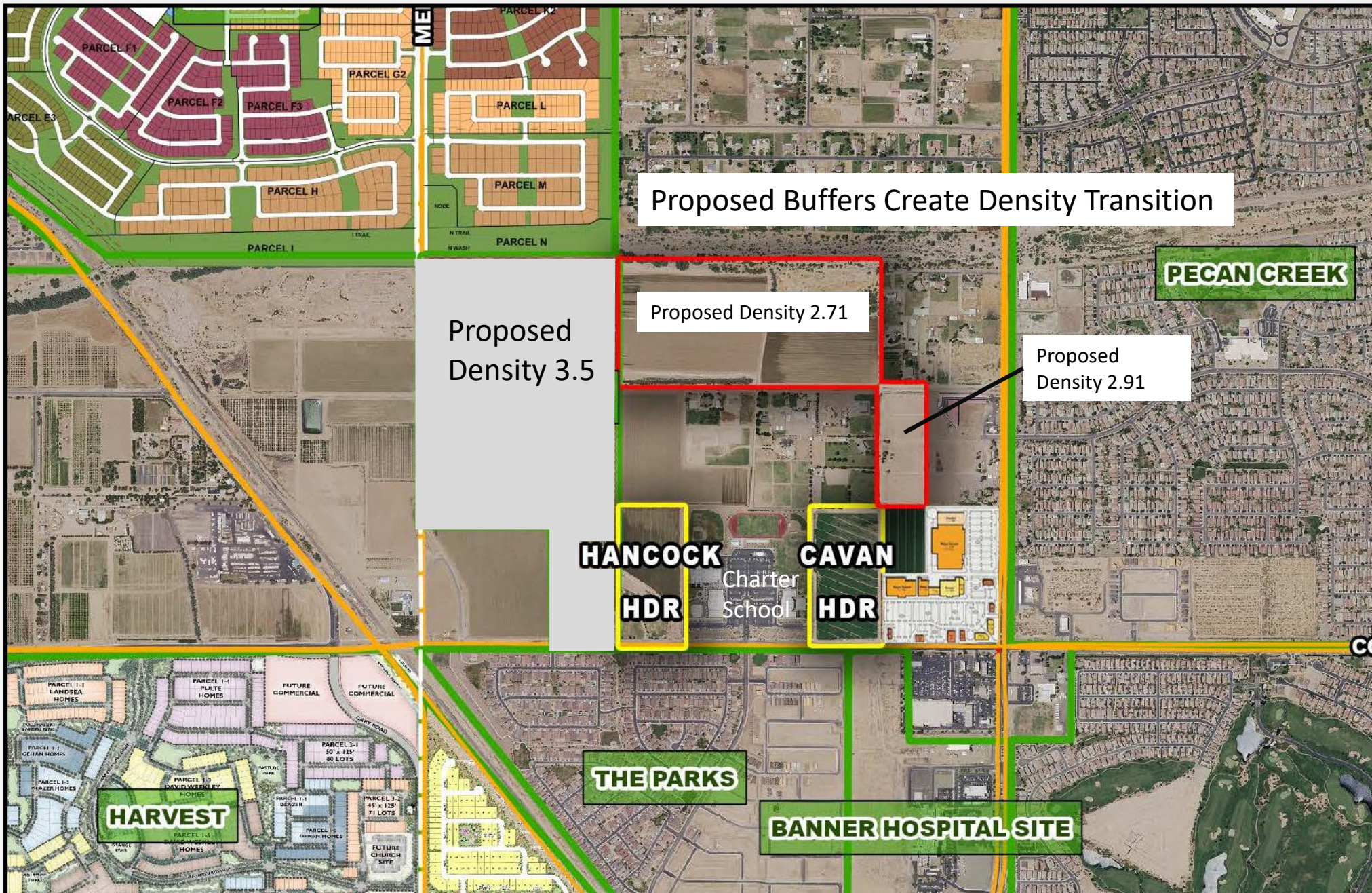
Open Space Buffer Creates Transition – Equivalent to .5 Acre and 1.5 Acre Lots

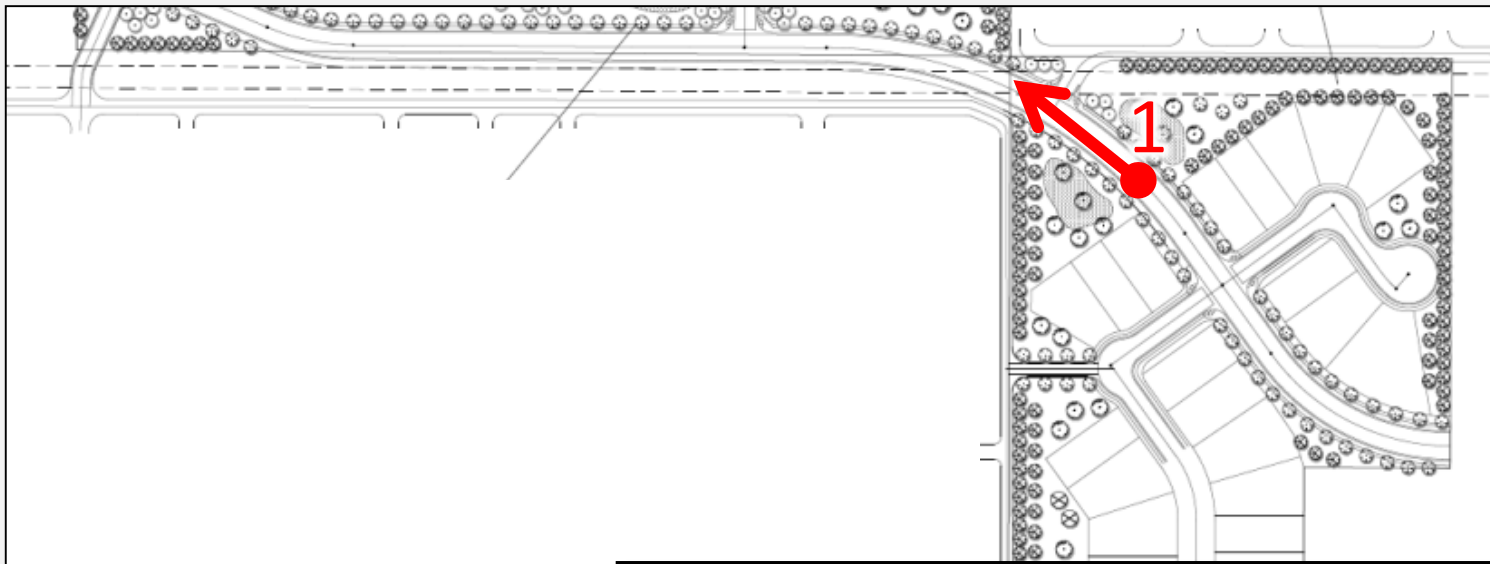


*Equivalent to
Row of 1.5 Ac
Lots*

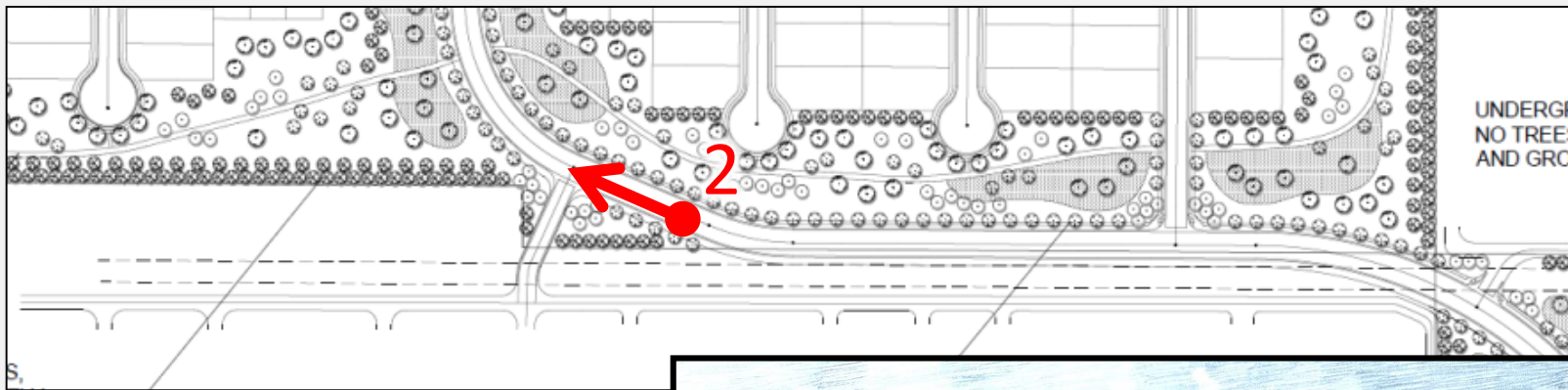
*Equivalent to
Row of .5 Acre
Lots (plus road)*

Surrounding Development Pattern





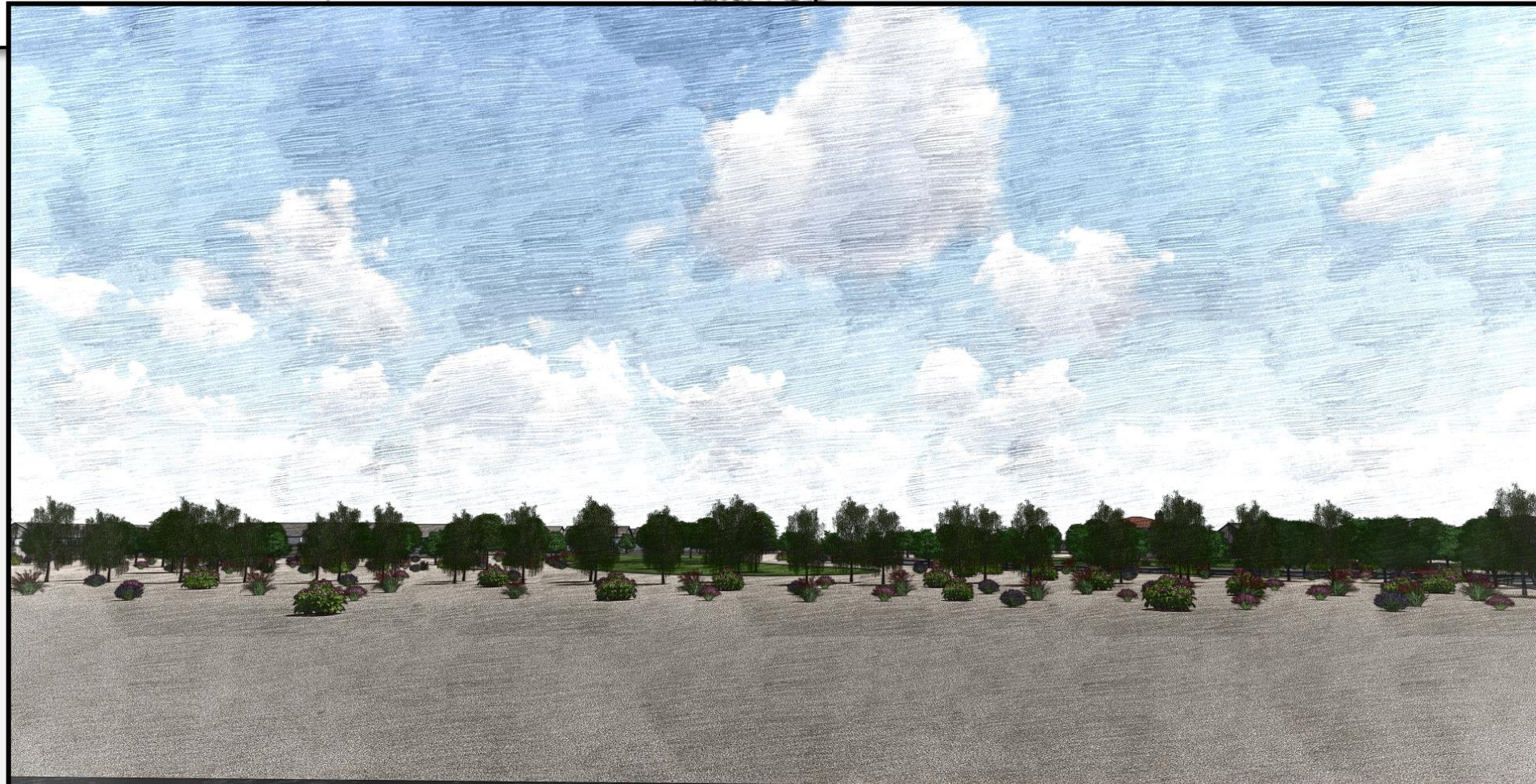
Conceptual Rendering –
Trees Shown at +/- 5
Years after Planting



