



MEETING DATE: APRIL 2, 2025

TO: BOARD OF SUPERVISORS

CASE NO: **PZ-PD-015-24 (Combs and Encanterra Senior Living II)**

CASE COORDINATOR: VALENTYN PANCHENKO, PLANNER

SUPERVISOR DISTRICT: GOODMAN, DISTRICT #2

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**Executive Summary:** *Queen Creek Senior Living LLC, landowner, and RVi Planning + Landscape Architecture, applicant, are requesting a Major Planned Area Development (PAD) amendment to the Combs and Encanterra Senior Living PAD (PZ-PD-038-21). This request seeks to revise development standards and amend Ordinance No. 2022-PZ-PD-038-21 to allow a partially two-story building in place of the previously approved one-story structure, while maintaining the originally approved maximum building height. The proposed amendment will accommodate the development of a senior living community (assisted living and memory care facility) on approximately 5.93 acres within the Community Commercial Zoning District (C-2), located at E Combs Road and N Encanterra Drive in the San Tan Valley area of unincorporated Pinal County, AZ.*

**If This Request is Approved:**

The property will be governed by updated development standards in accordance with the amended PAD Book of the Planned Area Development Overlay (PZ-PD-015-24) and its associated stipulations. Following approval by the Board of Supervisors, the applicant will be required to submit a site plan to address site development issues, and allow for submittal of building permits.

**Location:**

Parcel number: 104-22-6830, (legal on file)

**Items for Boards consideration:**

- The proposal is to amend the stipulation of the Planned Area Development (PAD) for a ±5.93-acre property to accommodate a partially two-story building without altering the maximum building height of 30 feet, and to update the development standards to support the two-story design.
- Current proposed use is senior assisted living and memory care facility.
- County has received no letters in opposition of the project from surrounding property owners.

**Commission recommendation:**

- At the February 20<sup>th</sup> Planning and Zoning meeting, the Commission recommended for approval of the Planned Area Development overlay district amendment (7-0), subject to the 16 stipulations outlined in the staff report and the addition of a 17th stipulation. These recommendations to be forwarded to the Board of Supervisors for consideration. Stipulations for approval are provided below:

**PZ-PD-015-24 Stipulations**

1. This zone change supersedes all stipulations under Case PD-054-00 & PZ-PZ-043-03 & PZ-PD-038-21;
2. The stipulations enumerated herein pertain to the area described in case PZ-PD-015-24;

3. Approval of this PAD (PZ-PD-015-24) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals;
4. The Combs and Encanterra Senior Living Community Planned Area Development (PAD) Overlay District (PZ-PD-015-24) is to be developed in substantial conformance with the site plan/development plan dated January 21, 2025, along with the other supplementary documentation in accordance with the applicable criteria set forth in Chapter 2.176 of the Pinal County Development Services Code;
5. The applicant/property owner shall construct a minimum six-foot CMU wall between Senior Living Facility and a rural or residential zone and a minimum ten-foot landscape strip between the wall and any use in this zone, including parking. The landscape strip shall be planted with trees 30 feet on center and with mature trees (24 inch box or greater) next to any existing homes; Owner may use the existing CMU wall that is in place to count as a portion of required wall;
6. Applicant/property owner shall place a minimum six-foot “CMU” and/or “Wrought Iron” wall/fence facing the multi-family project and the property owned by the LDS Church to the north;
7. The applicant/property owner shall place an ADA compliant sidewalk to the whole length of the Encanterra Road, to end at the Senior living Facility to the north;
8. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;
9. A dust registration permit from the Pinal County Air Quality Control District shall be obtained prior to the disturbance of 0.1 acres or more;
10. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District;
11. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis (TIA) to mitigate impacts on all surrounding roadways to be completed at the developer’s cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals and/or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the Site Plan;
12. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
13. There is an existing 55’ half street public right-of-way along Combs Rd. Any additional right-of-way needed for any required infrastructure improvements (as identified in the approved Traffic Impact Analysis) for Combs Rd shall be the responsibility of the applicant. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County Engineer;
14. All right-of-way dedication shall be free and unencumbered;
15. Any roadway sections, alignments, access locations and access movements shown in the PAD are conceptual only and have not been approved by the Pinal County Engineer;
16. The building(s) on site shall not exceed two stories and 36’ feet in height, including architectural embellishments; and
17. All roof mounted equipment to be screened from public view.

PINAL COUNTY PLANNING AND ZONING COMMISSION  
(PO NUMBER 252269)

Regular Meeting  
9:00 a.m.  
Thursday, February 20, 2025

Pinal County Administrative Complex  
Emergency Operations Center  
85 North Florence Street, Florence, Arizona

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ORIGINAL PREPARED FOR:  
PINAL COUNTY, ARIZONA

1 KLOB: Call to order this Planning and Zoning  
2 Commission Meeting for Thursday, February 20<sup>th</sup> at 9.02 a.m.  
3 (Inaudible). First item on the agenda, roll call.

4 KRAUSS: Chairman Mennenga. Absent. Vice Chair  
5 Klob.

6 KLOB: Here.

7 KRAUSS: Member Del Cotto. He's on the line, I bel  
8 - oh no, he's here.

9 KLOB: No, he left.

10 KRAUSS: He left? Oh, okay.

11 KLOB: He did need to leave.

12 KRAUSS: Member Hartman.

13 HARTMAN: Here.

14 KRAUSS: Member Keller.

15 KELLER: Here.

16 KRAUSS: Member Lizarraga.

17 LIZARRAGA: Here.

18 KRAUSS: Member Schnepf.

19 SCHNEPF: Here.

20 KRAUSS: Member Davila? Absent. Member Mooney.

21 MOONEY: Present.

22 KRAUSS: Member Pranzo.

23 PRANZO: Present.

24 KRAUSS: We have a quorum.

25 KLOB: Very good, thank you. Planning Manager



1 BILLINGSLEY: Was unanimous.

2 KLOB: That one failed as well. A quick notice to  
3 the public. We are a recommending body. This project will  
4 now track to the Board of Supervisors for their review. Do we  
5 know when that's going to track?

6 BILLINGSLEY: Typically, it's four to six weeks it  
7 would be on the Board agenda.

8 KLOB: Very good. Thank you. I think we're going  
9 to do a five minute break, and we'll reconvene at 11:25.

10 [Break]

11 KLOB: We'll call the next case -

12 MOONEY: I'm sorry, we need to reconvene, I'll call,  
13 right? Don't -

14 BILLINGSLEY: You don't have to vote, it was just a  
15 short recess, you just reconvene to meet.

16 KLOB: Okay, reconvene the Planning and Zoning  
17 Commission Meeting. The next case on the agenda is PZ-PD-015-  
18 24.

19 PANCHENKO: Good morning Vice Chairman and  
20 Commission Members. My name is Valentyn Panchenko, my title  
21 is planner, and I'm here to present to you the case PZ-PD-015-  
22 24. This case is a proposal from Queen Creek Senior Living  
23 LLC and RVi Planning + Landscape Architecture, to request a  
24 Major PAD amendment to the Combs and Encanterra Senior Living  
25 PAD. The proposed amendment allows a partially two story

1 building instead of the previously approved one story  
2 structure, while maintaining the maximum building height.  
3 This change aims to support also the development of an  
4 assisted living and memory care facility on about 5.93 acre  
5 site within the Community Commercial zoning district at East  
6 Combs Road and North Encanterra Drive in San Tan Valley area.  
7 This proposal trigger major PAD amendment due to request of  
8 amending the stipulation that states a requirement for only  
9 one story structure. Here is a location map with a star.  
10 Here is a case map with different zoning. You will see that  
11 it's surrounded on the north with an industrial buffer zone.  
12 To the south there, Town of Queen Creek jurisdiction with  
13 commercial and residential use. To the east, there is  
14 residential use, and to the west there are multiple  
15 residential use as well. There's a aerial map for this site.  
16 Here is 600 feet notification map. Vicinity map. There was  
17 done all site posting. There was one post on site, the  
18 location that you can see. Here is view from that post into  
19 the west-east, to the south and to the north. Then talking  
20 about the stipulations that was requested to amend, there was  
21 stipulation number 18 in original stipulation that state that  
22 the building on site shall not exceed one story. And the  
23 request to update it with two stories with maintaining the  
24 same height. Here you can see the conceptual site plan that  
25 was one story building. And to compare conceptual proposed

1 site, you can see there one part is two story building and  
2 memory care is one story building. Here, two sites together  
3 so you can compare the difference here in conceptual sites  
4 plans. Here is design, architectural design, what was  
5 changed. On the top you will see the previously approved, and  
6 in the bottom you will see proposed architectural design  
7 according to the new PAD book. There are also some amended  
8 building standards to previously approved PAD book. You can  
9 find the Table 4 and Table 5 in PAD book, and as well in staff  
10 report with a full description. Here's just a summary. There  
11 will be doubled open space. There will be increasing parking  
12 from 69 to 75 parking spaces. There will be reduced building  
13 coverage. There will be increased yard depths of setbacks  
14 from three sides will be increased, I will say even  
15 drastically. There will be slightly improved building design  
16 with maintaining the same material and some architecture. The  
17 changes that you need to - I need to point out, it's changing  
18 to increase number of units from 90 units to up to 118 units.  
19 It's plus 28 units. And the one story to two story building,  
20 which is the main request to amend the stipulation. There  
21 was, in previous PAD stipulations, there was also two  
22 stipulations that required to pass rezoning case, and there  
23 was a stipulation about separating parcel - a separate parcel  
24 because there was one (Inaudible) bigger parcel. Those two  
25 stipulations no longer needed for the new PAD case, so in the

1 new stipulations that will be proposed, those two stipulations  
2 has been removed, so the numbering was changed. So now that  
3 related stipulation number 18 become stipulation number 16.  
4 Items to consider, that the applicant seeking the approval for  
5 the major amendment due to needs of amending the stipulation.  
6 They are also providing some enhancement of - for development  
7 standards. You've talking about increasing number of units,  
8 assisted senior livings and memory care doesn't trigger the  
9 residential density according to the code, and commercial area  
10 does not count to the residential density calculations. So -  
11 and the applicant put that number up to 118 due to number of  
12 parkings that allow them to do up to 118 because it's one  
13 parking lot for two bedrooms, and plus the staff that's  
14 involved in this facility. So that's 118 units. It's a  
15 maximum that will be allowed for the proposed number of  
16 parking spaces. There will be no change to land use and  
17 zoning, there is no change to the Comprehensive Plan required,  
18 and there was no public comments has been received up to date,  
19 and there was no comments from the utilities and agencies also  
20 (inaudible) there was increase about number of units from  
21 utility companies, but after that there was no comments  
22 regarding this project. So, in case of conditional approval  
23 for this case, there will be 16 stipulations as mentioned in  
24 staff report, and they are also listed in the presentation.  
25 Vice Chair?

1 KLOB: Very good. (Inaudible) thank you. Was that  
2 your first presentation of this?

3 PANCHENKO: On P&Z, yes.

4 KLOB: Very good. Thank you, welcome. Any  
5 questions for staff? Seeing none, would the applicant like to  
6 speak? I apologize, my mic was on. Welcome the applicant.

7 BRENNAN: Vice Chair, fellow Members, my name is  
8 Tylere Brennan, I'm the land owner and developer of this  
9 community. I'd like to just take a step back, you're probably  
10 wondering why are we going from one story to two story. The  
11 main reason is this project was designed a couple years ago,  
12 we've found that it would be cost inhibitive to move forward  
13 with the regional design based on the cost we found with  
14 upgrading East Combs and Encanterra, the street lights that  
15 we're upgrading there at the intersection, and also the  
16 underground storage tanks for water. When we found that our  
17 original design, we had to move all that rainwater  
18 underground, and we found that it is extremely expensive to do  
19 that, so we thought we'd improve the building. We shrunk the  
20 building dramatically, going from 73,000 square footplate to  
21 53,000 square footplate. We've also doubled the open space by  
22 10 percent to 20 percent. We've also increased the yard depth  
23 from our neighbors from 17 feet to over 84 feet in some areas.  
24 We've also, you know, we're only asking for a partial portion  
25 of the building to be two story, not the entire area. With

1 these changes, I think it benefits the community, it benefits  
2 our ability to build this project, and I think it's a lot  
3 better design, more efficient. That said, the increase that  
4 we're asking for in units will not have an impact on traffic  
5 as our residents don't drive, and our staffing will remain the  
6 same, we have the same amount of staff. The other reason that  
7 we see the increase is because over the last two years we've  
8 had a tremendous amount of increased interest for senior  
9 living in this area. I think Pinal County and Queen Creek is  
10 underserved and we'd love to bring a beautiful community to  
11 the area and serve the seniors and the memory care individuals  
12 that need the help. So with that, I'd like to open up with  
13 any questions.

14 KLOB: Very good. Any questions for the applicant?

15 MOONEY: Chair, if I may?

16 KLOB: Commissioner Mooney.

17 MOONEY: Two questions. One, is this strictly for  
18 Encanterra residents or is it open to anybody?

19 BRENNAN: Thank you for the question, Commissioner  
20 Mooney. This is open to anyone.

21 MOONEY: Okay.

22 BRENNAN: The support that we got was from  
23 Encanterra. A lot of the residents came to tell us that they  
24 need this for their adult parents.

25 MOONEY: It was more curiosity than anything. I was

1     wondering, because I'm just curious.

2                 BRENNAN: We're not affiliated with Encanterra.

3                 MOONEY: And I see that the building height isn't  
4     changing, so it's just strictly the number of units. So the  
5     ceilings obviously are -

6                 BRENNAN: Yes, correct. We're not going past the  
7     originally approved building height at all. In fact, we're  
8     just increasing the (inaudible) height. Yeah, 36 feet. But  
9     we're pulling the building further away from our neighbors.

10                MOONEY: Yeah, that's nice. Okay, I was just - one  
11     was curiosity and the other one was just clarification. Thank  
12     you.

13                KLOB: Any other questions?

14                SCHNEPF: I guess I have a question. The main  
15     reason, one of your main reasons I heard was the cost. Is  
16     that the reason why you're coming in for the change? The cost  
17     of the original plan as opposed to what you want now.

18                BRENNAN: Thank you. Yeah, so when we went to price  
19     the cost of upgrading Encanterra Drive and East Combs Road,  
20     the cost of the street lights, all the new conditions for the  
21     new street lights that Pinal County and East Combs requires -  
22     there are these new nice lights with LED and backlight sign  
23     street names and everything - the street lights we have to put  
24     along East Combs Road, the cost of the underground tanks, we  
25     found it completely cost-inhibitive to build the project. A

1 lot of the costs over COVID have gone up substantially.

2 SCHNEPF: And nothing's changing as far as your  
3 facility opportunities for the res - like you have a memory  
4 care there, and you still had that before in the first plan.

5 BRENNAN: Yep.

6 SCHNEPF: So just the footprint and going vertical.

7 BRENNAN: Yes sir. Shrinking, more dense.

8 SCHNEPF: Okay. Thanks.

9 KLOB: Thank you. Any other questions? I had a  
10 couple. Respecting what you've done to shrink the building  
11 and can appreciate the change in going to two story versus  
12 one, and land development costs, I understand that. Because  
13 there's a fair amount of land that is still leftover, we'll  
14 call it, is there thoughts on future expansion or this is  
15 pretty much it?

16 BRENNAN: Thank you, Mr. Chairman. No, this is it.  
17 This is all we'd like to build and are happy with the way the  
18 new plan is.

19 KLOB: Okay.

20 BRENNAN: So it's no expansion.

21 KLOB: Okay. Another question that I have, changing  
22 this from a pitched roof, tile roof, as depicted, going to a  
23 parapet roof, I know we don't have necessarily design  
24 standards in the County, but it's pretty much an acceptable  
25 standard across the board and anywhere in the Valley to ensure



1 that any roof mounted mechanical is screened, will that be  
2 included and would you mind adding a stipulation to  
3 accommodate that?

4 BRENNAN: Yeah, we have no - thank you Vice Chair -  
5 we have no issue with screening our mechanical within this  
6 building. In the previous design, it was screened as well so  
7 we'll maintain that.

8 KLOB: I think most everybody does it as just  
9 general practice anymore, but it's not a requirement, so I  
10 wanted to bring that up. The two other questions that I had,  
11 I'll come back to Valentyn on this one, can you talk a little  
12 bit about - we're changing, we're adding 28 units, but we only  
13 added six parking spaces. And I know this is a low traffic  
14 development, but there are families that do come and  
15 sometimes, and you know, Grandma's birthday that we might have  
16 multiple cars. So, you know, can we - I just don't want there  
17 to be any challenges with that.

18 PANCHENKO: No, it was just previously dedicated  
19 larger amount of parking spaces for the previous PAD that  
20 required by the code. So, so far what they have at 75 parking  
21 spaces, that will accommodate 118 units, plus the stuff that  
22 applicant told us they will have. So that's the amount,  
23 strictly the minimum parking spaces requirements for the  
24 number of units and staff will be available on the site. So  
25 that's according to the code. But regarding to your like

1 recall about small addition to parking lots, they're adding  
2 six, but previously they added just over number of parking  
3 spaces for the previous submission, that's the difference, and  
4 why they are adding smaller number of parking spaces and  
5 larger number of units.

6 BRENNAN: (Inaudible) Vice Chairman, yeah, we were  
7 overparked on the first plan, so we had a lot more than we  
8 needed for the units, but we're just adding more to meet the  
9 now the 118 code.

10 KLOB: Okay, thank you. The last question I have  
11 relates to a - and I apologize, even though we beat up  
12 definitions in the last six months, what is the definition of  
13 the building height? Are we to the max height, to the ridge  
14 height, or is that mean height?

15 BILLINGSLEY:: Max height.

16 KLOB: Max height. So any projection cannot exceed  
17 the 36 feet.

18 BILLINGSLEY: Yeah, without a variance.

19 KLOB: Very good. That's all that I had, thank you.

20 BILLINGSLEY: Mr. Vice Chair.

21 KLOB: Yes sir, Mr. Billingsley.

22 BILLINGSLEY: If it's the pleasure of the Commission  
23 to add a 17<sup>th</sup> stipulation, I've written one, if that's your  
24 pleasure, and then I think that'd be stipulation 17, Valentyn?  
25 Just to let you know, if you do go that direction, then I'll

1 need to read that into the record.

2 KLOB: Very good. Thank you. Any other questions  
3 for the applicant? Commissioner Mooney.

4 MOONEY: Thank you Chair - Vice Chair. So  
5 concerning the parking, I mean as it didn't increase much, but  
6 what is the number of staff compared to the number of units  
7 that you have?

8 BRENNAN: Yes, thank you. So we had a staff number  
9 to maintain it at the highest peak hours, which we then took  
10 that to Lokahi to get our traffic studies and everything done  
11 for the traffic engineer within Pinal County - and I don't  
12 have that exact number of what is in that report, I believe  
13 it's in our original application - but at peak hours, we'll  
14 call it say 20 staff members at peak hours and that's it. So  
15 the rest is for -

16 MOONEY: That's 20 dedicated spaces for them, and I  
17 don't have that sheet in front of me, so then it's 55 spaces  
18 for the 118 units?

19 BRENNAN: We are at -

20 MOONEY: No. Yeah, 118 units.

21 BRENNAN: Yes, yes. So, and none of our residents  
22 have vehicles or drive, but per code, we are supposed to still  
23 allow for that.

24 MOONEY: Okay. All right, thank you very much.

25 KLOB: Any other comments? Very good. With that, I

1 will go to public comment. Is there anybody in the audience  
2 that would like to speak to this case? Not seeing any, I will  
3 close the public comment portion and I will ask the applicant  
4 if he has anything else he wants to add. Staff, anything  
5 additional? You good? Very good. I'll bring that back to  
6 the Commission for any additional comments. And do we want to  
7 investigate the -

8 SCHNEPF: Yeah, that was where I was going to go, is  
9 what was the stipulation? Did we talk about that? Did we  
10 have discussion? What do we need to know?

11 MOONEY: (Inaudible) what he wrote, yeah.

12 BILLINGSLEY: I'll read this so that it's read into  
13 the record. A proposed stipulation 17, all roof-mounted  
14 mechanical equipment to be screened from public view.

15 KLOB: Good with that? Very good, so whoever makes  
16 a motion, we need to make sure that, so agreed, it would be  
17 with 17 stipulations. Any other discussion? Commissioner  
18 Mooney.

19 MOONEY: I'll make a motion. I move the Planning  
20 and Zoning Commission forward a recommendation of conditional  
21 approval of case PZ-PD-015-24 to the Board of Supervisors with  
22 17 stipulations.

23 SCHNEPF: We might need to read in that stipulation.

24 BILLINGSLEY: I would be glad to read in stipulation  
25 17 one more time. Stipulation 17, all roof-mounted mechanical

1 equipment to be screened from public view.

2 KLOB: Very good. Do I have a second?

3 LIZARRAGA: Second.

4 KLOB: Second, Lizarraga. All in favor say aye.

5 COLLECTIVE: Aye.

6 KLOB: Any opposed? Motion carries unanimously,  
7 thank you. Thank you, Valentyn. All right, with that I will  
8 call - is it the Commission's purview to continue this next  
9 case before lunch?

10 SCHNEPF: Yes.

11 KLOB: We have one case, let's run through. Very  
12 good. I'll call PZ-016-24. Patrick.

13 ZAIA-ROBERTS: Good morning Vice Chair, Members of  
14 the Commission, Patrick Zaia-Roberts, Senior Planner. Before  
15 I begin, I do have supplemental material from Arizona  
16 Department of Transportation I'd like to hand it out to the  
17 Commission. And to briefly summarize this letter, it is a  
18 letter from the Arizona Department of Transportation that  
19 briefly summarizes the current standing of the ADOT access  
20 permit for US Highway 60. They did clarify that they are  
21 neutral in the zoning matter and that they're continuing to  
22 work with the Richards to process their permit going forward  
23 prior to any site plan approvals. This is case PZ-016-24 for  
24 Arizona Quality RV and Boat Storage. This is an action  
25 requesting a rezoning for GR to C-3. The applicant is Melissa



Leo Lew  
County Manager

**INFORMATION ABOUT CONSENT TO CONDITIONS/STIPULATIONS  
AND WAIVER OF CLAIMS FOR DIMINUTION IN VALUE**

Pinal County, as part of the application process concerning land use requests, is now requesting that property owners or their authorized agents execute and return the attached Consent and Waiver. This policy is a result of that part of the Private Property Rights Protection Act (Proposition 207 *est. 2006*) that deals with regulatory takings and changes in land uses (A.R.S. §§12-1134 – 12-1138).

By signing the Consent and Waiver, the property owner agrees and consents to all conditions and stipulations in conjunction with the property owner's application, acknowledges that approval of the application might affect current or existing rights to use, divide, sell or possess the owner's property, and waives any right to compensation for diminution in value that may result from approval.

The Consent and Waiver form will be provided at the Concept Review Meeting to allow ample time for review. Should the Pinal County Planning and Zoning Commission ("Commission") recommend approval of the property owner's application, the form will again be provided to applicant together with the Commission's recommended stipulations/conditions. These materials will be provided to the applicant via e-mail, within three business days of the Planning Commission hearing. The property owner is requested to return the executed document to the Pinal County Planning and Development Department within 10 working days so that the document can be inserted into the packet to be presented to the Supervisors as part of the planning staff's report.

If an owner does not sign the Consent and Waiver, the application will continue through the normal County process. The Supervisors will be informed of the refusal and this will be one of the factors considered by the Supervisors.

If the Commission recommends denial of the property owner's application but the Supervisors decide to approve the application, the property owner will be requested to sign the Consent and Waiver with attached conditions/stipulations and conditions, after the Board of Supervisors' hearing.

COMMUNITY DEVELOPMENT  
Planning Division

85 N. Florence St., PO Box 2973, Florence, AZ 85132 T 520-866-6442 FREE 888-431-1311 F 520-866-6530 [www.pinalcountyyaz.gov](http://www.pinalcountyyaz.gov)

When recorded return to:  
Clerk  
Pinal County Board of Supervisors  
P.O. Box 827  
Florence, AZ 85132

**CONSENT TO SCHEDULE FOR DEVELOPMENT/CONDITIONS/STIPULATIONS AND WAIVER OF CLAIMS FOR DIMINUTION IN VALUE**

This Consent to Schedule for Development and Conditions/Stipulations and Waiver of Claims for Diminution in Value ("Consent and Waiver") is made in favor of Pinal County (the "County") by Queen Creek Senior Living LLC by Tylere Brennan ("Owner").

Owner warrants and represents that Owner is the fee title owner of the property described herein, and that no other entity or person has an ownership interest in the property. Prior to Owner's transfer, sale or conveyance of all or any part of its right, title and interest in the Property at any time within thirty (30) days of the County's approval of Owner's application described herein, Owner shall notify the County of said transfer, sale or conveyance and shall require the new Owner to execute and agree to this Consent and Waiver as part of any transfer, sale or conveyance of the property described herein.