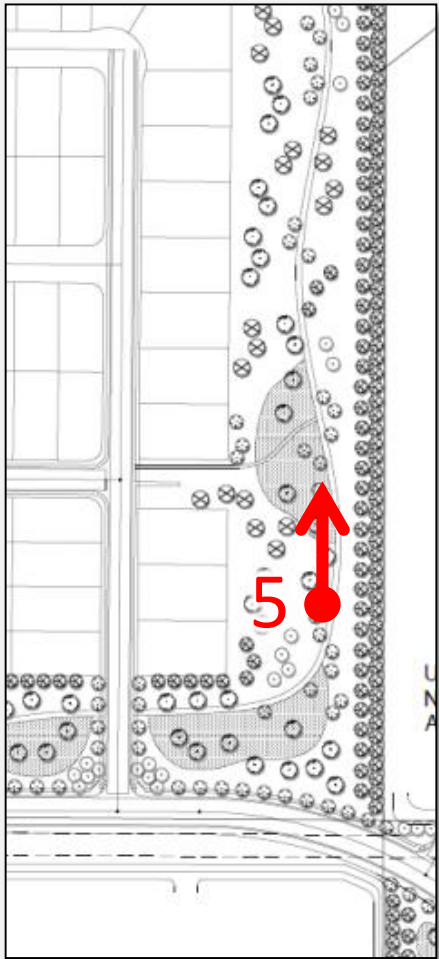
Conceptual Rendering –
Trees Shown at +/- 5
Years after Planting



Conceptual Rendering
– Trees Shown at +/- 5
Years after Planting



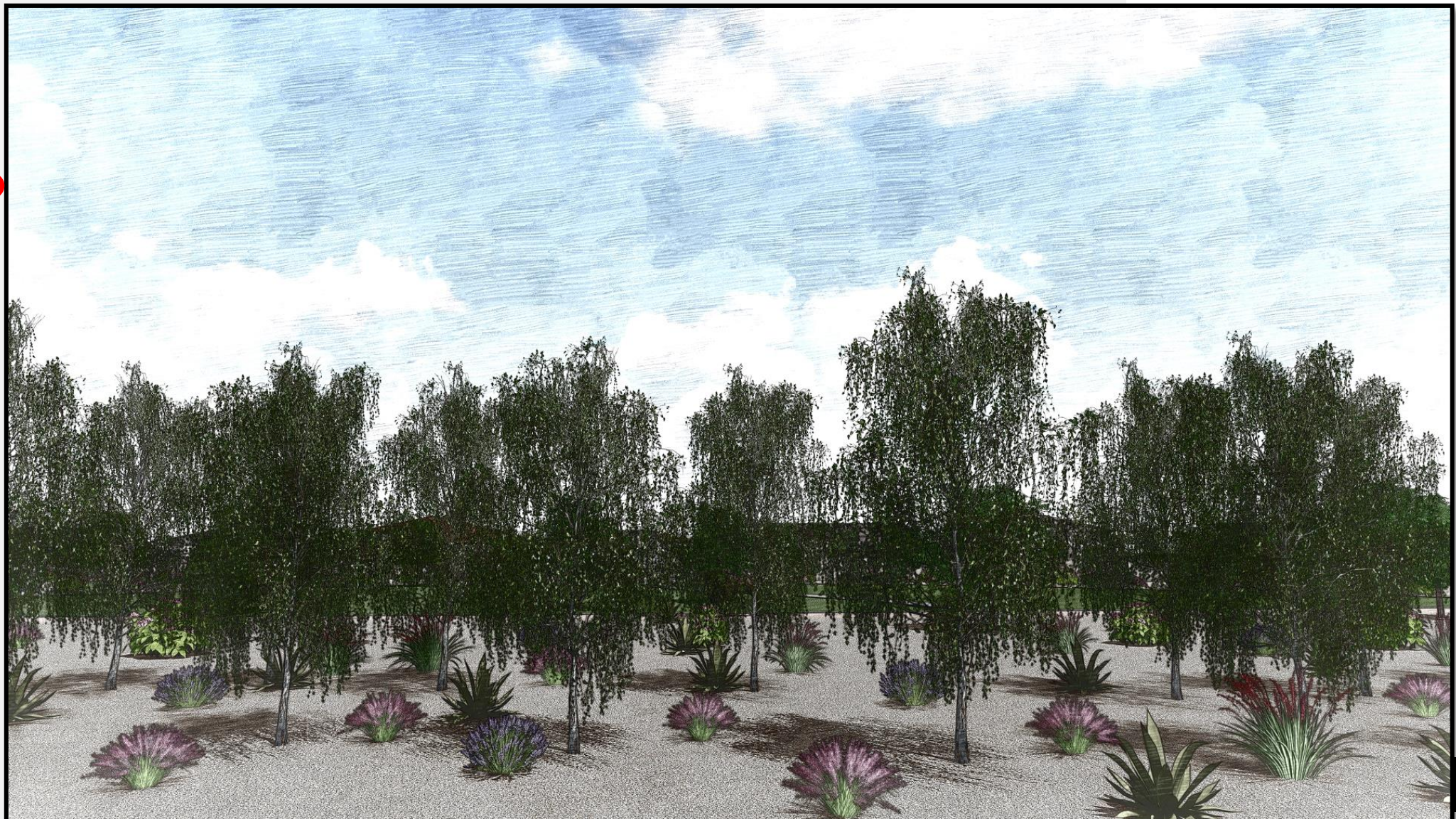
Conceptual Rendering
– Trees Shown at +/- 5
Years after Planting



Conceptual Rendering –
Trees Shown at +/- 5 Years
after Planting



Conceptual Rendering –
Trees Shown at +/- 5 Years
after Planting

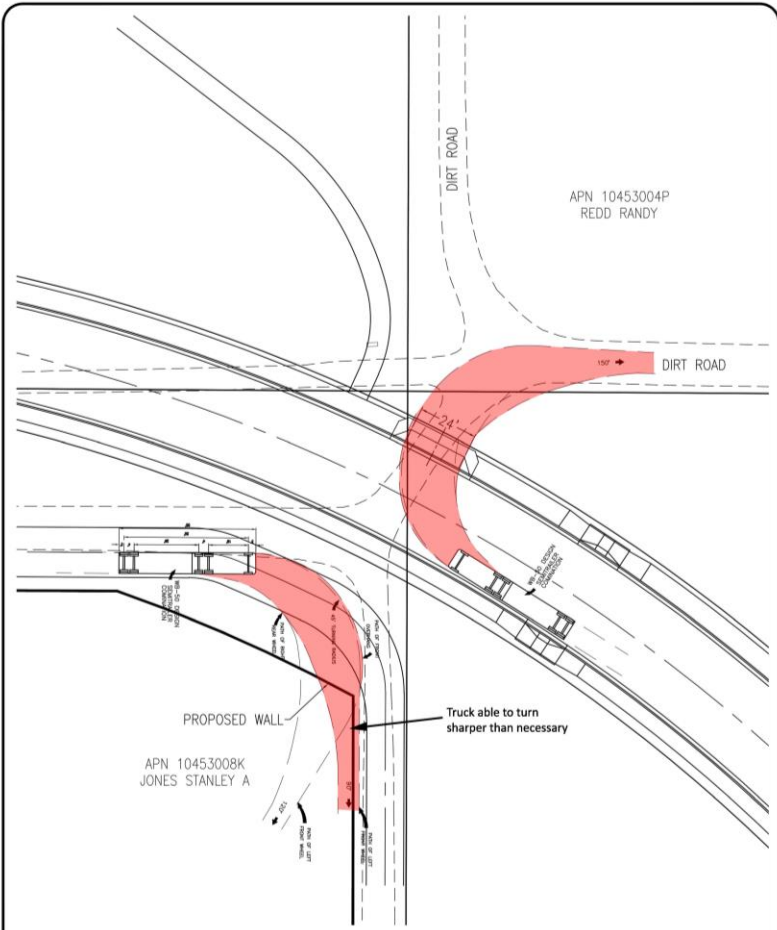


Changes and Accommodations Resulting from Cooperation with Neighbors

- Lower Density to 2.87 Du/Ac. overall.
- Install Massive Landscape Buffers.
- Provide extensive landscape package in buffer areas.
- Install Horse/Walking Trail in Landscape Buffer.
- Provide legal access to existing neighbors for use of trails for equestrian/walking use. Legal Right to use will be secured within CC&R's.
- Removal of plants species not friendly to horses.
- Improve circulation and safety by providing paved access to Pecan Creek signalized intersection.
- Ensured entrances to Sun Valley Farms will accommodate larger trucks and trailers.
- Continue to pay pro-rate share of HOA water assessment.
- Bury NMIDD canal from Gantzel Rd to western property edge of development.
- Bury canal on Sangria (roadway on eastern side of rural lots)
- Provide automatic gates with Sun Valley Farms to prevent trespassing.
- Bring High Speed Internet and other dry utilities to the property.
- Potentially annex both The Quarters and Sun Valley Farms into the Queen Creek Fire District.

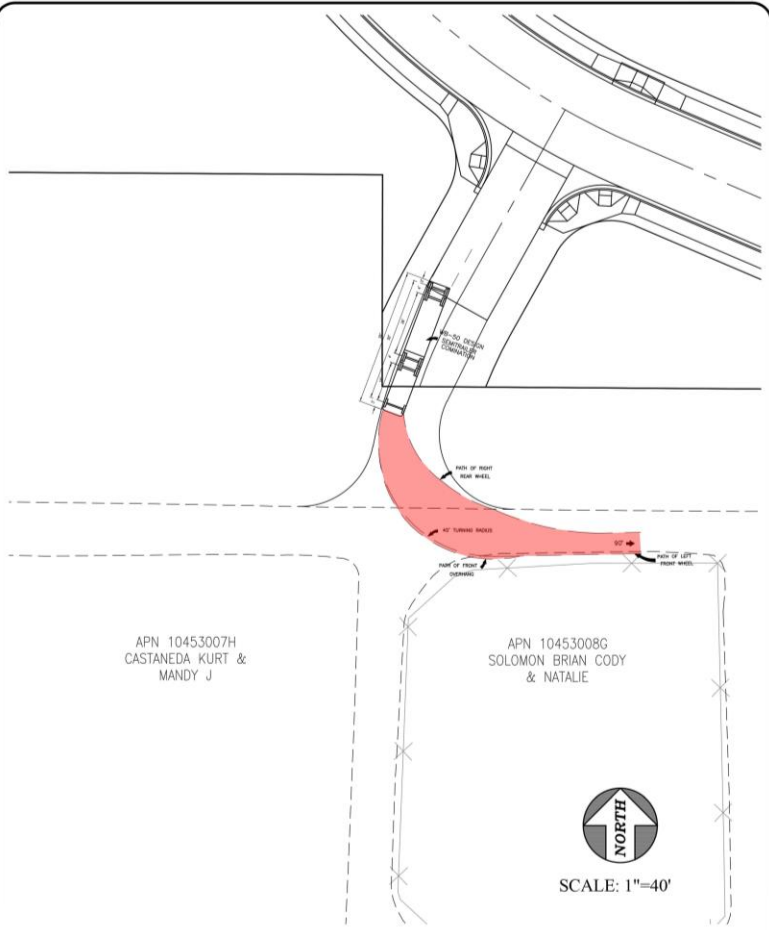
Over almost 2.5 years, we have had many meetings, phone calls, texts, emails, and letters with members of the community to discuss concerns, make changes to plan, and to reach this point. We thank them for their willingness to work together.