Owner acknowledges that A.R.S. § 12-1134 of the Arizona Private Property Rights Protection Act provides in some cases that a county is required to pay just compensation to a landowner if the County approves a land use law that reduces the fair market value of the owner's property. Owner further acknowledges that A.R.S. § 12-1134 authorizes a private property owner to waive any claim for diminution in value of property in connection with any action proposed by a county or any action requested by the property owner.

Owner has submitted an application to Pinal County ("County") requesting the County approve a PZ-PD-015-24 for development of the following described property ("Property"):

LEGAL DESCRIPTION IS ATTACHED HERETO AS EXHIBIT "A."

By signing below, Owner agrees and consents to all conditions/stipulations/Schedule for Development imposed by Pinal County in conjunction with the approval of the Major PAD amendment, Case No. PZ-PD-015-24, which are attached hereto as EXHIBIT B.

By signing below, Owner acknowledges that the approval of the PZ-PD-015-24, Case No. PZ-PD-015-24, might affect existing rights to use, divide, sell or possess the Property.

By signing below, Owner hereby waives any and all rights to claim compensation for diminution in value pursuant to A.R.S. §12-1134 that may now or in the future exist as a result of the approval of the PZ-PD-015-24, Case No. PZ-PD-015-24, and the Schedule for Development and conditions/stipulations imposed in conjunction with the approval. Owner waives any and all rights to claim compensation for diminution in value for any action taken by the County to rescind approval of PZ-PD-015-24 in Case No. PZ-PD-015-24 because of non-compliance with the Schedule for Development and/or any of the approved conditions/stipulations.

This Consent and Waiver shall run with the land and shall be binding upon all present and subsequent property owners.



Owner consents to the recordation of this Consent and Waiver after approval of the above-referenced case by the County. If Owner withdraws its application prior to final action of the County or the County denies the application, Owner is released from this Consent and Waiver.

OWNER: Queen Creek Senior Living LLC  
[Print Entity Name]

OWNER: \_\_\_\_\_  
[Print Entity Name]

  
Signature W. Tyler Brennan

Its: Manager  
[Title, if applicable]

Dated: 3/13/2025

\_\_\_\_\_  
Signature

Its: \_\_\_\_\_  
[Title, if applicable]

Dated: \_\_\_\_\_

INDIVIDUAL ACKNOWLEDGMENT: *[To be filled out if NOT a corporation, partnership, or trust]*

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss.

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by  
\_\_\_\_\_  
*[Insert Name of Signor(s)]*

\_\_\_\_\_  
Notary Public

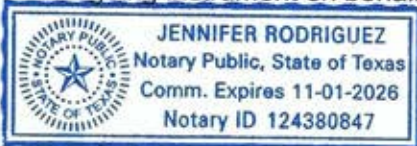
My commission expires: \_\_\_\_\_



CORPORATION, OFFICER, PARTNER OR TRUSTEE ACKNOWLEDGMENT: *[To be filled out if a corporation, partnership, or trust]*

STATE OF Texas )  
COUNTY OF Travis ) ss.

The foregoing instrument was acknowledged before me, this 13<sup>th</sup> day of March, 2025, by Tylere Brennan as Manager of QueenCreek Senior Living LLC, an Texas corporation, who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.



Notary Public

My commission expires: 11.1.26

ACKNOWLEDGMENT: *[Use only when a second company is signing on behalf of owner.]*

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss.

The foregoing instrument was acknowledged before me, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ as \_\_\_\_\_ of \_\_\_\_\_, an \_\_\_\_\_ corporation, as \_\_\_\_\_ for \_\_\_\_\_ who being authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

Notary Public

My commission expires: \_\_\_\_\_

## **Exhibit "A"**

### **Legal Description**

#### **Parcel 1**

Parcel No. 3, of Record of Survey Minor Land Division, according to the survey of record in the office of the County Recorder of Pinal County, Arizona recorded in Document No. 2018-023566 of Surveys, and being located in a portion of the South half of Section 29, Township 2 South, Range 8 East of the Gila and Salt River Meridian, Pinal County, Arizona.

#### **Parcel 2**

An easement for the purpose of installing, constructing, repairing, replacing, removing, maintaining, using and operating an underground sewer line, subject to the terms and conditions contained in Easement Agreement recorded in Document No. [2006-017404](#).

#### **Parcel 3**

An easement for the purpose of installing, constructing, repairing, replacing, removing, maintaining, using and operating an underground sewer line, subject to the terms and conditions contained in Easement Agreement recorded in Document No. [2006-017405](#).

#### **Parcel 4**

An easement for sewer and water utilities and vehicular and pedestrian ingress and egress and rights incident thereto as set forth in Access and Utilities Easement Agreement recorded in Document No. [2021-162185](#).

**EXHIBIT B**  
**TO**  
**ORDINANCE NO. 2025-PZ-PD-015-24**

**[Stipulations of Approval]**

1. This zone change supersedes all stipulations under Case PD-054-00 & PZ-PZ-043-03 & PZ-PD-038-21;
2. The stipulations enumerated herein pertain to the area described in case PZ-PD-015-24;
3. Approval of this PAD (PZ-PD-015-24) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals;
4. The Combs and Encanterra Senior Living Community Planned Area Development (PAD) Overlay District (PZ-PD-015-24) is to be developed in substantial conformance with the site plan/development plan dated January 21, 2025, along with the other supplementary documentation in accordance with the applicable criteria set forth in Chapter 2.176 of the Pinal County Development Services Code;
5. The applicant/property owner shall construct a minimum six-foot CMU wall between Senior Living Facility and a rural or residential zone and a minimum ten-foot landscape strip between the wall and any use in this zone, including parking. The landscape strip shall be planted with trees 30 feet on center and with mature trees (24 inch box or greater) next to any existing homes; Owner may use the existing CMU wall that is in place to count as a portion of required wall;
6. Applicant/property owner shall place a minimum six-foot "CMU" and/or "Wrought Iron" wall/fence facing the multi-family project and the property owned by the LDS Church to the north;
7. The applicant/property owner shall place an ADA compliant sidewalk to the whole length of the Encanterra Road, to end at the Senior living Facility to the north;
8. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;
9. A dust registration permit from the Pinal County Air Quality Control District shall be obtained prior to the disturbance of 0.1 acres or more;
10. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District;
11. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis (TIA) to mitigate impacts on all surrounding roadways to be completed at the developer's cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals and/or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the Site Plan;
12. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;

13. There is an existing 55' half street public right-of-way along Combs Rd. Any additional right-of-way needed for any required infrastructure improvements (as identified in the approved Traffic Impact Analysis) for Combs Rd shall be the responsibility of the applicant. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County Engineer;
14. All right-of-way dedication shall be free and unencumbered;
15. Any roadway sections, alignments, access locations and access movements shown in the PAD are conceptual only and have not been approved by the Pinal County Engineer;
16. The building(s) on site shall not exceed two stories and 36' feet in height, including architectural embellishments; and
17. All roof mounted equipment to be screened from public view.



## AFFIDAVIT OF PUBLICATION

State of Pennsylvania, County of Lancaster, ss:

Rebecca Bikul, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Pinal Central Dispatch, a newspaper published at Casa Grande, Pinal County, Arizona, Thursday of each week; that a notice, a full, true and complete printed copy of which is hereunto attached, was printed in the regular edition of said newspaper, and not in a supplement thereto, for 1 issues. The publications thereof having been on the following dates:

### PUBLICATION DATES:

Mar. 13, 2025

NOTICE ID: bB78J3CSEs9yxb7hbLZv

NOTICE NAME: PZ-PD-015-24

(Signed) Rebecca Bikul

### VERIFICATION

State of Pennsylvania  
County of Lancaster

Commonwealth of Pennsylvania - Notary Seal  
Nicole Burkholder, Notary Public  
Lancaster County  
My commission expires March 30, 2027  
Commission Number 1342120

Subscribed in my presence and sworn to before me on this: 03/17/2025

Nicole Burkholder

Notary Public

Notarized remotely online using communication technology via Proof.

NOTICE OF PUBLIC HEARING  
NOTICE OF PUBLIC HEARING  
BY THE PINAL COUNTY BOARD  
OF SUPERVISORS AT 9:30 A.M.  
ON THE 2ND DAY OF APRIL,  
2025, AT THE PINAL COUNTY  
ADMINISTRATIVE COMPLEX, IN  
THE BOARD OF SUPERVISORS  
HEARING ROOM, 135 N  
PINAL STREET, FLORENCE,  
ARIZONA, TO CONSIDER THE  
APPLICATION FOR PLANNED  
AREA DEVELOPMENT (PAD)  
OVERLAY AMENDMENT  
TO AMEND THE ZONING  
ORDINANCE AND/OR MAPS IN  
THE SAN TAN VALLEY AREA,  
PINAL COUNTY, ARIZONA.  
PZ-PD-015-24 - PUBLIC  
HEARING/ACTION: Kristine  
Gay, RMI Planning (applicant  
agent), on behalf of landowner -  
Queen Creek Senior Living LLC,  
requesting a Major Planned Area  
Development (PAD) amendment  
to existing amended PAD (PZ-  
038-21/PZ-PD-038-21) according  
to Section 2.176.260 of the Pinal  
County Development Services  
Code, to revise 5.93-acre  
18 of Ordinance No. 2022-PZ-  
PD-038-21, from "The building/s  
on site shall not exceed one story  
and 36' in height for architectural  
embellishments", to "The building/s  
on site shall not exceed two stories  
and 36' in height for architectural  
embellishments" in order to allow  
a partially 2-story building on  
approximate 5.93-acre property  
in Community Commercial Zoning  
District (C-2) located within SW  
corner of SE 1/4 of Section 29  
Township 02S, Range 08E of the  
Gila and Salt River Base and  
Meridian, Tax Parcel 104-22-  
5830, at E Combs Road and N  
Encantada Drive in San Tan Valley  
area, in the unincorporated Pinal  
County, AZ.  
AT LEAST 24 HOURS PRIOR  
TO THE PUBLIC HEARING,  
DOCUMENTS PERTAINING  
TO THESE REQUESTS ARE  
AVAILABLE FOR PUBLIC  
INSPECTION AT THE PINAL  
COUNTY DEVELOPMENT  
SERVICES, PINAL COUNTY  
COMPLEX, 85 N. FLORENCE  
STREET, FLORENCE, ARIZONA,  
MONDAY THROUGH THURSDAY  
BETWEEN THE HOURS OF 7:30  
A.M. AND 5:30 P.M. AND ON THE  
INTERNET AT: <https://www.pinal.gov/236/Notice-of-Hearings>  
ALL PERSONS INTERESTED IN  
THESE MATTERS MAY APPEAR  
AT THE PUBLIC HEARING AT  
THE DATE, TIME AND PLACE  
DESIGNATED ABOVE AND  
STATE THEIR APPROVAL  
OR OBJECTION TO THE  
PROPOSED AMENDMENT.  
DATED THIS 5th DAY OF MARCH,  
2025, by Pinal County Community  
Development Department.  
PROTESTS TO THE REZONING  
AND/OR PAD OVERLAY ZONE  
BY 20% OF THE PROPERTY  
OWNERS BY AREA AND  
NUMBER WITHIN 300 FEET OF  
THE PROPERTY PROPOSED  
FOR REZONING WILL REQUIRE  
AN AFFIRMATIVE VOTE OF  
THREE-FOURTHS OF ALL

MEMBERS OF THE BOARD OF SUPERVISORS FOR APPROVAL TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT MUST CONTAIN THE FOLLOWING INFORMATION:

- 1) Planning Case Number (see above)
- 2) Your name, address, telephone number and property tax parcel number ( Print or type )
- 3) Whether you support or oppose the request
- 4) A brief statement of reasons for supporting or opposing the request
- 5) Whether or not you wish to appear and be heard at the hearing

WRITTEN STATEMENTS MUST BE FILED WITH:

PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

P.O. BOX 749 (85 N. Florence Street)

FLORENCE, AZ 85132

Contact for this matter: Valentyn

Panchenko, Planner

E-mail Address: Valentyn.

Panchenko@pinal.gov

Phone: (520) 868-6414

No. of publications: 1; date of publication: Mar 13, 2025

## CERTIFICATION OF POSTING

I hereby certify that the notice(s) shown below was/were posted on the property described in the notice on 01/30/2025

COMMUNITY DEVELOPMENT DEPARTMENT

BY:

  
[signature]

Valentyn Panchenko, Planner  
[print name and title]

DATED: 01/30/2025

NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY PLANNING AND ZONING COMMISSION AT 9:00 A.M. ON THE 20TH DAY OF FEBRUARY 2025, AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER / PLANNING & ZONING BUILDING, 75 FEET WEST OF 85 N FLORENCE STREET, FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A PLANNED AREA DEVELOPMENT OVERLAY DISTRICT (PAD) IN THE UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA.