Truck and Trailer Access



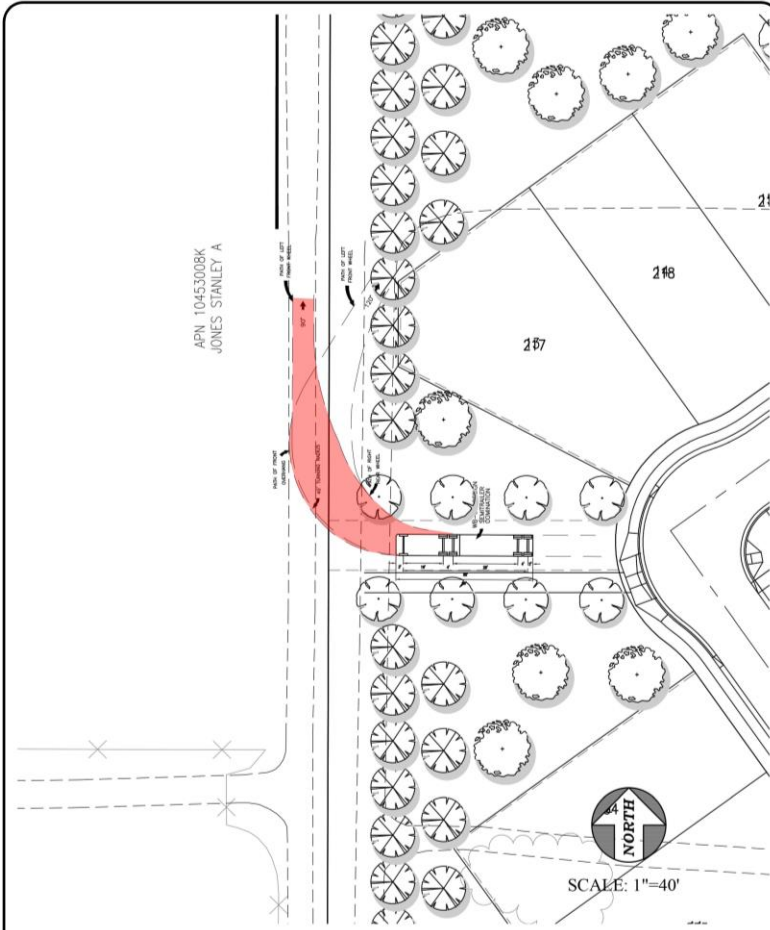
3205 W. Ray Road
Chandler, AZ 85226
Phone: 480.705.5372
Fax: 480.705.5376
www.unitedeng.com

EXHIBIT 1-3
WB-50 TURNING RADIUS



3205 W. Ray Road
Chandler, AZ 85226
Phone: 480.705.5372
Fax: 480.705.5376
www.unitedeng.com

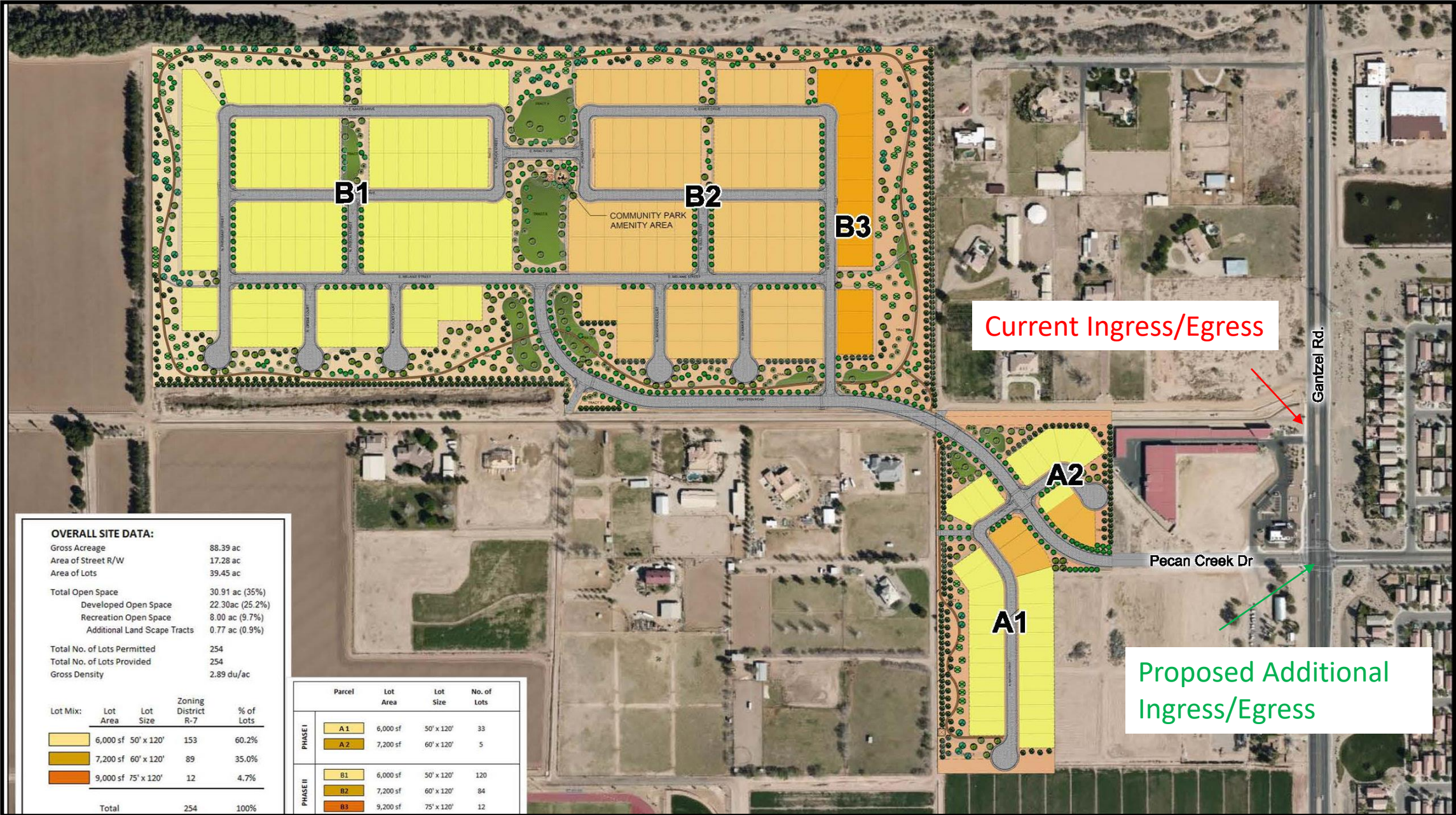
EXHIBIT 5-6
WB-50 TURNING RADIUS



3205 W. Ray Road
Chandler, AZ 85226
Phone: 480.705.5372
Fax: 480.705.5376
www.unitedeng.com

EXHIBIT 7-8
WB-50 TURNING RADIUS

Access to Signal Is Significant Safety Improvement to Existing Rural Community



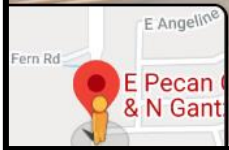


Existing Ingress/Egress Point



Dutch Bros (opened 2020)

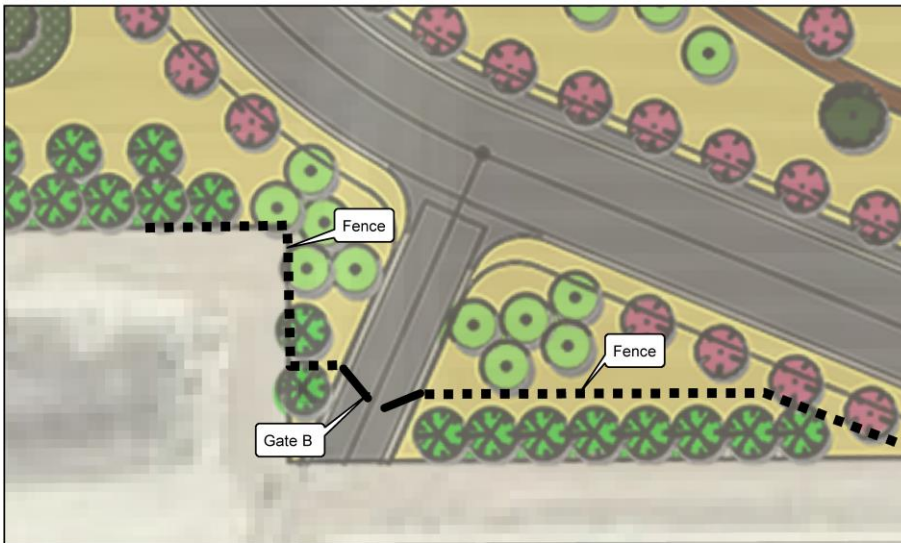
Proposed *Additional* Ingress/Egress Point



NMIDD Irrigation Canal



Gate Plan



The Quarters at Queen Creek

Pinal County, Arizona

ueg united
engineering
group
Wall/Fence/Gate Plan 1



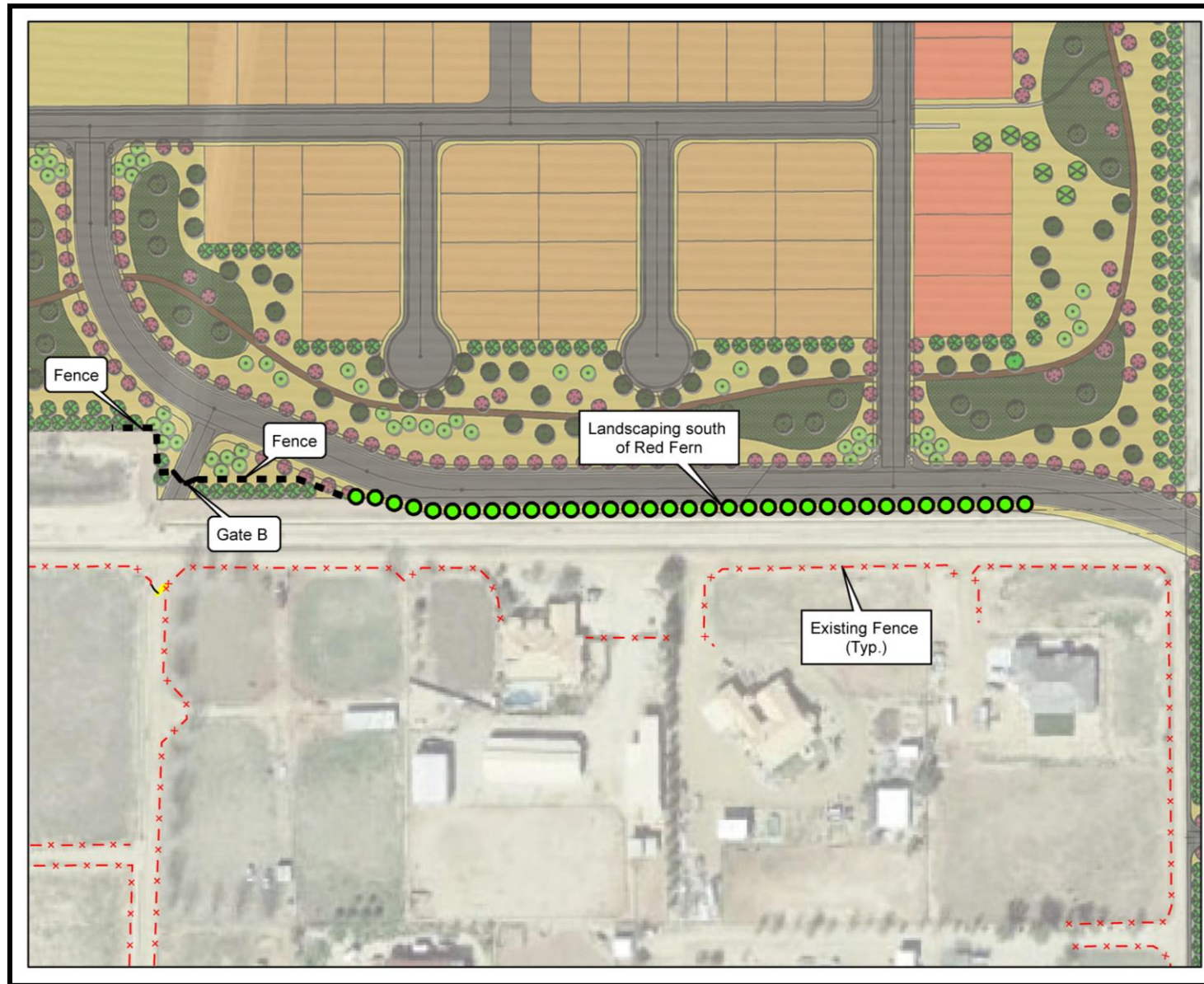
The Quarters at Queen Creek

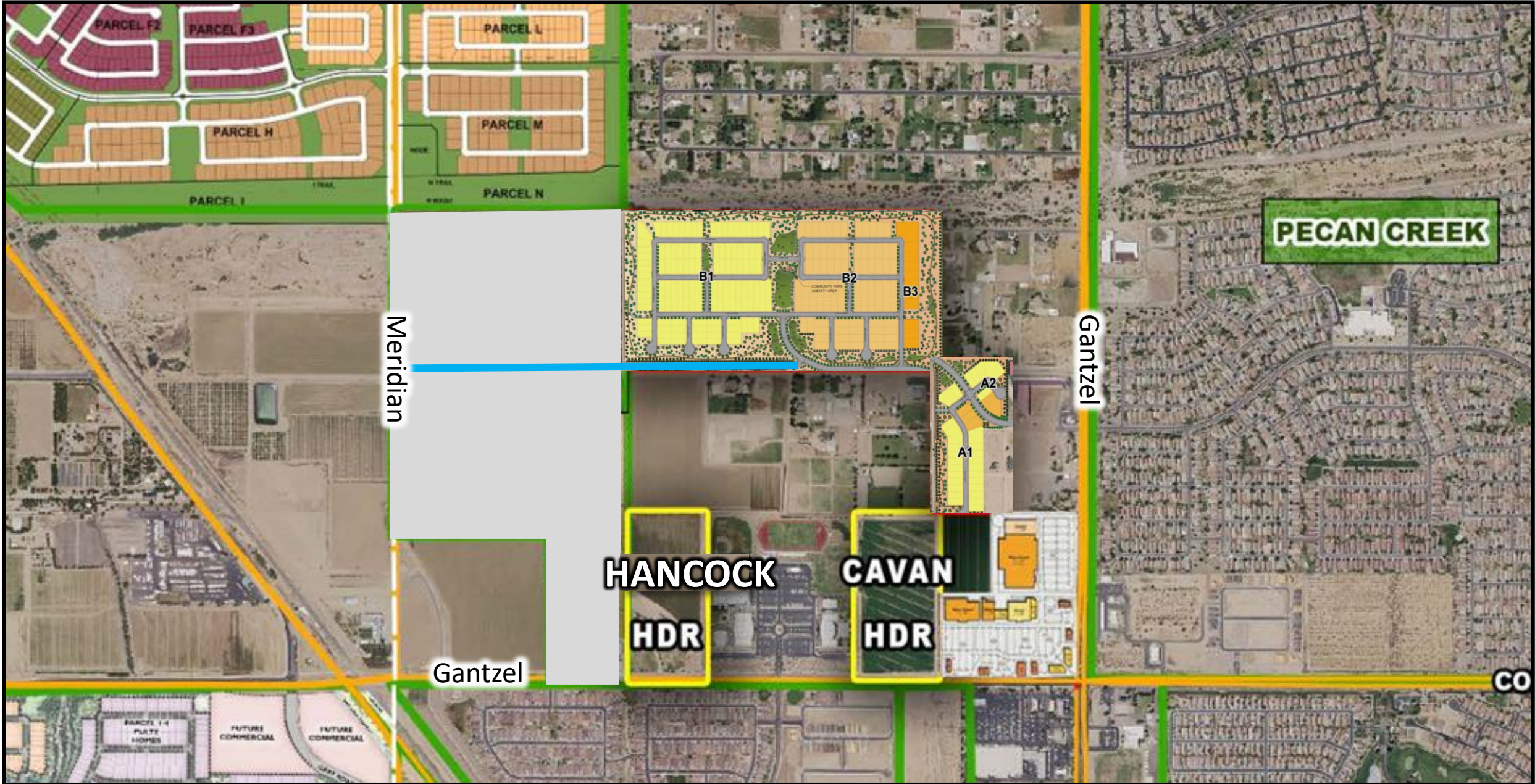
Pinal County, Arizona

ueg united
engineering
group
Wall/Fence/Gate Exhibit 2

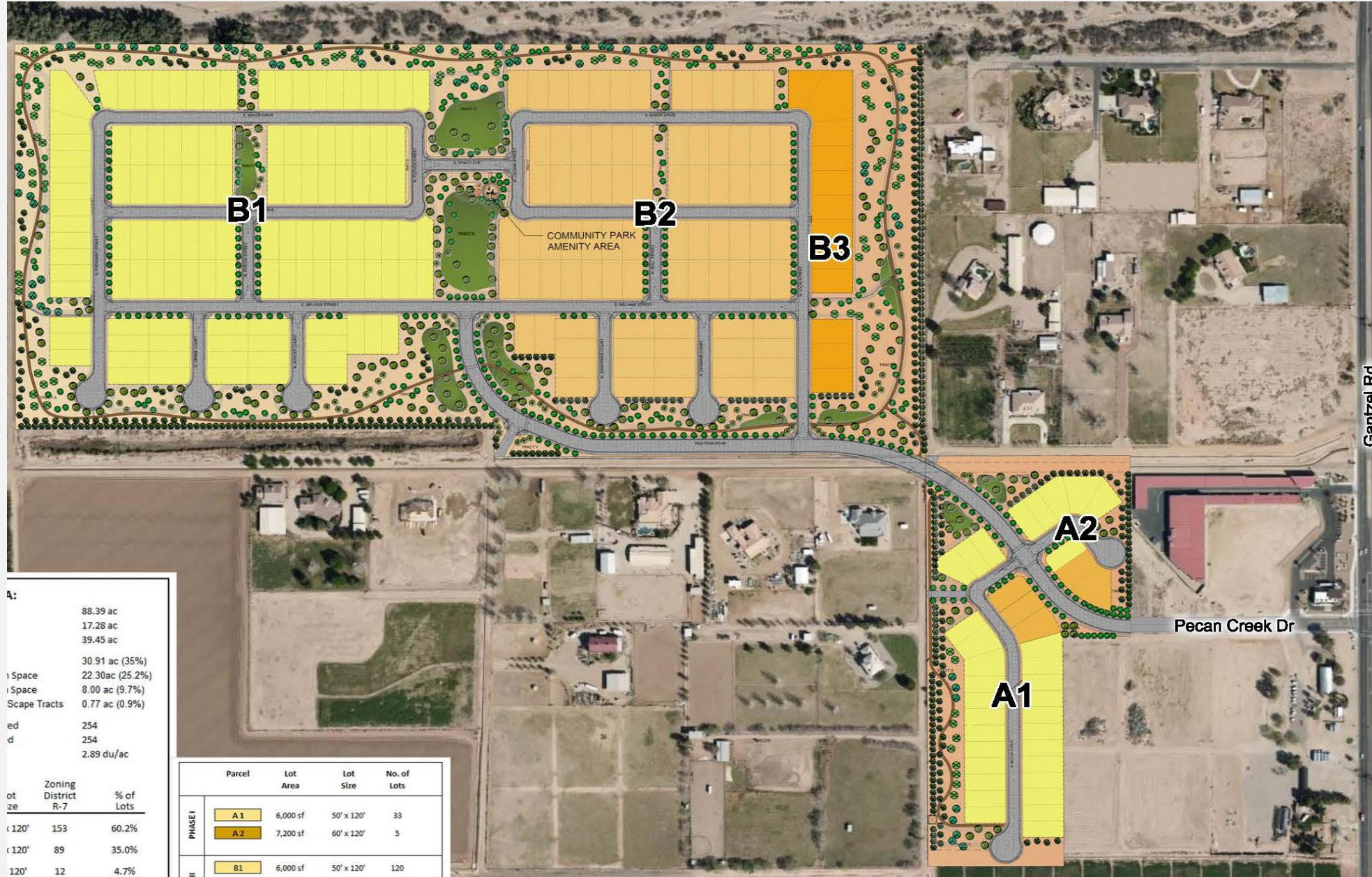


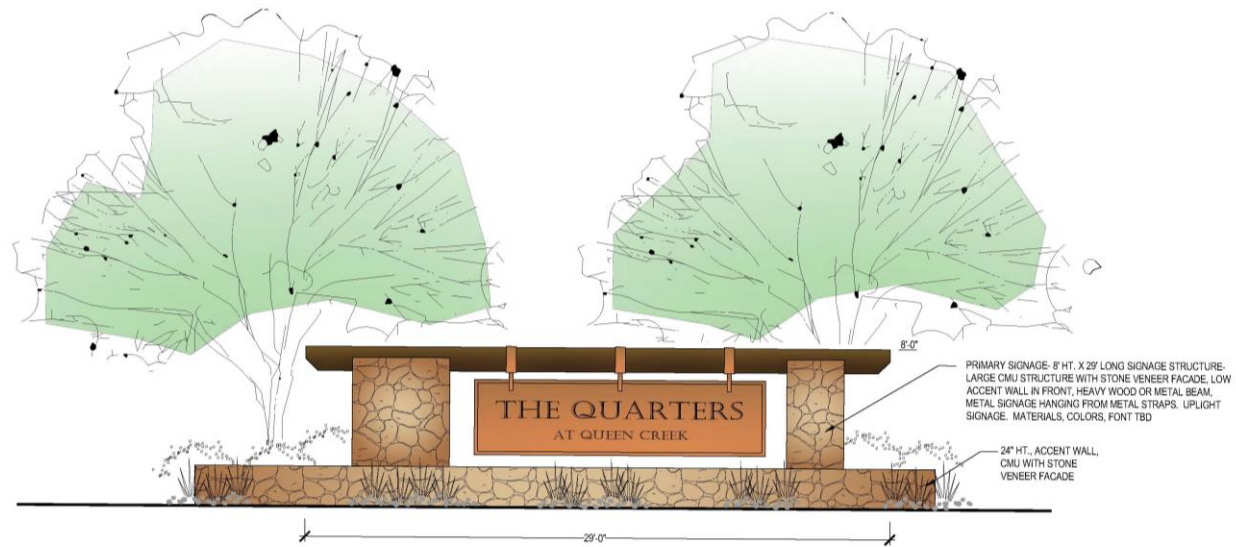
Landscape along Red Fern





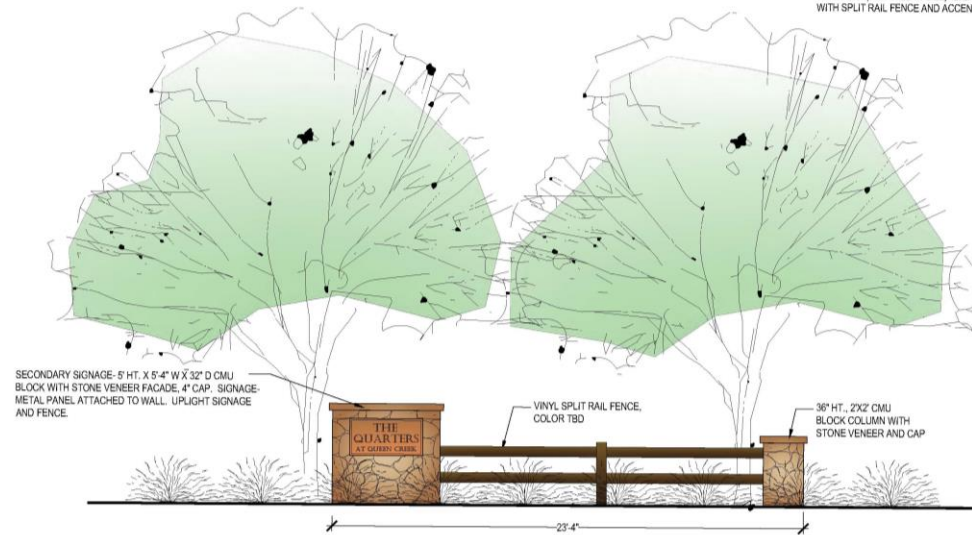
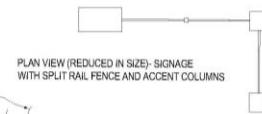
Current Plan