PZ-PD-015-24 – PUBLIC HEARING/ACTION: Kristine Gay, RVI Planning (applicant/agent), on behalf of landowner – Queen Creek Senior Living LLC, requesting a Major Planned Area Development (PAD) amendment to existing amended PAD (PZ-038-21/PZ-PD-038-21) according to Section 2.176.260 of the Pinal County Development Services Code, to revise Stipulation # 18 of Ordinance No. 2022-PZ-PD-038-21, from: "The building/s on site shall not exceed one story and 36' in height for architectural embellishments", to: "The building/s on site shall not exceed two stories and 36' in height for architectural embellishments" in order to allow a partially 2 story building on approximate 5.93-acre property in Community Commercial Zoning District (C-2) located within SW corner of SE ¼ of Section 29, Township 02S, Range 08E of the Gila and Salt River Base and Meridian, Tax Parcel: 104-22-5830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

DOCUMENTS PERTAINING TO THIS CASE CAN BE FOUND ON THE NOTICE OF HEARING PAGE FOR THE PLANNING AND ZONING COMMISSION AT <https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PLEASE CALL (520) 866-6442 FOR MORE INFORMATION.

DATED THIS 21<sup>ST</sup> DAY OF JANUARY, 2025, by Pinal County Community Development Department.

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT MUST CONTAIN THE FOLLOWING INFORMATION:

- 1) Planning Case Number (see above)
- 2) Your name, address, telephone number and property tax parcel number (Print or type)
- 3) A brief statement of reasons for supporting or opposing the request
- 4) Whether or not you wish to appear and be heard at the hearing

ANY WRITTEN STATEMENTS ARE ACCEPTED ON AN ONGOING BASIS, BUT WRITTEN STATEMENTS DESIRED TO BE A PART OF THE CASE PACKET FORWARDED TO THE COMMISSION IS REQUESTED TO BE PROVIDED TO STAFF

IF TWENTY PERCENT OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN THE ZONING AREA FILE PROTESTS, AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD WILL BE REQUIRED TO APPROVE THE REZONING.

WRITTEN STATEMENTS MUST BE FILED WITH  
PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
P.O. BOX 749 (85 N Florence Street)  
FLORENCE, AZ 85132

Contact for this matter: Valentyn Panchenko, Planner  
E-mail Address: [Valentyn.Panchenko@pinal.gov](mailto:Valentyn.Panchenko@pinal.gov)  
Phone: (520) 866-6442

[Anything below this line is not for publication.]

PUBLISHED ONCE:  
Pinal Central Dispatch

## CERTIFICATION OF POSTING

I hereby certify that the notice(s) shown below was/were posted on the property described in the notice on 03/06/2025

COMMUNITY DEVELOPMENT DEPARTMENT

BY

(signature)

Valentyn Panchenko, Planner

(print name and title)

DATED

03/06/2025

NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY BOARD OF SUPERVISORS AT 9:30 A.M. ON THE 2ND DAY OF APRIL, 2025, AT THE PINAL COUNTY ADMINISTRATIVE COMPLEX IN THE BOARD OF SUPERVISORS HEARING ROOM 135 N. PINAL STREET, FLORENCE, ARIZONA, TO CONSIDER THE APPLICATION FOR PLANNED AREA DEVELOPMENT (PAD) OVERLAY AMENDMENT TO AMEND THE ZONING ORDINANCE AND/OR MAPS IN THE SAN TAN VALLEY AREA, PINAL COUNTY, ARIZONA

PZ-PD-015-24 - PUBLIC HEARING/ACTION: KRISTINE GAY, RVI PLANNING (APPLICANT/AGENT), ON BEHALF OF LANDOWNER - QUEEN CREEK SENIOR LIVING LLC, REQUESTING A MAJOR PLANNED AREA DEVELOPMENT (PAD) AMENDMENT TO EXISTING AMENDED PAD (PZ 038-21/PZ-PD 038-21) ACCORDING TO SECTION 2-176.260 OF THE PINAL COUNTY DEVELOPMENT SERVICES CODE, TO REVISE STIPULATION # 18 OF ORDINANCE NO. 2022 PZ-PD 038-21, FROM "THE BUILDING/S ON SITE SHALL NOT EXCEED ONE STORY AND 36' IN HEIGHT FOR ARCHITECTURAL EXHIBITISHMENTS", TO "THE BUILDING/S ON SITE SHALL NOT EXCEED TWO STORIES AND 36' IN HEIGHT FOR ARCHITECTURAL EXHIBITISHMENTS" IN ORDER TO ALLOW A PARTIALLY 2-STORY BUILDING ON APPROXIMATE 5.93-ACRE PROPERTY IN COMMUNITY COMMERCIAL ZONING DISTRICT (C-2) LOCATED WITHIN SW CORNER OF 51 1/4 OF SECTION 29, TOWNSHIP 62S, RANGE 08E OF THE GILA AND SALT RIVER BASIN AND MERIDIAN, TAX PARCEL 104-22 6830, AT E COMBS ROAD AND N ENCANTERIA DRIVE IN SAN TAN VALLEY AREA, IN THE UNINCORPORATED PINAL COUNTY, AZ

AT LEAST 24 HOURS PRIOR TO THE PUBLIC HEARING, DOCUMENTS PERTAINING TO THESE REQUESTS ARE AVAILABLE FOR PUBLIC INSPECTION AT THE PINAL COUNTY DEVELOPMENT SERVICES, PINAL COUNTY COMPLEX, 85 N. FLORENCE STREET, FLORENCE, ARIZONA, MONDAY THROUGH THURSDAY BETWEEN THE HOURS OF 7:30 A.M. AND 5:30 P.M. AND ON THE INTERNET AT: [HTTPS://WWW.PINAL.GOV/236/NOTICE-OF-HEARINGS](https://www.pinal.gov/236/NOTICE-OF-HEARINGS)

ALL PERSONS INTERESTED IN THESE MATTERS MAY APPEAR AT THE PUBLIC HEARING AT THE DATE, TIME AND PLACE DESIGNATED ABOVE AND STATE THEIR APPROVAL OR OBJECTION TO THE PROPOSED AMENDMENT

DATED THIS 5<sup>TH</sup> DAY OF MARCH, 2025, BY PINAL COUNTY COMMUNITY DEVELOPMENT DEPARTMENT.

PROTESTS TO THE REZONING AND/OR PAD OVERLAY ZONE BY 20% OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN 300 FEET OF THE PROPERTY PROPOSED FOR REZONING WILL REQUIRE AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD OF SUPERVISORS FOR APPROVAL

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT MUST CONTAIN THE FOLLOWING INFORMATION:

- 1) PLANNING CASE NUMBER (SEE ABOVE)
- 2) YOUR NAME, ADDRESS, TELEPHONE NUMBER AND PROPERTY TAX PARCEL NUMBER (PRINT OR TYPE)
- 3) WHETHER YOU SUPPORT OR OPPOSE THE REQUEST
- 4) A BRIEF STATEMENT OF REASONS FOR SUPPORTING OR OPPOSING THE REQUEST
- 5) WHETHER OR NOT YOU WISH TO APPEAR AND BE HEARD AT THE HEARING

WRITTEN STATEMENTS MUST BE FILED WITH  
PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
P.O. BOX 749 (85 N. FLORENCE STREET)  
FLORENCE, AZ 85132

CONTACT FOR THIS MATTER: VALENTYN PANCHENKO, PLANNER  
E-MAIL ADDRESS: VALENTYN.PANCHENKO@PINAL.GOV  
PHONE: (520) 866 6414

[ANYTHING BELOW THIS LINE IS NOT FOR PUBLICATION.]

PUBLISHED ONCE  
PINAL CENTRAL DISPATCH



## **PINAL COUNTY** *Public Hearing*

Case Number: PZ-PD-015-24

Existing and: C-2 (Community Commercial)

Proposed Zoning: PAD

Acreage: 5.93 AC

Applicant Name: Mojave Sage Senior Living

Phone Number: 702-204-2420

Case Information Available at Pinal County  
Planning and Development Services | (520)866-6442

**PUBLIC HEARING  
INFORMATION**

### **NOTICE**

FOR THE RECORD  
PUBLIC HEARING  
JAN 23/24



## AFFIDAVIT OF POSTING OF BROADCAST SIGN (and Notice of Hearing)\*

I, Kristine Gay, RVi Planning, Applicant for case \_\_\_\_\_ (Case number), personally caused \_\_\_\_\_ sign(s) to be posted in a visible place on or near the proposed project site on 1/20/2025 (Date), at least 28 days before the Planning and Zoning Commission Public Hearing, regarding the proposed \_\_\_\_\_ (Type of application), in unincorporated Pinal County

The notice(s) was posted as indicated on the attached map and photograph.

Kristine Gay  
Applicant

STATE OF ARIZONA )  
                                  ) ss:  
COUNTY OF PINAL )

Subscribed and sworn to me by Kristine Gay this 22nd day of January, 2025.

Rachel Arndt

Notary Public

My Commission Expires: Sep 23, 2026



\* as directed by your staff Coordinator

## AFFIDAVIT OF Mailing of Notice of Hearing\*

I, \_\_\_\_\_, Applicant for case \_\_\_\_\_ (Case number), personally caused \_\_\_\_\_ mailer(s) to be mailed by first class post regarding the public hearing associated with case \_\_\_\_\_ on \_\_\_\_\_ (Date), on a form prescribed by the planning division at least 15 days before the Planning and Zoning Commission Public Hearing, regarding the proposed \_\_\_\_\_ (Type of application), in unincorporated Pinal County.

The notice(s) and mailing lists were mailed as attached.

  
\_\_\_\_\_  
Applicant

STATE OF ARIZONA )  
                                  ) ss:  
COUNTY OF PINAL )

Subscribed and sworn to me by Tylere Brennan this 13th day of February, 2025 .

  
\_\_\_\_\_  
Notary Public

My Commission Expires: Sep 23, 2026



- \* as directed by your staff Coordinator
- \* please attach the mailer and the list addresses



NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY PLANNING AND ZONING COMMISSION AT 9:00 A.M. ON THE 20TH DAY OF FEBRUARY 2025, AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER / PLANNING & ZONING BUILDING, 75 FEET WEST OF 85 N FLORENCE STREET, FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A PLANNED AREA DEVELOPMENT OVERLAY DISTRICT (PAD) IN THE UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA.

**PZ-PD-015-24 – PUBLIC HEARING/ACTION:** Kristine Gay, RVI Planning (applicant/agent), on behalf of landowner – Queen Creek Senior Living LLC, requesting a Major Planned Area Development (PAD) amendment to existing amended PAD (PZ-038-21/PZ-PD-038-21) according to Section 2.176.260 of the Pinal County Development Services Code, to revise Stipulation # 18 of Ordinance No. 2022-PZ-PD-038-21, from “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments”, to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments” in order to allow a partially 2-story building on approximate 5.93-acre property in Community Commercial Zoning District (C-2) located within SW corner of SE ¼ of Section 29, Township 02S, Rang 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

DOCUMENTS PERTAINING TO THIS CASE CAN BE FOUND ON THE NOTICE OF HEARING PAGE FOR THE PLANNING AND ZONING COMMISSION AT: <https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PLEASE CALL (520) 866-6442 FOR MORE INFORMATION.

DATED THIS 21<sup>st</sup> DAY OF **JANUARY, 2025**, by Pinal County Community Development Department.

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

- 1) Planning Case Number (see above)
- 2) Your name, address, telephone number and property tax parcel number (**Print or type**)
- 3) A brief statement of reasons for supporting or opposing the request
- 4) Whether or not you wish to appear and be heard at the hearing

ANY WRITTEN STATEMENTS ARE ACCEPTED ON AN ONGOING BASIS, BUT WRITTEN STATEMENTS DESIRED TO BE A PART OF THE CASE PACKET FORWARDED TO THE COMMISSION IS REQUESTED TO BE PROVIDED TO STAFF.

IF TWENTY PERCENT OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN THE ZONING AREA FILE PROTESTS, AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD WILL BE REQUIRED TO APPROVE THE REZONING.

WRITTEN STATEMENTS MUST BE FILED WITH:  
PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
P.O. BOX 749 (85 N. Florence Street)  
FLORENCE, AZ 85132

Contact for this matter: **Valentyn Panchenko, Planner**  
E-mail Address: [Valentyn.Panchenko@pinal.gov](mailto:Valentyn.Panchenko@pinal.gov)  
Phone: (520) 866-6414



NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY PLANNING AND ZONING COMMISSION AT 9:00 A.M. ON THE 20TH DAY OF FEBRUARY 2025, AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER / PLANNING & ZONING BUILDING, 75 FEET WEST OF 85 N FLORENCE STREET, FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A PLANNED AREA DEVELOPMENT OVERLAY DISTRICT (PAD) IN THE UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA.