7 PRIMARY ENTRY MONUMENTATION

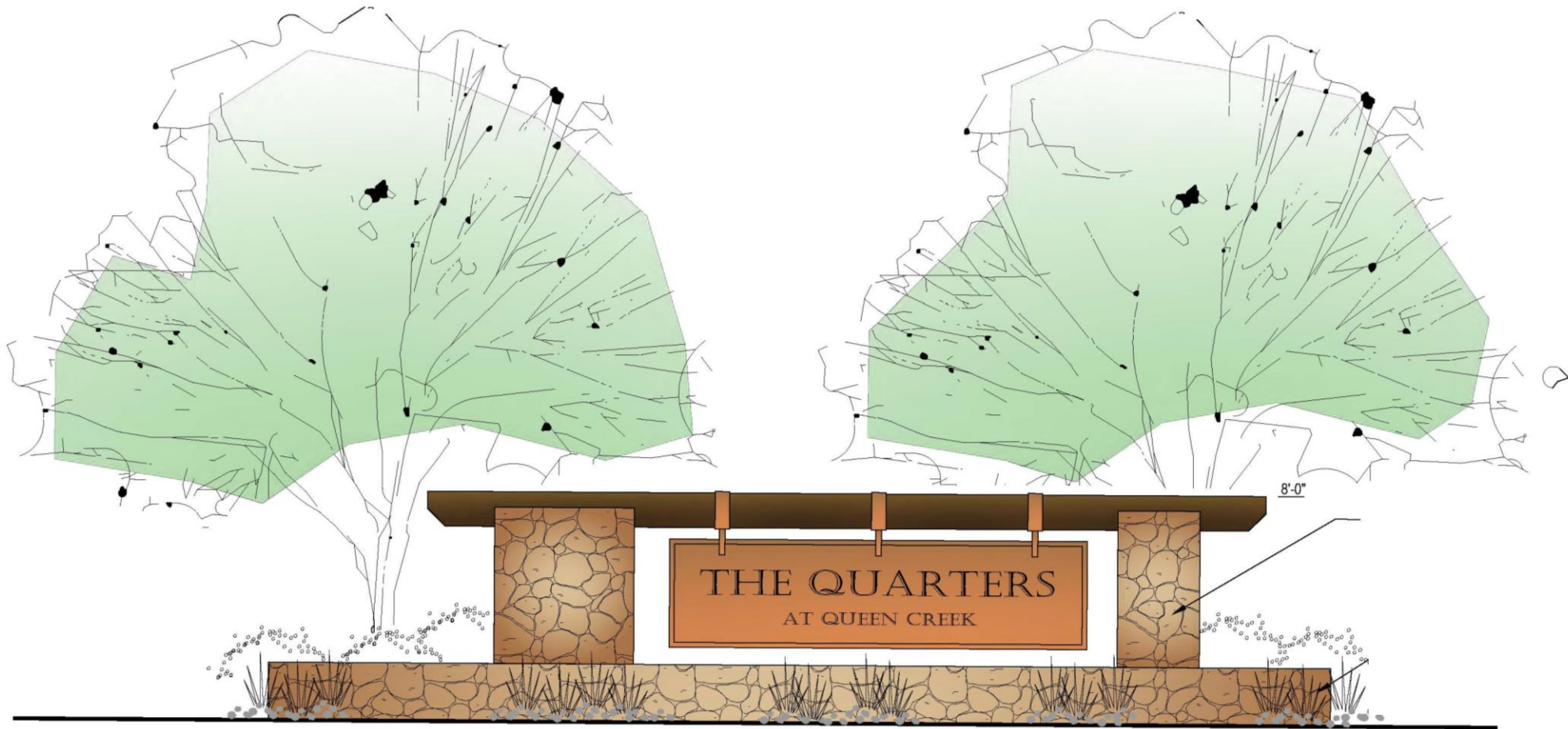
SCALE: 3/8" = 1'-0"



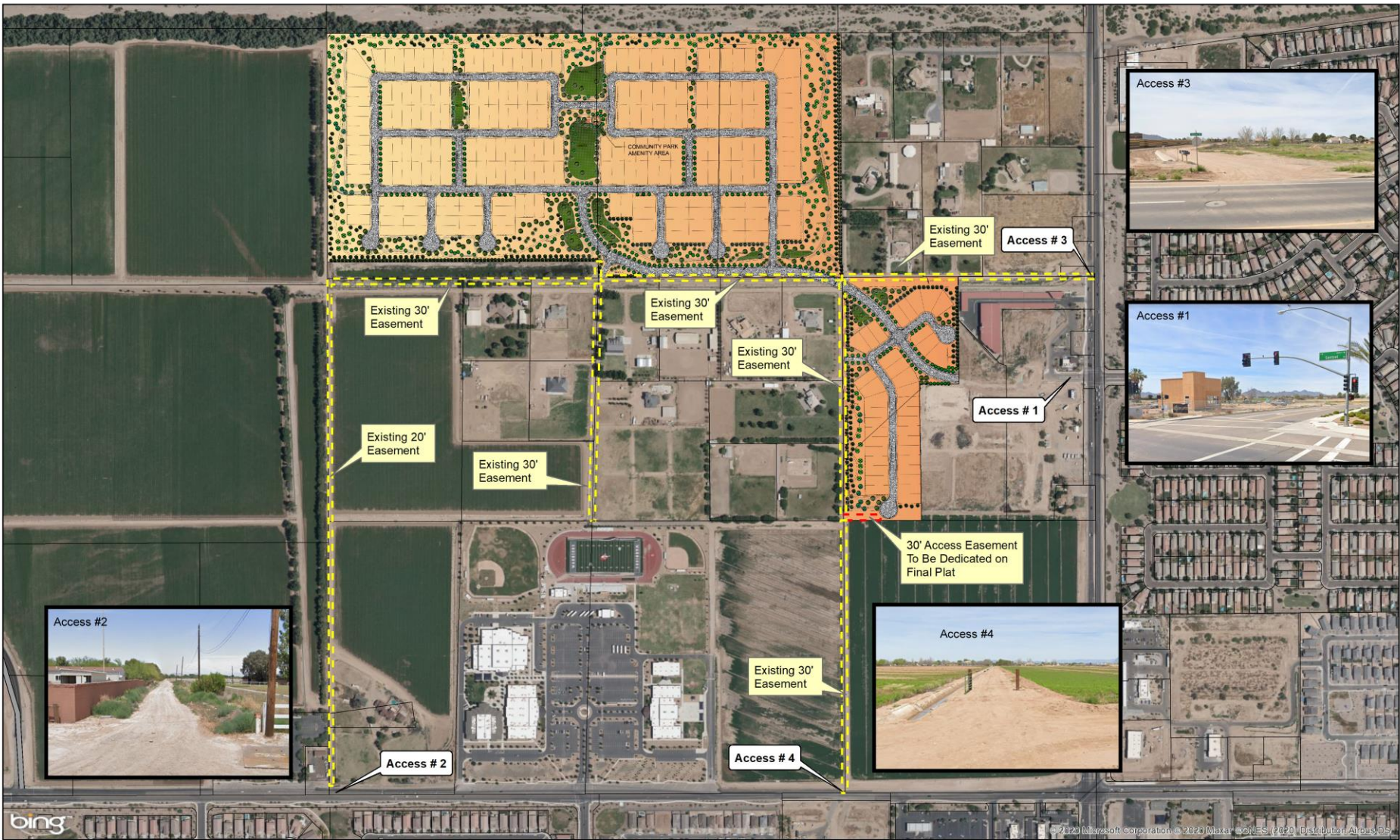
8 SECONDARY ENTRY MONUMENTATION

SCALE: 3/8" = 1'-0"

Thank You



Secondary / Emergency Access



The Quarters at Queen Creek

San Tan Valley, Arizona



After Planning Commission, Rural Metro Approved Emergency Access Route



RURAL METRO FIRE DEPARTMENT

To: Sean M. Hamill
From: Kenneth Diamond
RE: The Quarters at Queen Creek
Date: October 13, 2020

Mr. Hamill

As per our conversation when we met on your site I approve the site plan and the fire department access points as described on the attached exhibit. As discussed on the gated roads these would need to have a knox box and Opticom strobe access.

If you should need anything else from my office please let me know.

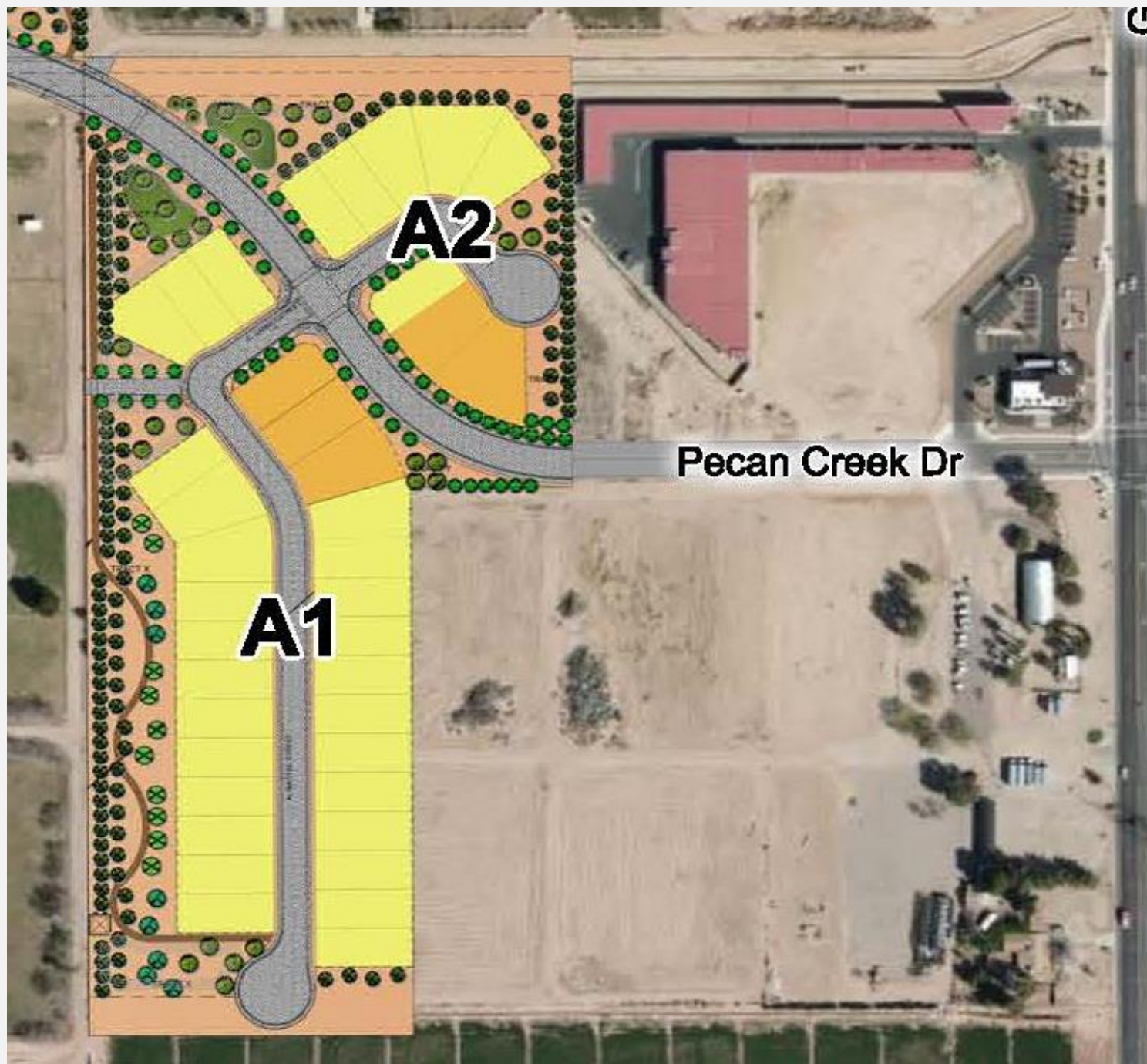
A handwritten signature in black ink, appearing to read "Kenneth Diamond", written over a horizontal line.