**PZ-PD-015-24 – PUBLIC HEARING/ACTION:** Kristine Gay, RVI Planning (applicant/agent), on behalf of landowner – Queen Creek Senior Living LLC, requesting a Major Planned Area Development (PAD) amendment to existing amended PAD (PZ-038-21/PZ-PD-038-21) according to Section 2.176.260 of the Pinal County Development Services Code, to revise Stipulation # 18 of Ordinance No. 2022-PZ-PD-038-21, from “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments”, to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments” in order to allow a partially 2-story building on approximate 5.93-acre property in Community Commercial Zoning District (C-2) located within SW corner of SE ¼ of Section 29, Township 02S, Rang 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

DOCUMENTS PERTAINING TO THIS CASE CAN BE FOUND ON THE NOTICE OF HEARING PAGE FOR THE PLANNING AND ZONING COMMISSION AT: <https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PLEASE CALL (520) 866-6442 FOR MORE INFORMATION.

DATED THIS 21<sup>st</sup> DAY OF **JANUARY, 2025**, by Pinal County Community Development Department.

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

- 1) Planning Case Number (see above)
- 2) Your name, address, telephone number and property tax parcel number (**Print or type**)
- 3) A brief statement of reasons for supporting or opposing the request
- 4) Whether or not you wish to appear and be heard at the hearing

ANY WRITTEN STATEMENTS ARE ACCEPTED ON AN ONGOING BASIS, BUT WRITTEN STATEMENTS DESIRED TO BE A PART OF THE CASE PACKET FORWARDED TO THE COMMISSION IS REQUESTED TO BE PROVIDED TO STAFF.

IF TWENTY PERCENT OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN THE ZONING AREA FILE PROTESTS, AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD WILL BE REQUIRED TO APPROVE THE REZONING.

WRITTEN STATEMENTS MUST BE FILED WITH:  
PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
P.O. BOX 749 (85 N. Florence Street)  
FLORENCE, AZ 85132

Contact for this matter: **Valentyn Panchenko, Planner**  
E-mail Address: [Valentyn.Panchenko@pinal.gov](mailto:Valentyn.Panchenko@pinal.gov)  
Phone: (520) 866-6414





PINAL COUNTY  
DEVELOPMENT SERVICES BUILDING  
(85 N FLORENCE ST) P O BOX 749  
FLORENCE, AZ 85132

# NOTICE OF PUBLIC HEARING



PINAL COUNTY  
DEVELOPMENT SERVICES BUILDING  
(85 N FLORENCE ST.,) P O BOX 749  
FLORENCE, AZ 85132

# NOTICE OF PUBLIC HEARING

NAP

, -

109526320

DIXON CHARLES & PEGGY LIV TRUST  
922 E LADDOOS AVE  
QUEEN CREEK , AZ 85140--525

109520780

BURNS CARYN C TRUST  
3 WINDY HILL LN  
LAGUNA HILLS , CA 92653-3607

NAP

, -

109520750

BARNES JAMES ALLEN  
1260 E SWEET CITRUS DR  
SAN TAN VALLEY , AZ 85140-0515

109520790

WALLACE WILLIAM ALVIN & MIYAKO TOMINAGA  
1192 E SWEET CITRUS DR  
QUEEN CREEK , AZ 85140-0515

109520090

HORPEDAHL TIMOTHY & TERRI  
1239 E SWEET CITRUS DR  
SAN TAN VALLEY , AZ 85140-0514

109526330

HUEY CAROL A TRUST  
898 E LADDOOS AVE  
SAN TAN VALLEY , AZ 85140-0525

109520880

EGGENBERGER TANNER DREW & RONDIE RENEE  
1285 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0515

109520080

SMITH WILLIAM & MARY ANN  
7714 102 STREET  
GRANDE PRARIE , AB -

109520030

MCCORMICK SHAWN T & SHARON R V TRS  
1133 E SWEET CITRUS DR  
QUEEN CREEK , AZ 85140-0514

109520800

JACKSON JAMES & SUSAN A  
1174 E SWEET CITRUS DR  
QUEEN CREEK , AZ 85140-0515

109520070

O'CONNELL JAMES R & NADINE L  
1207 E SWEET CITRUS DR  
SAN TAN VALLEY , AZ 85140-0514

109520910

DECKER EDWARD G & LESLIE A CO-TRS  
1351 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0516

109520870

CANNON DWIGHT LIN & DIANA LYNN TRS  
1265 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0515

109526100

CUNNINGHAM MICHAEL ALEXANDER & MARGARET LOUISE TRS  
37371 N WILD BARLEY PATH  
SAN TAN VALLEY , AZ 85140-0524

109520020

HATTON GARWOOD & BARBARA  
1904 RANDALL ST  
SUMMERLAND , BC -

109526530

ADCOCK CARL F & NELDA K  
885 E VESPER TRL  
QUEEN CREEK , AZ 85140-0525

109520060

APPLEGATE JERRY L LIV TRUST  
5112 B AVENUE PL  
KEARNEY , NE 68847-7856

109520760

BORN KARL J & CYNTHIA E TRS  
1240 E SWEET CITRUS DR  
SAN TAN VALLEY , AZ 85140-0515

109526540

FULMER JASON  
901 E VESPER TRL  
QUEEN CREEK , AZ 85140-0525

109520740

BRAY MARTHA J, BRAY TYLER J & STEPHANIE  
3217 EAGLERIDGE WAY  
BELLINGHAM , WA 98226-6782

109520900

FULLER STEVEN J  
1335 E ARTEMIS TRL  
QUEEN CREEK , AZ 85140-0516

109526550

FOX DAVID  
917 E VESPER TRL  
SAN TAN VALLEY , AZ 85140-0525

109520050

GOERTZ JAMES ISAAC & CATHY MAE  
1171 E SWEET CITRUS DR  
QUEEN CREEK , AZ 85140-0514

109520770

BISHOP RICHARD & MARY ELLEN  
1224 E SWEET CITRUS DR  
QUEEN CREEK , AZ 85140-0515

109526560

MOLDOVEANU DELIA  
935 E VESPER TRL  
SAN TAN VALLEY , AZ 85140-0525

109520040

LYNCH RICHARD C & AUDREY L TRS  
1153 E SWEET CITRUS DR  
QUEEN CREEK , AZ 85140-0514

109520890

GRAHAM CYNTHIA A REV LIV TRUST  
1319 E ARTEMIS TRL  
QUEEN CREEK , AZ 85140-0516

109520860

CAREY RONALD E & CAROL A TRS  
1249 E ARTEMIS TRL  
QUEEN CREEK , AZ 85140-0515

109521440  
HARRIS GERALD W & MARILYN L LIV TRUST  
1356 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0516

109520850  
STANIK JOSEPH R & CYNTHIA J  
1235 E ARTEMIS TRL  
QUEEN CREEK , AZ 85140-0515

109526730  
PRUESS ALAN J & SHERRY L TRS  
37431 N WILD BARLEY PATH  
QUEEN CREEK , AZ 85140-0524

109520840  
O SULLIVAN GERALD FRANCIS & MARY ANTOINETTE TRUST  
1221 E ARTEMIS TRL  
QUEEN CREEK , AZ 85140-0515

109521450  
THOMPSON DENNIS E & KAREN S TRS  
1338 E ARTEMIS TRL  
QUEEN CREEK , AZ 85140-0516

109521460  
MCDERMID JAMES MARSHALL & LAURA ELLEN E CO-TRS  
1320 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0516

109520830  
DICKERSON TIMOTHY D & KARI D  
1844 NORTHSORE DR  
BELLINGHAM , WA 98226-6781

109521470  
WHITE MELISSA JOY TRS  
1306 E ARTEMIS TRL  
QUEEN CREEK , AZ 85140-0516

109521480  
CONCANNON MARGARET A  
1290 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0516

109521490  
MOHRWEIS WILLIAM  
1274 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0516

109526720  
PINTO STEVEN  
2 COMMERCE DR STE 301  
CRANFORD , NJ 07016-6350

109521500  
PETERS JAMEY & GAYLE  
1258 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0516

109521510  
HILLIS DAVID LYNDE  
1240 E ARTEMIS TRL  
SAN TAN VALLEY , AZ 85140-0516

109526660  
HILTON RACHEL N  
868 E VESPER TRL  
SAN TAN VALLEY , AZ 85140--525

109526670  
FOLEY MARJORIE TRUST  
884 E VESPER TRL  
SAN TAN VALLEY , AZ 85140-0525

109526680  
MCINNES JEFFREY D & VIO-ALEEN D TRS  
16485 6TH ST SE  
HILLSBORO , ND 58045-5924

109526690  
WOODARD REBECCA ALICIA  
916 E VESPER TRL  
SAN TAN VALLEY , AZ 85140-0525

109526700  
PIERCE DANIEL MONROE & JANE LYNN TRS  
932 E VESPER TRL  
QUEEN CREEK , AZ 85140-0525

109526710  
LAWTHER BRENTON & SHANNON  
126 VALLEY RIDGE PT NW  
CALGARY , AB -

109522390  
TOWN OF QUEEN CREEK  
22350 S ELLSWORTH RD  
QUEEN CREEK , AZ 85142-2931

109526740  
ENCANTERRA COMM ASSOC  
1600 W BROADWAY RD STE 200  
TEMPE , AZ 85282-2113

109522400  
PREMIER MEDICAL PROPERTIES LLC  
6116 E ARBOR AVE STE 108  
MESA , AZ 85206-6610

109327260  
CARTER KEVIN L  
1271 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327160  
DE CARLO LOUIS R & PEGGY C FAM TRUST  
6733 S SENECA WAY  
GILBERT , AZ 85298-8407

109327250  
ROSELL MATTHEW  
1283 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327240  
1295 SAN TAN VALLEY LLC  
5206 S FAIRCHILD LN  
CHANDLER , AZ 85249-9512

109327230  
ESPER GREGORY L  
1307 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327220  
DALY NANCY I  
1319 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327210  
LEHRKE DEBRA A  
1331 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327200  
OHLSEN ADRIANA  
1343 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444



109327190  
BAEZA MARIA GUADALUPE  
1357 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327050  
BETHEL RICHARD D  
1304 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327020  
ADDEMAN V  
1281 E RYAN RD  
SAN TAN VALLEY , AZ 85140-0444

109327180  
ESPOSITO JENNIFER  
1369 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327060  
GUERINO AUSTIN JAMES  
1318 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327010  
NORDHUES ELAINE D  
20940 E MEWES RD  
QUEEN CREEK , AZ 85142-2726

109327170  
FESTA KIRA & MICHAEL S  
1381 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327070  
FKH SFR PROPCO H LP  
600 GALLERIA PKWY SE STE 300  
ATLANTA , GA 30339-9599

109327000  
PN COOPER 2 LLC  
1876 E BROWNING PL  
CHANDLER , AZ 85286-6141

109327150  
ROCHE BRYCE & KARINA  
1413 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327080  
FAUR VERONICA  
1346 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109326990  
ALVARADO ETHAN  
1319 E RYAN RD  
SAN TAN VALLEY , AZ 85140-0444

109327270  
RODRIGUEZ JONATHAN  
37610 N SANDY DR  
SAN TAN VALLEY , AZ 85140-8514

109327090  
TAH 2018-1 BORROWER LLC  
MAIL RETURN  
, -

109326980  
PROGRESS RESIDENTIAL BORROWER 13 LLC  
PO BOX 4090  
SCOTTSDALE , AZ 85261-1409

109327280  
EAKINS JASON  
37622 N SANDY DR  
SAN TAN VALLEY , AZ 85140-0440

109327100  
MAHOWALD TIMOTHY ISIDOR TRS  
1636 N 106TH ST  
MESA , AZ 85207-7979

109326970  
COLORADO DOMINIC G  
1347 E RYAN RD  
SAN TAN VALLEY , AZ 85140-0444

10932948A  
PECAN CREEK SOUTH HOA  
1600 W BROADWAY RD STE 200  
TEMPE , AZ 85282-2113

109327110  
GONZALEZ MICHAEL ANDREW  
1386 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109326960  
PROGRESS RESIDENTIAL BORROWER 13 LLC  
PO BOX 4090  
SCOTTSDALE , AZ 85261-1409

109327290  
RODRIGUEZ PEDRO SANDOVAL & AGUAYO MARIA D  
37634 N SANDY DR  
SAN TAN VALLEY , AZ 85140-0440

109327300  
CASTANEDA NOEMI  
37646 N SANDY DR  
SAN TAN VALLEY , AZ 85140-0440

109326950  
MARTINEZ RIGOBERTO CHAVEZ  
1373 E RYAN RD  
SAN TAN VALLEY , AZ 85140--444

109327030  
TOWNLEY CAROL A REV TRUST  
1280 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327310  
TAH 2018-1 BORROWER LLC  
MAIL RETURN  
, -

109326940  
SCHAFFER JEFFREY  
1387 E RYAN RD  
SAN TAN VALLEY , AZ 85140-8514

109327040  
FIELDS SHIRLEY BIA  
1292 E ESTELLE LN  
SAN TAN VALLEY , AZ 85140-0444

109327320  
WARD MICHAEL S  
37670 N SANDY DR  
SAN TAN VALLEY , AZ 85140-0440

109327330  
SCHNEPF TREVOR D & KATHRYN A  
37682 N SANDY DR  
SAN TAN VALLEY , AZ 85140-0440

109327340  
ZWINGMANN WOLFGANG & MARGA REV LIV TRUST  
14121 CASWOOD ST  
WHITTIER, CA 90602-2261

109326860  
USCMF SN ARIZONA A LLC  
8390 E VIA DE VENTURA STE F-110  
SCOTTSDALE, AZ 85258-8318

109326750  
WILHITE WALTER  
1317 E PRYOR RD  
SAN TAN VALLEY, AZ 85140-0443

109327350  
REDD RANDY & MARYLYNN N LIV TRUST  
52 W RED FERN RD  
QUEEN CREEK, AZ 85140--823

109326870  
IH6 PROPERTY PHOENIX LP  
PO BOX 4900  
SCOTTSDALE, AZ 85261-1490

109326740  
DEHAVEN THOMAS E TRUST  
PO BOX 32247  
MESA, AZ 85275-5224

109327360  
37718 N SANDY DRIVE LLC  
113 LAKESHORE CT  
RICHMOND, CA 94804-4742

109326890  
FKH SFR PROPCO H LP  
600 GALLERIA PKWY SE STE 300  
ATLANTA, GA 30339-9599

109326730  
BTR SCATTERED SITE OWNER 2 LLC  
5001 PLAZA ON THE LK STE 200  
AUSTIN, TX 78746-6105

109326790  
PN COOPER 1 LLC  
1876 E BROWNING PL  
CHANDLER, AZ 85286-6141

109326880  
SHREEVE CHRISTOPHER & MICHELLE  
1390 E RYAN RD  
SAN TAN VALLEY, AZ 85140-0444

109326720  
SFR JV-2 PROPERTY LLC  
PO BOX 15087  
SANTA ANA, CA 92735-5008

109326800  
CSH PROPERTY ONE LLC  
PO BOX 4900  
SCOTTSDALE, AZ 85261-1490

109327370  
FLORES LINA TRUST  
37730 N SANDY DR  
SAN TAN VALLEY, AZ 85140-0440

109326710  
LE ANELLI NEIL J & CALLA C  
1365 E PRYOR RD  
SAN TAN VALLEY, AZ 85140-0443

109326810  
GARCIA ALBERTO W  
1304 E RYAN RD  
SAN TAN VALLEY, AZ 85140-0444

109327380  
HENDERSON NOHEMI  
37742 N SANDY DR  
SAN TAN VALLEY, AZ 85140-0440

109326700  
STEPHENSON RONALD W  
1377 E PRYOR RD  
SAN TAN VALLEY, AZ 85140-0443

109326820  
SORIANO-OCHOA SALVADOR  
1316 E RYAN RD  
SAN TAN VALLEY, AZ 85140-0444

109327390  
SAFARI ONE ASSET COMPANY LLC  
5001 PLAZA ON THE LK STE 200  
AUSTIN, TX 78746-6105

109326690  
HUDSON SFR PROPERTY HOLDINGS III LLC  
4849 GREENVILLE AVE  
DALLAS, TX 75206-6413

109326830  
CELAYA MIGUEL A TR  
1328 E RYAN RD  
SAN TAN VALLEY, AZ 85140-0444

109326780  
MAJOR DIANE KATHLEEN  
1281 E PRYOR RD  
SAN TAN VALLEY, AZ 85140-0443

109327400  
PROGRESS PHOENIX LLC  
PO BOX 4090  
SCOTTSDALE, AZ 85261-1409

109326840  
ARMSTRONG BRIAN  
1340 E RYAN RD  
SAN TAN VALLEY, AZ 85140-0444

109326770  
ARNOLD BOUSHON D & WISCOVITCH TIFFANY  
1293 E PRYOR RD  
SAN TAN VALLEY, AZ 85140-0443

109327410  
KORECKY BRIAN & ASHLI  
37780 N SANDY DR  
SAN TAN VALLEY, AZ 85140-0440

109326850  
COOK MICHAEL  
1354 E RYAN RD  
SAN TAN VALLEY, AZ 85140-0444

109326760  
JENKINS KYLE & ELIZABETH  
2517 E LAUREL ST  
MESA, AZ 85213-3237

109327420  
OLYMPUS BORROWER 1 LLC  
PO BOX 4090  
SCOTTSDALE, AZ 85261-1409

109327430  
FJJ PROPERTIES LLC  
1151 E RELIANT ST  
GILBERT , AZ 85298-8062

109327450  
IH6 PROPERTY PHOENIX LP  
PO BOX 4900  
SCOTTSDALE , AZ 85261-1490

109318070  
BIRD DONALD M & SANDRA KATHLEEN  
1033 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109327440  
LAVALLE JAMES & DANYEL  
37816 N SANDY DR  
SAN TAN VALLEY , AZ 85140-0440

109318160  
WALL STEPHANIE L  
915 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109318060  
CLIFFORD CRAIG C & AMY K  
1045 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109326500  
LIVERMORE JAMES  
MAIL RETURN  
, -

109318150  
DEVRIES LYLE  
4004 E 7TH ST  
SIOUX FALLS , SD 57103-3111

109318050  
PENN DEBORAH A  
1059 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109326510  
IH5 PROPERTY PHOENIX LP  
PO BOX 4900  
SCOTTSDALE , AZ 85261-1490

109318140  
FKH SFR PROPCO J LP  
600 GALLERIA PKWY SE STE 300  
ATLANTA , GA 30339-9599

109318040  
OLYMPUS BORROWER LLC  
PO BOX 4090  
SCOTTSDALE , AZ 85261-1409

109326520  
ROSENGARTEN LORIANNE & ELLIOT  
1304 E PRYOR RD  
SAN TAN VALLEY , AZ 85140-0443

109318130  
MARTINEZ CARLOS MANUEL & DIANA ROSTRAN  
919 E CHELSEA DR  
SAN TAN VALLEY , AZ 85140-0565

109318030  
LANGOWSKI JOSHUA J  
1085 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

109326530  
CALLISON MICHAEL D & ASHLEY  
1316 E PRYOR RD  
SAN TAN VALLEY , AZ 85140-0443

109318120  
DOWSWELL CHARLES & HOLLAND  
967 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109318020  
P2 SUB REIT 1 BORROWER LLC  
PO BOX 4090  
SCOTTSDALE , AZ 85261-1409

109326540  
BROWN T R TRUST  
1328 E PRYOR RD  
SAN TAN VALLEY , AZ 85140-8514

109318110  
CERBERUS SFR HOLDINGS III LP  
600 GALLERIA PKWY SE STE 300  
ATLANTA , GA 30339-9599

109318010  
CRANDELL SHARLEE M  
1111 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

109326550  
COPPER HELIX GROUP LLC  
7897 SHAGGY MOUNTAIN RD  
HERRIMAN , UT 84096-6446

109318100  
LEE KYLER BOYCE & MARIANNE  
993 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109318000  
MILLER PAUL J  
1125 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

109326560  
RESTADIUS DANIELLE A  
1354 E PRYOR RD  
SAN TAN VALLEY , AZ 85140-0443

109318090  
VEJAR ELIZABETH ANN  
1007 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109317990  
FKH SFR PROPCO K LP  
600 GALLERIA PKWY SE STE 300  
ATLANTA , GA 30339-9599

109326570  
KOLB GARRETT & LAURA  
1366 E PRYOR RD  
SAN TAN VALLEY , AZ 85140-0443

109318080  
HENDRICKS DREW & JORDYN  
1019 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109317980  
1151ELESLECIIR LLC  
21509 E PUMMELOS RD  
QUEEN CREEK , AZ 85142-2642

109317970  
ELLIS DESHAUN L  
1167 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

109327460  
GOULD HOWARD N & SHERYL L TRS  
20438 E SUNSET CT  
QUEEN CREEK , AZ 85142-2331

109317960  
KESSINGER ROCIEL & LEONARD  
1187 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

109327470  
BELCZYK RONALD A & MARIA LUZ  
PO BOX 7040  
SURPRISE , AZ 85374-4010

109326490  
EAKINS SAMUEL D  
1279 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0443

109326480  
REDDING CLINT  
1291 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0443

109326470  
AH4R PROPERTIES TWO LLC  
23975 PARK SORRENTO STE 300  
CALABASAS , CA 91302-2401

109326460  
MALONEY AMANDA L  
1315 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0443

109326450  
PARENT DONNA  
1327 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0443

109327480  
ZACCARO MATTHEW & HEATHER  
37864 N SANDY DR  
SAN TAN VALLEY , AZ 85140-0440

109317860  
FUZY ROBYN & JOSHUA  
1010 E LESLIE AVE  
SAN TAN VALLEY , AZ 85140-0410

109317870  
BOWSHER DEBORAH K  
7824 DUSTIN RD  
GALENA , OH 43021-1976

109317880  
PROGRESS RESIDENTIAL BORROWER 3 LLC  
PO BOX 4090  
SCOTTSDALE , AZ 85261-1409

109317890  
AZ SQUARE 1B LLC  
1437 DENVER AVE STE 210  
LOVELAND , CO 80538-8522

109317900  
HAUPIN WANDA K  
1082 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

109317910  
RAMEY KECHIRA  
1094 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

109317920  
LPF BLVD PHOENIX LLC  
1887 WHITNEY MESA DR, # 3380  
HENDERSON , NV 89014-4206

109317930  
PAGNOTTA CORY M  
1122 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140--410

109317940  
KOK FOONG CHUN & SELVARAGU MARIANN S CO-TRS  
1134 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140--410

109317950  
MANSKER KRISTA  
1148 E LESLIE CIR  
SAN TAN VALLEY , AZ 85140-0410

10932948A  
PECAN CREEK SOUTH HOA  
1600 W BROADWAY RD STE 200  
TEMPE , AZ 85282-2113

109529330  
ENCANTERRA COMMUNITY ASSOC  
1600 W BROADWAY RD STE 200  
TEMPE , AZ 85282-2113

10422008X  
CORP OF PRESIDING BISHOP OF CHURCH OF JESUS CHRIST LATTER D  
50 E NORTH TEMPLE FL 22  
SALT LAKE CITY , UT 84150-0002

10952238E  
ENCANTERRA COMMUNITY ASSOCIATION  
1600 W BROADWAY RD STE 200  
TEMPE , AZ 85282-2113

10952238E  
ENCANTERRA COMMUNITY ASSOCIATION  
1600 W BROADWAY RD STE 200  
TEMPE , AZ 85282-2113

10952081A  
KJENNER BRIAN & ALLYSON  
5703 CAPILANO CRESCENT  
EDMONTON , AB -

10952238E  
ENCANTERRA COMMUNITY ASSOCIATION  
1600 W BROADWAY RD STE 200  
TEMPE , AZ 85282-2113

10952238D  
THE CLUB AT ENCANTERRA LLC  
8800 N GAINES CENTER DR STE 370  
SCOTTSDALE , AZ 85258-8212

10952001A  
HUNT STEVEN R & LOIS  
4255 NE NORTH SHORE RD  
BELFAIR , WA 98528-8970

NAP  
, -

10952536D  
ENCANTERRA CLUB HOLDINGS LLC  
655 BREA CANYON RD  
WALNUT , CA 91789-9307

10952536D  
ENCANTERRA CLUB HOLDINGS LLC  
655 BREA CANYON RD  
WALNUT , CA 91789-9307

104226820  
DESERT SAGE MANAGEMENT LLC  
6617 NORTH SCOTTSDALE RD STE 101  
SCOTTSDALE , AZ 85250-8525

104226830  
QUEEN CREEK SENIOR LIVING LLC  
3001 RANCH ROAD 620 S, STE 324  
AUSTIN , TX 78738-8714

10952536D  
ENCANTERRA CLUB HOLDINGS LLC  
655 BREA CANYON RD  
WALNUT , CA 91789-9307

## AFFIDAVIT OF PUBLICATION

State of Florida, County of Broward, ss:

Rachel Cozart, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Pinal Central Dispatch, a newspaper published at Casa Grande, Pinal County, Arizona, Thursday of each week; that a notice, a full, true and complete printed copy of which is hereunto attached, was printed in the regular edition of said newspaper, and not in a supplement thereto, for 1 issues. The publications thereof having been on the following dates:

### PUBLICATION DATES:

Jan. 30, 2025

NOTICE ID: dsm7ios5uydGu2EMukOi

NOTICE NAME: PZ-PD-015-24

*Rachel Cozart*

(Signed) \_\_\_\_\_

### VERIFICATION

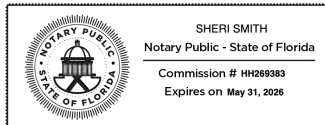
State of Florida  
County of Broward

Subscribed in my presence and sworn to before me on this: 01/31/2025

*S. Smith*

Notary Public

Notarized remotely online using communication technology via Proof.