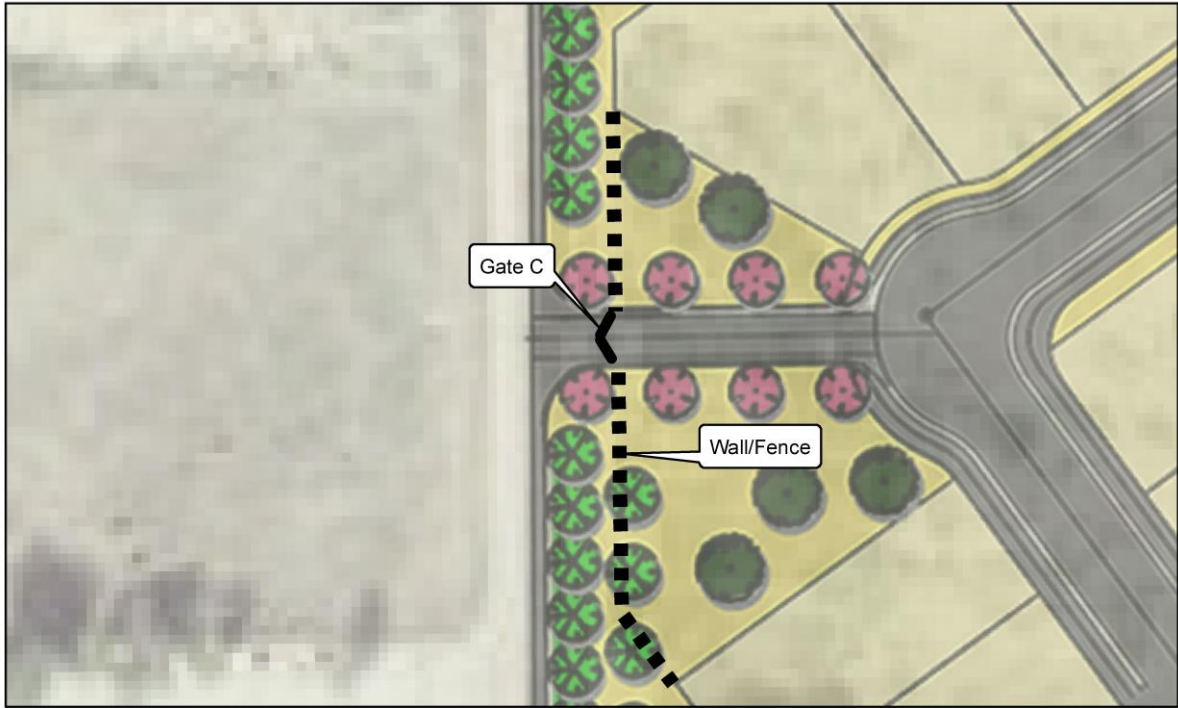
Kenneth Diamond
Fire Captain
Fire Marshal
Rural Metro Fire Department
480-869-2340
Kenneth.diamond@GMR.NET

Additional Stipulations for Sun Valley Farms Unit IV

- Other than roadway improvements associated with Red Fern Road or the undergrounding of the irrigation canal, no development or landscaping shall be installed in the easement located in the western 15' of APN 104-53-009D
- Developer shall install automatic vehicular gates over the two access drives into the adjacent rural residential community located to the south of APN 104-53-005A and west of APN 104-53-009D. The first drive is located on the subject property and is approximately located at the intersection of the Dunnbrokus Ranch Road alignment and the Red Fern Road alignment. The second drive is located on the subject property and is approximately located 400 south of the northwest corner of APN 104-53-009D.
- Access through the automatic vehicular gates over the two drives into the adjacent rural residential community will not be for the use of the subject development, except for fire and emergency access, but will instead be for the use of the residents of the rural residential adjacent to the subject property. These two gates shall be connected to a permanent power source and will not rely exclusively on solar power. The developer shall provide at least 24 remote controls for these gates to the president of the Sun Valley Farms Unit IV board of directors for distribution to the residents. Both gates shall be equipped with KnoxBoxes and strobe sensors for fire and emergency access.
- The driveways into the adjacent residential community located south of APN 104-53-005A and west of APN 104-53-009D shall be at least 28' wide.
- Developer shall not seek to abandon any irrigation facilities delivering irrigation water to the rural residential lots located west of APN 104-53-009D.
- There shall be no walking trail or community amenity area located on the west side of APN 104-53-009D as part of the subject development.
- A wall or fence shall be installed to connect the vehicular gate into the adjacent residential community on the west side of APN 104-53-009D and the perimeter wall of the adjacent proposed residential lots to the north and south of the vehicular gate.

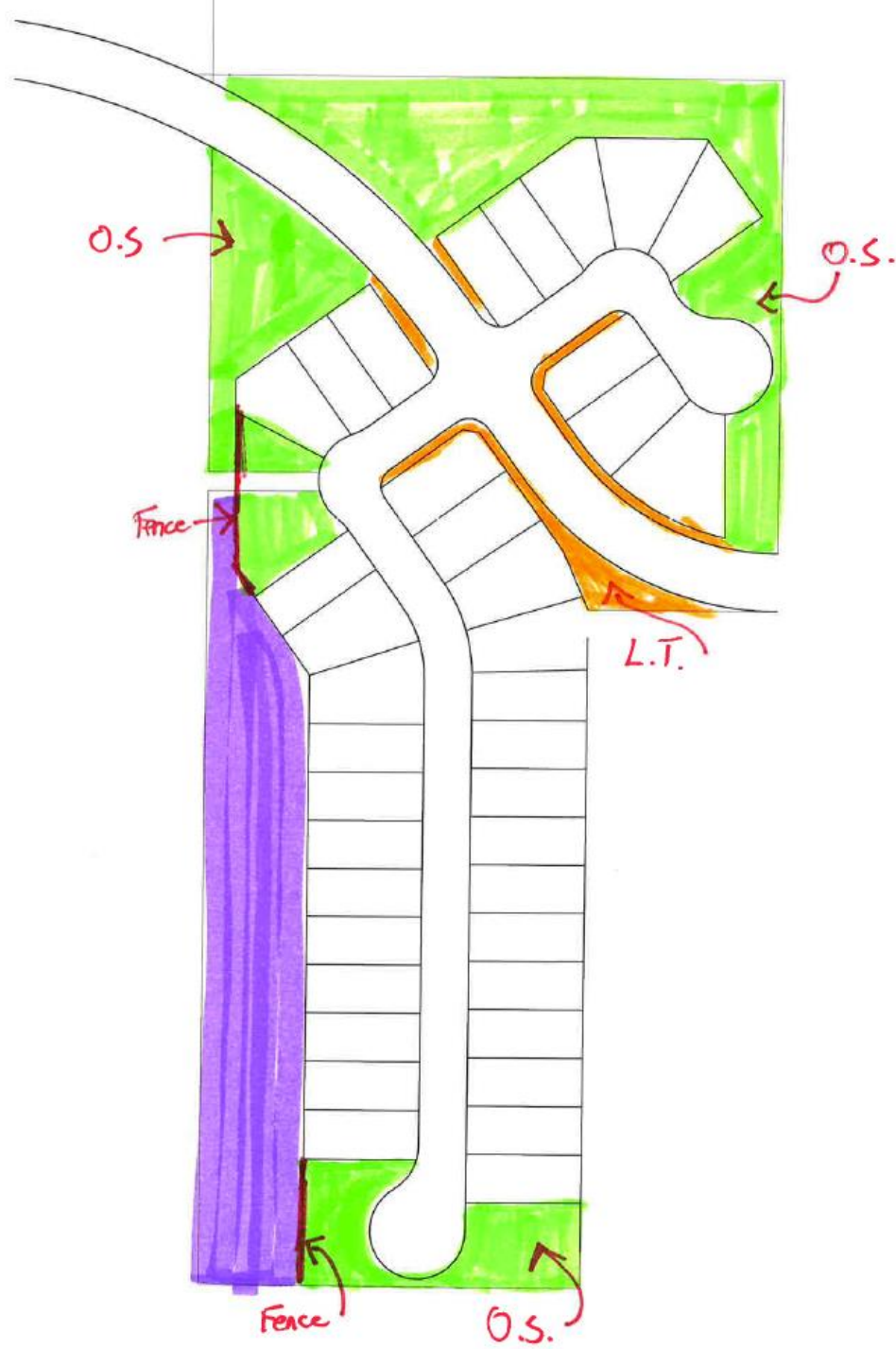
- A wall or fence shall be installed to connect the fire access gate on the south side of APN 104-53-009D and the perimeter wall of the adjacent proposed residential lot to the north.
- A row of plants shall be installed south of the Red Fern Road pavement, just north of the project's south property line, between approximately the midpoint of APN 104-53-008K west to approximately the point at which Red Fern Road curves to the north, at which point fencing will extend from the west edge of this row of plants to the gate over the roadway extending from Red Fern Road to the adjacent community south of the subject property. This shall be done to discourage pedestrians traversing onto private property south of Red Fern Road.
- Notice language shall be added to the community CC&Rs regarding the existing use characteristics of the rural residential neighborhood adjoining the proposed community. Such rural use characteristics shall be enumerated to include the cultivation of crops and the raising of farm animals.
- Language shall be added to the community CC&Rs granting non-motorized legal access to owners of the rural lots east and south of the subject property for their use of the proposed community's walking/equestrian trail.
- Developer shall install a 6'-tall CMU wall along the western boundary of APN 104-53-004R.
- Developer/homebuilder shall be responsible for paying in-lieu fees for the extension of Red Fern Road from the proposed alignment shown on the site development plan (i.e. Exhibit A to the PAD submitted September 1, 2020) to the western property line of the subject property, which will enable the County to construct that potential extension at a future date. The amount of the total fees shall be provided by sealed engineer estimate at time of final plat. Developer/homebuilder shall be permitted to proportion these total fees across the development's proposed 254 lots, with each proportional payment due at the time of pulling building permits for each individual lot (and not at time of final plat).