NOTICE OF PUBLIC HEARING  
NOTICE OF PUBLIC HEARING  
BY THE PINAL COUNTY  
PLANNING AND ZONING  
COMMISSION AT 9:00 A.M. ON  
THE 20TH DAY OF FEBRUARY  
2025, AT THE PINAL COUNTY  
EMERGENCY OPERATIONS  
CENTER / PLANNING & ZONING  
BUILDING, 75 FEET WEST  
OF 85 N FLORENCE STREET,  
FLORENCE, ARIZONA, TO  
CONSIDER AN APPLICATION  
FOR A PLANNED AREA  
DEVELOPMENT OVERLAY  
DISTRICT (PAD) IN THE  
UNINCORPORATED AREA OF  
PINAL COUNTY, ARIZONA.  
PZ-PD-015-24 - PUBLIC  
HEARING/ACTION: Kristine  
Gay, RM Planning (applicant  
agent), on behalf of landowner -  
Queen Creek Senior Living LLC,  
requesting a Major Planned Area  
Development (PAD) amendment  
to existing amended PAD (PZ-  
038-21/PZ-PD-038-21) according  
to Section 2.176.260 of the Pinal  
County Development Services  
Code, to revise Specification #  
18 of Ordinance No. 2022-PZ-  
PD-038-21, from "The building's  
on site shall not exceed one story  
and 36' in height for architectural  
embellishments", to "The building's  
on site shall not exceed two stories  
and 36' in height for architectural  
embellishments" in order to allow  
a partially 2-story building of  
approximately 5.93-acre property  
in Community Commercial Zoning  
District (C-2) located within SW  
corner of SE 1/4 of Section 29,  
Township 02S, Range 08E of the  
Gila and Salt River Base and  
Meridian, Tax Parcel 104-22-  
6630, at E Combs Road and N  
Encantada Drive in San Tan Valley  
area, in the unincorporated Pinal  
County, AZ.  
DOCUMENTS PERTAINING  
TO THIS CASE CAN BE  
FOUND ON THE NOTICE  
OF HEARING PAGE FOR  
THE PLANNING AND ZONING  
COMMISSION AT: <https://www.pinal.gov/236/Notice-of-Hearings>  
ALL PERSONS INTERESTED IN  
THIS MATTER MAY APPEAR AT  
THE HEARING AT THE TIME AND  
PLACE DESIGNATED ABOVE,  
AND SHOW CAUSE, IF ANY, WHY  
THIS PETITION SHOULD NOT  
BE GRANTED. DOCUMENTS  
PERTAINING TO THIS CASE  
CAN BE REQUESTED AND ARE  
AVAILABLE FOR REVIEW FROM  
PINAL COUNTY PLANNING AND  
DEVELOPMENT SERVICES  
DEPARTMENT PLEASE CALL  
(520) 866-6442 FOR MORE  
INFORMATION.  
DATED THIS 21st DAY OF  
JANUARY, 2025, by Pinal  
County Community Development  
Department.  
TO QUALIFY FOR FURTHER  
NOTIFICATION IN THIS LAND  
USE MATTER YOU MUST  
FILE WITH THE PLANNING  
DEPARTMENT A WRITTEN  
STATEMENT OF SUPPORT  
OR OPPOSITION TO THE  
SUBJECT APPLICATION.  
YOUR STATEMENT MUST

CONTAIN THE FOLLOWING  
INFORMATION:

- 1) Planning Case Number (see above)
- 2) Your name, address, telephone number and property tax parcel number ( Print or type )
- 3) A brief statement of reasons for supporting or opposing the request
- 4) Whether or not you wish to appear and be heard at the hearing

ANY WRITTEN STATEMENTS ARE ACCEPTED ON AN ONGOING BASIS, BUT WRITTEN STATEMENTS DESIRED TO BE A PART OF THE CASE PACKET FORWARDED TO THE COMMISSION IS REQUESTED TO BE PROVIDED TO STAFF.

IF TWENTY PERCENT OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN THE ZONING AREA FILE PROTESTS, AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD WILL BE REQUIRED TO APPROVE THE REZONING.

WRITTEN STATEMENTS MUST BE FILED WITH:

PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

P.O. BOX 749 (85 N. Florence Street)

FLORENCE, AZ 85132

Contact for this matter: Valentyn Panchenko, Planner

E-mailAddress: Valentyn.Panchenko@pinal.gov

Phone: (520) 866-6414

No. of publications: 1; date of publication: Jan 30, 2025



## NOTICE OF PUBLIC HEARING

**NOTICE OF PUBLIC HEARING** BY THE PINAL COUNTY BOARD OF SUPERVISORS AT 9:30 A.M. ON THE **2ND DAY OF APRIL, 2025**, AT THE PINAL COUNTY ADMINISTRATIVE COMPLEX, IN THE BOARD OF SUPERVISORS HEARING ROOM, 135 N. PINAL STREET, FLORENCE, ARIZONA, TO CONSIDER THE APPLICATION FOR **PLANNED AREA DEVELOPMENT (PAD) OVERLAY AMENDMENT** TO AMEND THE ZONING ORDINANCE AND/OR MAPS IN THE SAN TAN VALLEY AREA, PINAL COUNTY, ARIZONA

**PZ-PD-015-24 – PUBLIC HEARING/ACTION:** Kristine Gay, RVi Planning (applicant/agent), on behalf of landowner – Queen Creek Senior Living LLC, requesting a Major Planned Area Development (PAD) amendment to existing amended PAD (PZ-038-21/PZ-PD-038-21) according to Section 2.176.260 of the Pinal County Development Services Code, to revise Stipulation # 18 of Ordinance No. 2022-PZ-PD-038-21, from “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments”, to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments” in order to allow a partially 2-story building on approximate 5.93-acre property in Community Commercial Zoning District (C-2) located within SW corner of SE ¼ of Section 29, Township 02S, Rang 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

AT LEAST 24 HOURS PRIOR TO THE PUBLIC HEARING, DOCUMENTS PERTAINING TO THESE REQUESTS ARE AVAILABLE FOR PUBLIC INSPECTION AT THE PINAL COUNTY DEVELOPMENT SERVICES, PINAL COUNTY COMPLEX, 85 N. FLORENCE STREET, FLORENCE, ARIZONA, MONDAY THROUGH THURSDAY BETWEEN THE HOURS OF 7:30 A.M. AND 5:30 P.M. AND ON THE INTERNET AT: <https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THESE MATTERS MAY APPEAR AT THE PUBLIC HEARING AT THE DATE, TIME AND PLACE DESIGNATED ABOVE AND STATE THEIR APPROVAL OR OBJECTION TO THE PROPOSED AMENDMENT.

DATED THIS 5<sup>th</sup> DAY OF **MARCH, 2025**, by Pinal County Community Development Department.

PROTESTS TO THE REZONING AND/OR PAD OVERLAY ZONE BY 20% OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN 300 FEET OF THE PROPERTY PROPOSED FOR REZONING WILL REQUIRE AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD OF SUPERVISORS FOR APPROVAL.

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

- 
- 1) Planning Case Number (see above)
  - 2) Your name, address, telephone number and property tax parcel number (**Print or type**)
  - 3) Whether you support or oppose the request
  - 4) A brief statement of reasons for supporting or opposing the request
  - 5) Whether or not you wish to appear and be heard at the hearing

WRITTEN STATEMENTS MUST BE FILED WITH:  
PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
P.O. BOX 749 (85 N. Florence Street)  
FLORENCE, AZ 85132

Contact for this matter: Valentyn Panchenko, Planner  
E-mail Address: [Valentyn.Panchenko@pinal.gov](mailto:Valentyn.Panchenko@pinal.gov)  
Phone: (520) 866-6414

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**[Anything below this line is not for publication.]**

PUBLISHED ONCE:  
Pinal Central Dispatch



MEETING DATE: February 20, 2025

TO: PINAL COUNTY PLANNING AND ZONING COMMISSION

CASE NO(S): **PZ-PD-015-24** (Combs and Encanterra Senior Living II)

CASE COORDINATOR: Valentyn Panchenko, Planner

SUPERVISOR DISTRICT: GOODMAN, DISTRICT #2

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**Executive Summary:** *Queen Creek Senior Living LLC, landowner, and RVi Planning + Landscape Architecture, applicant, are requesting a **Major Planned Area Development (PAD) amendment** to the Combs and Encanterra Senior Living PAD (PZ-PD-038-21). The request seeks to revise development standards and amend Ordinance No. 2022-PZ-PD-038-21 to allow a **partially two-story building in place of the previously approved one-story structure, while maintaining the originally approved maximum building height**. The proposed **amendment aiming to accommodate the development of a senior living community (assisted living and memory care facility)** on approximately 5.93 acres within the Community Commercial Zoning District (C-2), located at E Combs Road and N Encanterra Drive in the San Tan Valley area of unincorporated Pinal County, AZ.*

**Background Information:**

The Ordinance # 2022-PZ-038-21 of the Pinal County, Arizona, Board of Supervisors approved the rezoning for the property from Industrial Buffer (CI-B) zone to Community Commercial (C-2) zone on May 18, 2022. In addition, Ordinance # 2022-PZ-PD-038-21 of the Pinal County, Arizona, Board of Supervisors approved a PAD overlay for the Combs and Encanterra Senior Living Community with Stipulation # 18: “The building/s on site shall not exceed **one story** and 36’ feet in height for architectural embellishments”.

The applicant requests to amend Stipulation #18 from the original PAD Ordinance to read as follows: “The building/s on site shall not exceed ~~one story~~ **two stories** and 36’ feet in height for architectural embellishments”. Additionally, the applicant has proposed enhanced development standards to accommodate an upgraded facility.

**If This Request is approved:**

The applicant will proceed with a site plan application and obtain the necessary permits under the updated development and design standards, allowing for two-story building(s) on-site.

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TAX PARCELS: 104-22-6830

LOCATION: The property is located northeast of the intersection of E Combs Road and N Encanterra Drive in the San Tan Valley area.

LEGAL DESCRIPTION: Parcel No. 3, Recorded in Document No. 2018-023566 of Surveys, located in a portion of the South half of Section 29, Township 2 South Half of Section 29, Township 2 South, Range 8 East of the Gila and Salt River Meridian, Pinal County, Arizona.

SIZE: 5.93± acres

APPLICANT: Kristine Gay, RVi Planning + Landscape Architecture, applicant

LANDOWNER: Queen Creek Senior Living LLC

REQUESTED ACTION AND PURPOSE:

**PZ-PD-015-24 – PUBLIC HEARING/ACTION:** Kristine Gay, RVi Planning + Landscape Architecture (applicant/agent), on behalf of landowner – Queen Creek Senior Living LLC, is requesting a Major Planned Area Development (PAD) amendment to existing amended PAD (PZ-038-21/PZ-PD-038-21) according to Section 2.176.260 of the Pinal County Development Services Code, to revise Stipulation # 18 of Ordinance No. 2022-PZ-PD-038-21, from “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments”, to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments” in order to allow a partially 2-story building on approximate 5.93-acre property in Community Commercial Zoning District (C-2) located within SW corner of SE ¼ of Section 29, Township 02S, Range 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

**STAFF FINDINGS:**

COMPREHENSIVE PLAN: The Combs and Encanterra Senior Living II assisted living facility is located within Pinal County’s San Tan Valley Special Area Plan, which is a companion policy document to the Pinal County Comprehensive Plan. Proposed project is currently designated as “Community Center” under the San Tan Valley Special Area Plan.

EXISTING ZONING AND LAND USE: The subject is currently zoned as Community Commercial (C-2) with a PAD (PZ-PD-038-21) Overlay Zone.