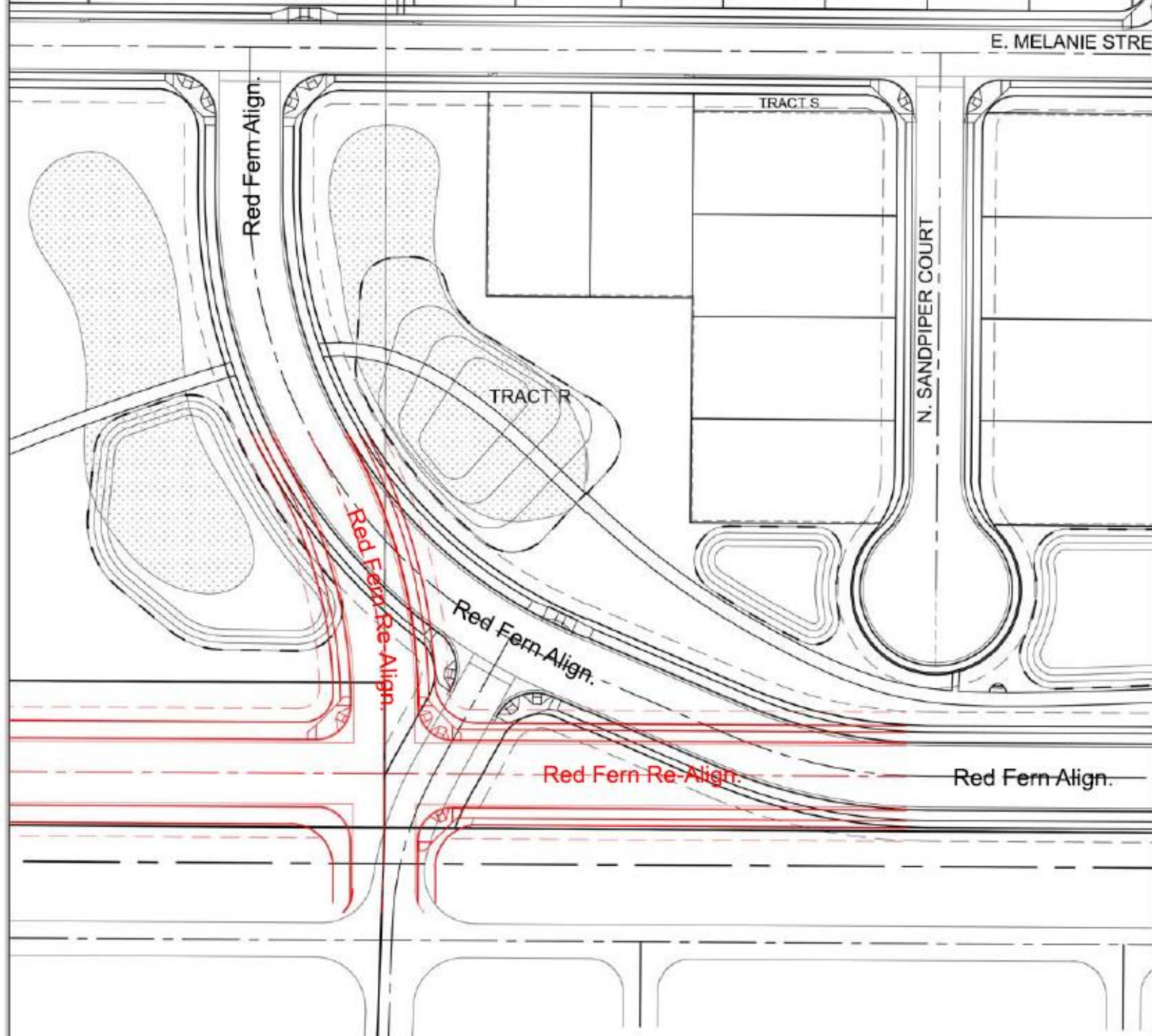




Area 14.61

O.S.	3.08	21%
None O.S.	1.79	
L.S.T	.34	





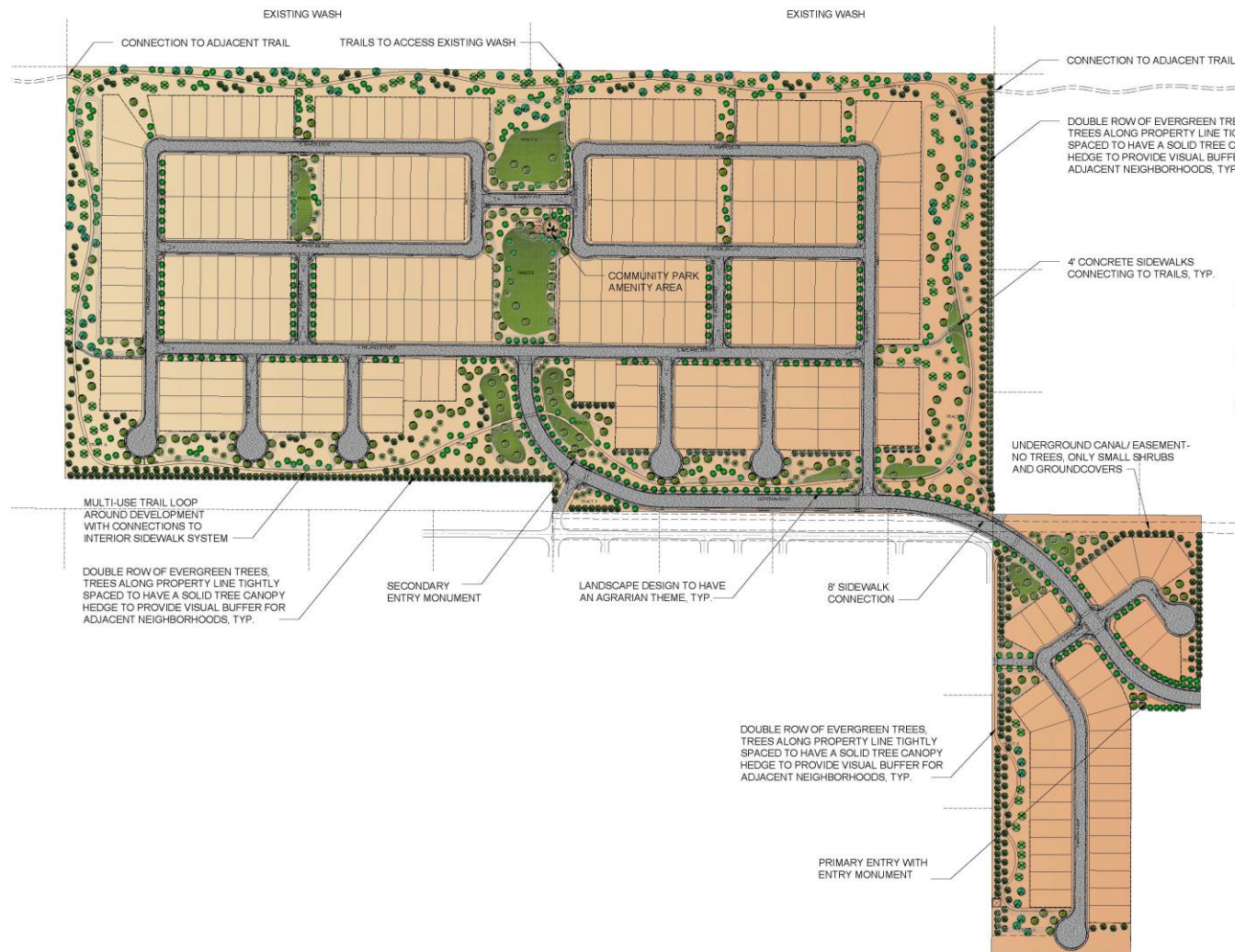
Alternate Stipulation

Developer shall be responsible for paying in-lieu fees for the extension of Red Fern Road from the proposed alignment shown on the site development plan (i.e. Exhibit A to the PAD submitted September 1, 2020) to the western property line of the subject property, which will enable the County to construct that potential extension at a future date. The amount of the total fees shall be provided by sealed engineer estimate. Developer shall be permitted to proportion these total fees across the development's proposed 254 lots, with payment due at the time of pulling building permits for each individual lot. The details of these payments shall be specified in a development agreement between the developer and Pinal County, which agreement shall be recorded prior to the issuance of vertical building permits. Said development agreement shall specify that if by governmental action, either by Queen Creek or Pinal County, it is determined Red Fern Road will not extend west of the western property line of the subject property, then no additional in-lieu payments shall be required and any in-lieu payments already made to Pinal County shall be refunded to the future homeowners' association of the subject property.

REZONE W/ PAD OVERLAY

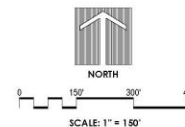
Current Designation: SR (Suburban Ranch) & CR-2
Proposed Designation: R-7 PAD

Table B - Amended Development Standards							
Min. Lot Area (SF)		Min. Lot Width		Setbacks (Front/Side/Rear)		Max. Bldg. Height of Main Building	
R-7 Base Zoning	Proposed PAD	R-7 Base Zoning	Proposed PAD	R-7 Base Zoning	Proposed PAD	R-7 Base Zoning	Proposed PAD
7,000	6,000	50'	*50'	20'/ 10'+10'/ 25'	*20'/ 5'+5'/ 20'	30'	30'
Max. Buildable Area		Min. Dist. Between Main Buildings		Min. Dist. Between Main & Detached Accessory Buildings		Max. Bldg. Height of Detached Accessory Building	
R-7 Base Zoning	Proposed PAD	R-7 Base Zoning	Proposed PAD	R-7 Base Zoning	Proposed PAD	R-7 Base Zoning	Proposed PAD
N/A	*60%	N/A	5'	7'	7'	20'	20'
<p><i>*Notes:</i></p> <ol style="list-style-type: none"> 1. Minimum lot widths are measured at the front setback line. 2. The typical front garage setback is 20' from back of sidewalk to the face of garage door. 3. Front patio may extend into front yard setback no more than 5' 4. Side-entry garage and/or casitas (livable space) will have a minimum front yard setback of 15' measured from the front property line. 5. A covered patio is a single-story element and may extend into the rear yard setback no more than 10'. 6. Street side yard setbacks on lots shall include adjacent landscape tracts. In addition to any landscape tract, a 5' wide side yard setback will be required on the lot. 7. Buildable area not to exceed 60 percent of the lot, including all structures, except swimming pools. 							



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	ACACIA SALICINA	WILLOW ACACIA	15 GAL / 24\" BOX
	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM	15 GAL
	PISTACIA CHINENSIS 'RED PUSH'	RED PUSH PISTACHE	15 GAL / 24\" BOX
	PROSOPIS CHILENSIS	THORNLESS MESQUITE	15 GAL
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24\" BOX
	ULMUS PARVIFOLIA	EVERGREEN ELM	15 GAL / 24\" BOX
SHRUBS/VINES			
	DODONAEA VISCOSA 'PURPUREA'	HOP BUSH	5 GAL
	EREMOPHILA GLABRA SPP. CARNOSEA	WINTER BLAZE	5 GAL
	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUA SAGE	5 GAL
	LEUCOPHYLLUM ZYGOPHYLLUM	CHIRARRON SAGE	5 GAL
	NERIUM OLEANDER	\"PETITE PINK\" OLEANDER	5 GAL
	RUELLIA BRITTONIANA	BRITISH RUELLIA	5 GAL
	SENNA ARTEMISIOIDES	CASSIA	5 GAL
	TECOMA STANS	\"GOLD STAR\" YELLOW BELLS	5 GAL
ACCENTS			
	AGAVE DESMETTIANA	AGAVE	5 GAL
	HESPERALOE PARVIFLORA 'PERPK'	BRAKELIGHTS RED YUCCA	5 GAL
	MUHLENBERGIA CAPILLARIS	REGAL MIST	1 GAL
	MUHLENBERGIA RIGENS 'NASHVILLE'	NASHVILLE MUHLY GRASS	1 GAL
	YUCCA RECURVIFOLIA	CURVLEAF YUCCA	5 GAL
GROUND COVER			
	ACACIA REDOLENS	DESERT CARPET	1 GAL
	EREMOPHILA GLABRA	OUTBACK SUNRISE EMU	1 GAL
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL
	MILYARDOPHILUM LEUCANTHUM	BLACKFOOT DAISY	1 GAL
	PENSTEMON PARRYI	PARRY'S PENSTEMON	1 GAL
	ROSMARINUS OFFICINALIS	TRAILING ROSEMARY	1 GAL
	RUELLIA BRITTONIANA 'KATIE'	KATIE RUELLIA	1 GAL
	TURF	HYDROSEED BERMUDA	
INERT GROUND COVER			
	DECOMPOSED GRANITE	TBD	1/2\" SCREENED (2\" MIN. DEPTH)
	DECOMPOSED GRANITE TRAIL	TBD	1/4\" MINUS (2\" MIN. DEPTH)
	CONCRETE HEADER	PLAIN CONCRETE	4\" W X 6\" HT.
	PLAYGROUND WOOD CHIPS	FOR PLAY AREA	12\" DEPTH 8\" DEPTH



**PRELIMINARY
NOT FOR
CONSTRUCTION**

**PINNACLE
DESIGN
INC**

1048 N. 44th St. #200
Phoenix, AZ 85008
602.952.8585
www.pdl-az.com



THE QUARTERS AT QUEEN CREEK
PINAL COUNTY, AZ

PRELIMINARY LANDSCAPE PLAN

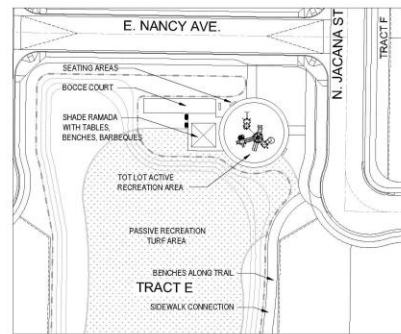
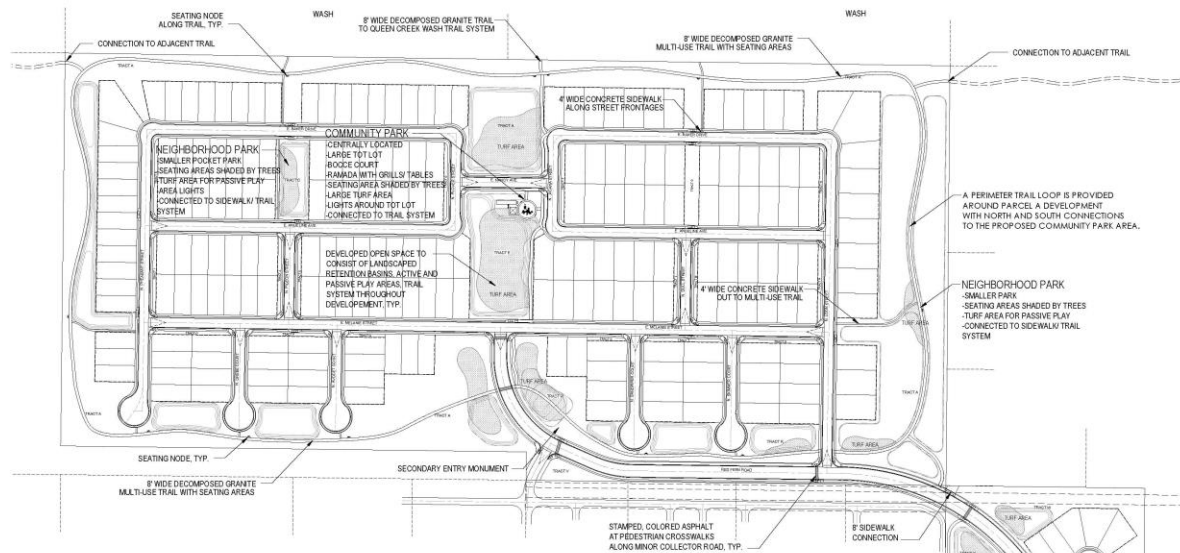
PRELIMINARY LANDSCAPE PLAN - RENDERING

PROJECT #: 19013
DATE: 4.23.20
DRAWN BY: EM
REV # DATE
8.24.20 (COURT COMMENTS)

Earl & Curley
ZONING & LAND USE LAW

ueg united
engineering
group

SHEET
PL-7
PLEASE RECYCLE



A COMMUNITY PARK ENLARGEMENT



1" = 40'



RAMADA AT COMMUNITY PARK



BOCCE COURT - COMMUNITY PARK



PLAY STRUCTURE



PICNIC TABLE - FAUX WOOD SLATS



BENCH - FAUX WOOD SLATS



TRASH CAN - FAUX WOOD SLATS



STANDING BBQ GRILL



COMMUNITY PARK
- RAMADA WITH GRILLS/ TABLES
- SEATING AREA SHADED BY TREES
- CONNECTED TO TRAIL SYSTEM



SCALE: 1" = 160'

OPEN SPACE

OPEN SPACE RECREATIONAL AMENITIES FOR THE DEVELOPMENT WILL CONSIST OF NUMEROUS OPEN SPACES FOR DIFFERENT TYPES OF ACTIVITIES FROM ACTIVE AREAS TO PASSIVE RECREATION AREAS. PATHWAYS THROUGHOUT THE INTERNAL AREAS OF THE DEVELOPMENT TO BE 4' WIDE CONCRETE SIDEWALKS RUNNING ALONG THE STREET FRONTAGES AND MEANDERING THROUGH THE OPEN SPACES. THE LARGE CENTRAL OPEN SPACE WILL HAVE THE MAIN AMENITY AREA WHICH WILL CONSIST OF A LARGE SHADE RAMADA, BARBECUES, SEATING AREAS, TOT LOT PLAY AREA AND A BOCCE PLAY COURT. SIDEWALKS RADIATE OUT FROM THIS AREA FOR EASY CONNECTION TO SURROUNDING HOMES. A LARGE TURF AREA FOR PASSIVE RECREATION WILL BE INSTALLED IN THE CENTRAL OPEN AREA ADJACENT TO THE RAMADA AS WELL AS IN SEVERAL OTHER AREAS OF THE SITE.

A TREE SHADED 8' WIDE STABILIZED DECOMPOSED GRANITE MULTI-USE TRAIL WILL MEANDER THROUGH THE WIDE OPEN NEIGHBORHOOD BUFFER AREA THAT SURROUNDS THE DEVELOPMENT. THE WIDE TRAIL WILL ALLOW BOTH PEDESTRIAN AND BICYCLES TO USE THE PATHWAY AND HAVE SEATING AREAS PLACED ALONG THE TRAIL AT VARIOUS LOCATIONS.

THE TRAIL IS CONNECTED TO THE HOMES VIA CONCRETE SIDEWALKS THAT TRAVEL DOWN STREET FRONTAGES AND THROUGH VARIOUS OPEN SPACES OUT TO THE OPEN SPACE BUFFER AREA. THIS WILL ALLOW EASY ACCESS FOR USERS. THERE ARE ALSO SEVERAL TRAILS LEADING TO THE LARGE WASH AREA ON THE NORTHERN EDGE OF THE SITE, ALLOWING CONNECTION TO A LARGER FUTURE TRAIL SYSTEM ALONG THE WASH.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**PINNACLE
DESIGN
INC**

1048 N. 44th St. #200
Phoenix, AZ 85008
602.952.8585
www.pdi-az.com



THE QUARTERS AT QUEEN CREEK
FINAL COUNTY, AZ

PRELIMINARY LANDSCAPE PLAN

OPEN SPACE AND RECREATION / TRAILS PLAN

PROJECT #: 19013
DATE: 4.23.20
DRAWN BY: EM
REV # DATE
8.24.20 (COUNTY COMMENTS)

SHEET

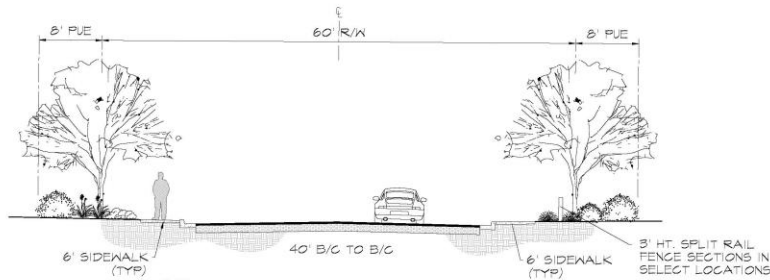
PL-5
PLEASE RECYCLE

Earl & Curley
ZONING & LAND USE LAW

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LOCAL STREET SECTION
NOT TO SCALE



MINOR COLLECTOR STREET SECTION
NOT TO SCALE



PERIMETER BUFFER SECTION
NOT TO SCALE

PRELIMINARY
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THE QUARTERS AT QUEEN CREEK
FINAL COUNTY, AZ
PRELIMINARY LANDSCAPE PLAN
STREET / BUFFER CROSS SECTIONS

PROJECT #: 19013
DATE: 4.23.20
DRAWN BY: SM
REV # DATE
8.24.20 (COUNTY COMMENTS)

SHEET
PL-6
PLEASE RECYCLE

Earl & Curley
ZONING & LAND USE LAW

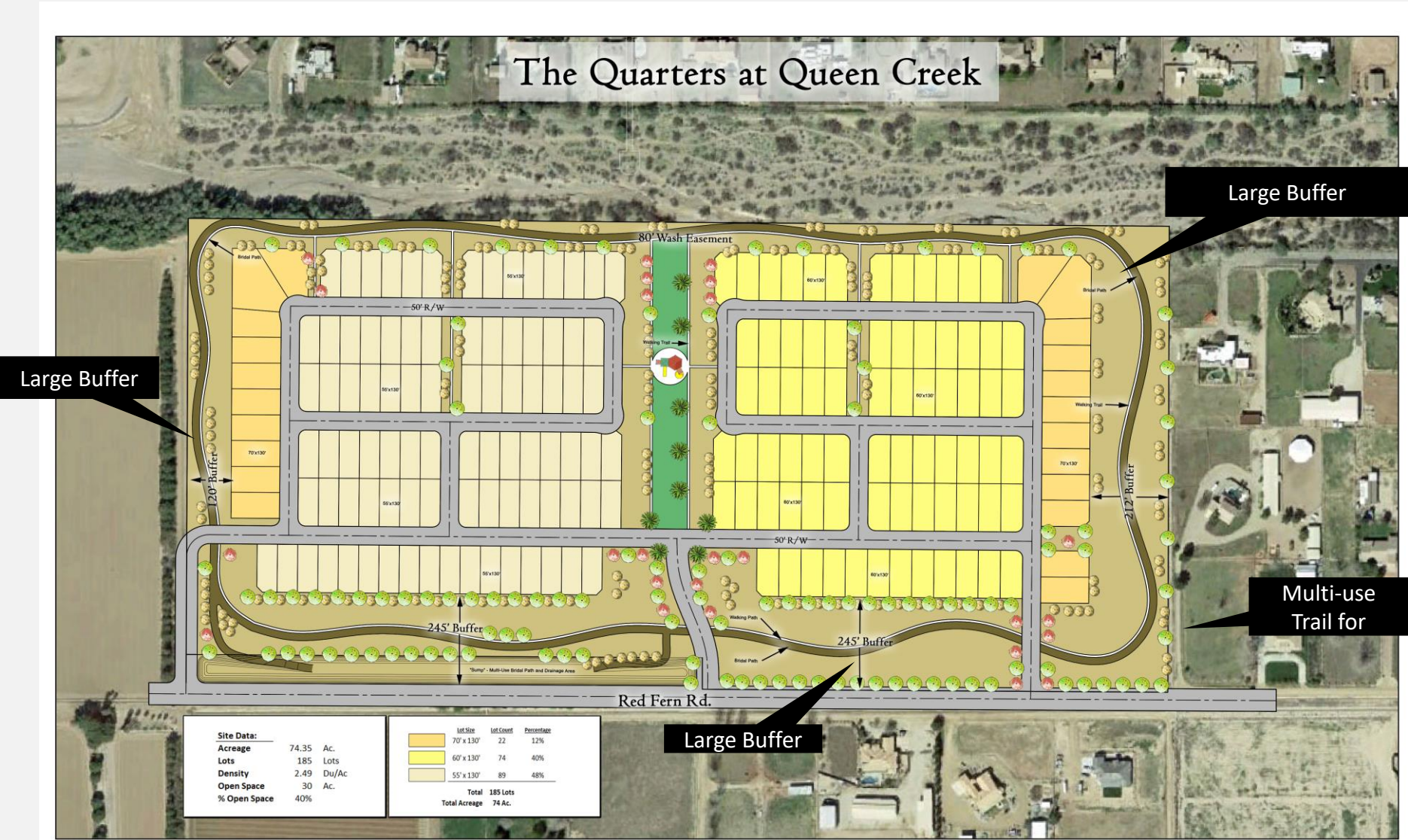
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Initial proposal under new ownership submitted to Queen Creek

Initial proposal
under new
ownership
submitted to
Queen Creek



1st revision after neighborhood meetings with surrounding residents



Secondary / Emergency Access



RURAL METRO FIRE DEPARTMENT

To: Sean M. Hamill
From: Kenneth Diamond
RE: The Quarters at Queen Creek
Date: October 13, 2020

Mr. Hamill

As per our conversation when we met on your site I approve the site plan and the fire department access points as described on the attached exhibit. As discussed on the gated roads these would need to have a knox box and Opticom strobe access.

If you should need anything else from my office please let me know.

Kenneth Diamond
Fire Captain
Fire Marshal
Rural Metro Fire Department
480-869-2340
Kenneth.diamond@GMR.NET

8465 N. Pima Road | Scottsdale, AZ 85258 | RuralMetroFire.com



Earl & Curley
ZONING & LAND USE LAW



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