SURROUNDING ZONING AND LAND USE:

North: (CI-B) Industrial Buffer Zone – Vacant Land

South: Town of Queen Creek Jurisdiction - (C1) Commercial & partially (R1-5) Urban Residential

East: (CR-3) Single Residence Zone – Residential & Residential Common Areas

West: (MR) Multiple Residence Zoning District – Vacant Land

PUBLIC PARTICIPATION:

Neighborhood Meeting: 09/17/24

Neighborhood Mail out: 02/03/25  
Agency Mail out: County: 01/30/25  
Newspaper Advertising: 01/30/25  
Site Posting Applicant: 01/20/25  
Site Posting County: 01/30/25

**PUBLIC COMMENTS:**

To date, no comments in support and no comments in opposition have been received.

**OTHER REVIEW AGENCY COMMENTS:**

To date, no comments have been received by outside agencies.

**FLOOD ZONE:**

"X" is an area of minimal flood hazard. This site will comply with all regulations set forth in the Pinal County Drainage Manual. This project will present no adverse effects on adjacent properties or other storm drain systems. All weather access to site retention facilities and main storm drain lines has been provided since the site will be paved. A preliminary drainage report has been submitted with this application and will comply with all of the requirements and regulations outlined by Pinal County Public Works.

**ACCESS:**

The subject property is currently vacant. The proposed development is bordered by the Combs Road alignment to the south, single-family homes to the north and the east and vacant land to the west. Vehicular access to the site will be provided with two (2) driveways located along Encanterra Drive. The first access point, main entry, is located approximately 240' north of Combs Road. The second access point is located approximately 425' north of Combs Road. Both driveways will be full access driveways, allowing right and left turn movements into and out of the site.

The development is anticipated to generate 260 weekday trips, with 18 trips occurring during the AM peak hour and 24 trips occurring during the PM peak hour. The 260 daily trips generated by the proposed development would represent an approximate 2.16% increase in average weekday traffic along Combs Road. In conclusion, the additional traffic generated by the proposed Combs and Encanterra Senior Living development is anticipated to result in minimal traffic related impacts to the roadway network and the surrounding area.

**HISTORY:**

Originally, the subject site within the Pecan Creek PAD was approved with CR-5 zoning slated for an assisted living facility. In 2003, a PAD amendment was approved which moved the location of the CI-B 26 +ac Employment (PZ-PD-054-00 and PZ-PD-043-03) site along Combs Road to which the 5.93 acre subject site exists within today. Subject Site is currently zoned as C-2 Combs and Encanterra Senior Living PAD, approved on May 18<sup>th</sup>, 2022 (PZ-038-21 and PZ-PD-038-21).

**ANALYSIS:**

According to the Pinal County Development Services Code (PCDSC), Section 2.176.260 – Amendments to the PAD overlay zoning district, an amendment will be deemed major if it involves a request to waive, or a change any condition or stipulation of approval. Requests for major amendments shall follow the same procedure as the initial application for a PAD overlay zoning district approval.

### COMPREHENSIVE PLAN

This project falls within the Community Center Land Use Designation. Additionally, the proposed project complies with the following provisions of the Community Center designation:

- The proposed development is located along an arterial and is designed so no direct vehicular access is shared with adjacent streets that serve single-family residential development.
- The proposed use is single story and is buffered along the eastern edge of the site adjacent residential areas providing screening to the proposed use. Additional landscaping is proposed along the frontage of Combs Road.
- Parking, lighting, noise, traffic generation, or hours of operation are located in the interior of the site avoiding any potential nuisance to the adjacent to single family residential neighborhoods.
- A landscape buffer is proposed along the eastern edge in compliance with the Pinal County Development Services Code.
- According to the PCDSC, Section 2.176.080 – Density calculation: Commercial and industrial acreage are not included in the calculation of density. Additionally, the use of the site for an assisted living and memory care facility should not be classified as residential density.

### REZONE

There are no proposed changes to the current zoning. The Combs and Encanterra Senior Living Community's proposed use remains consistent with the requirements of the C-2 Community Commercial Zoning District/PAD.

### PLANNED AREA DEVELOPMENT (PAD)

The proposed PAD Amendment seeks to modify Stipulation #18 by increasing the maximum number of stories allowed from one to two while maintaining the previously established height limitation of 36 feet.

The applicant is also proposing updates to the architectural enhancements and development standards. While the amendment allows for two-story buildings instead of the previously approved one-story structures, other proposed modifications introduce positive design improvements. These include a 27% reduction in building coverage to 53,000 square feet, increased yard depth, and an expansion of the minimum open space requirements, which will enhance the overall appearance and functionality of the community.

On February 4, 2025, the applicant requested an increase in the total unit count from 90 to 118 to accommodate additional space within the assisted living facility to maximize capacity. . Since assisted living and memory care facilities are considered commercial uses, they are not subject to residential density requirements under the Comprehensive Plan. Instead, it might be regulated through secondary factors such as parking availability.

The applicant initially proposed increasing the number of parking spaces from 69 to 75 to meet the demand generated by additional units. In accordance with PCDSC Section 2.140.020, parking requirements for assisted living facilities are calculated as one space per two bedrooms plus one space per employee on the largest working shift. Based on this calculation, the proposed parking allocation would accommodate up to 118 units without exceeding regulatory thresholds.

A detailed comparison of the existing vs. proposed development standards and architectural enhancements related to the increase in the number of stories can be reviewed in the table below.

**Table 4 of approved PAD**

<b>Standard</b>	<b>Existing / Approved Conceptual PAD Plan and Building Design</b>	<b>Proposed Conceptual PAD Plan and Building Design</b>	<b>Summary</b>
Height	One-Story with embellishments up to 36'	One and Two Stories, with embellishments up to 36'	Changed to allow two-stories. No Change to max. 36' height.
Building Design	Four-Sided Architecture Materials: Stucco and natural stone veneer with wood & wrought iron details Pitched roof	Four-Sided Architecture Materials: Stucco & natural stone veneer with wood & wrought iron details  Architectural parapet with pitched roof accents	Quality of architectural materials maintained.  Roof pitch revised
Yard Depth from Encanterra Road	81'	+/-165'	Increased by +/-84'
Yard Depth from Combs Road	105'	+/-122'	Increased by +/-17'
Yard Depth from North Property Line	45' and 129'	+/-70' and 129'	Increased by +/-25'
Yard Depth from East Property Line	78'	78'	No Change.
Landscape Buffer	10' with landscape strip; trees 30' on center. 20' Perimeter setback with landscape buffer to residential to east.	10' with landscape strip; trees 30' on center. 20' Perimeter setback with landscape buffer to residential to east.	No Change.
Gross Site Acreage	5.93 Acres	5.93 Acres	No Change.
Min. Open Space	10%	+/-20%	Amount of Open Space Doubled.
Proposed Density and Unit Count	(Max. 16 du/ac per General Plan) 90 Units, 15.2 du/ac	Up to 118 Units,	Increased by +/- 28 units.
Parking Provided	69	75	Increased by 6 spaces
Building Coverage	+/- 73,000 sq. ft.	+/- 53,000 sq. ft.	Building Coverage Reduced.
Lighting	Shielded parking lot lighting	Shielded parking lot lighting	No Change.
All other applicable development standards, site improvements, or stipulations.			No Change.



Table 5 of approved PAD		
Standard	Approved (C-2 PAD)	Proposed (C-2 PAD Amended)
Height	36' / Single story	36' / Partial 2-Story
Min. Lot Area	None	None
Min. Lot Width	None	None
Setbacks		
Front (From Encanterra Road)	20'	20'
Side (From Combs Road + East Property Line)	0' from Combs Road 15' from east property line	0' from Combs Road 15' from east property line
Rear (From North Property Line)	25'	25'
Landscape Buffer	10' with landscape strip; trees 30' on center	10' with landscape strip; trees 30' on center
Gross Site Acreage	5.93 Acres	5.93 Acres
Minimum Open Space	10%	20% - including landscape buffers, landscaped yards, retention areas, and amenitized courtyards

#### Previous PAD Stipulations Analysis:

Ordinance No. 2022-PZ-PD-038-21 contained 18 stipulations, some of which have already been addressed:

- Stipulation #5: *Approval of this Planned Area Development (PAD) Overlay District is contingent upon the Board of Supervisors zone change approval as set forth in Planning Case PZ-038-21.*
  - Status: Ordinance No. 2022-PZ-038-21 approved the zone change, making this stipulation no longer necessary.
- Stipulation #6: *Applicant/Property owner shall separate the Senior Living Facility as its own parcel prior to site plan application approval.*
  - Status: The parent parcel split and separation were approved under MLD-18-0029, new parcel number has been assigned to the property, eliminating the need for this stipulation.

Since these stipulations are no longer applicable, they should be removed from the new PAD. As a result, the stipulation numbering will be adjusted accordingly, making the current request relevant to the last stipulation #16 (previously #18 in the originally approved PAD Ordinance).

#### STAFF SUMMARY:

1. This land use request is for approval of a Major Amendment to an existing Planned Area Development.
2. To date, no public comments have been received.
3. The property has legal access.

4. The subject property is currently designated as “Community Center” per the San Tan Valley Special Area Plan.
5. The requested increase in the number of stories does not impact the previously approved maximum building height. The updated development standards enhance the site and community by expanding open space and improving buffering from surrounding zoning districts.

**RECOMMENDED MOTIONS (PZ-PD-015-24)**

*To Approve: I move the Planning and Zoning Commission forward a recommendation of conditional approval of Case PZ-PD-015-24 to the Board of Supervisors.*

*To Deny: I move the Planning and Zoning Commission forward a recommendation of denial of Case PZ-PD-015-24 to the Board of Supervisors.*

Should the Commission find after the presentation of the applicant and together with the testimony and evidence presented at the public hearing, that this Major PAD Amendment request is needed and necessary at this location and time, will not negatively impact adjacent properties, will promote orderly growth and development of the County and will be compatible and consistent with the applicable goals and policies of the Pinal County Comprehensive Plan, then the Commission may forward PZ-PD-015-24 to the Board of Supervisors with a favorable recommendation with the attached stipulations:

1. This zone change supersedes all stipulations under Case PD-054-00 & PZ-PZ-043-03 & PZ-PD-038-21;
2. The stipulations enumerated herein pertain to the area described in case PZ-PD-015-24;
3. Approval of this PAD (PZ-PD-015-24) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals;
4. The Combs and Encanterra Senior Living Community Planned Area Development (PAD) Overlay District (PZ-PD-015-24) is to be developed in substantial conformance with the site plan/development plan dated January 21, 2025, along with the other supplementary documentation in accordance with the applicable criteria set forth in Chapter 2.176 of the Pinal County Development Services Code;
5. The applicant/property owner shall construct a minimum six-foot CMU wall between Senior Living Facility and a rural or residential zone and a minimum ten-foot landscape strip between the wall and any use in this zone, including parking. The landscape strip shall be planted with trees 30 feet on center and with mature trees (24 inch box or greater) next to any existing homes; Owner may use the existing CMU wall that is in place to count as a portion of required wall;
6. Applicant/property owner shall place a minimum six-foot “CMU” and/or “Wrought Iron” wall/fence facing the multi-family project and the property owned by the LDS Church to the north;
7. The applicant/property owner shall place an ADA compliant sidewalk to the whole length of the Encanterra Road, to end at the Senior living Facility to the north;
8. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;

9. A dust registration permit from the Pinal County Air Quality Control District shall be obtained prior to the disturbance of 0.1 acres or more;
10. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District;
11. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis (TIA) to mitigate impacts on all surrounding roadways to be completed at the developer's cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals and/or other public improvements as approved by the County Engineer. The TIA shall be in accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the Site Plan;
12. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
13. There is an existing 55' half street public right-of-way along Combs Rd. Any additional right-of-way needed for any required infrastructure improvements (as identified in the approved Traffic Impact Analysis) for Combs Rd shall be the responsibility of the applicant. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County Engineer;
14. All right-of-way dedication shall be free and unencumbered;
15. Any roadway sections, alignments, access locations and access movements shown in the PAD are conceptual only and have not been approved by the Pinal County Engineer; and
16. The building(s) on site shall not exceed two stories and 36' feet in height, including architectural embellishments.

DATE PREPARED: 2/10/2025 – VP

REVISED: 2/13/2025 – VP

## NOTICE OF PUBLIC HEARING

NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY PLANNING AND ZONING COMMISSION AT 9:00 A.M. ON THE 20TH DAY OF FEBRUARY 2025, AT THE PINAL COUNTY EMERGENCY OPERATIONS CENTER / PLANNING & ZONING BUILDING, 75 FEET WEST OF 85 N FLORENCE STREET, FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A PLANNED AREA DEVELOPMENT OVERLAY DISTRICT (PAD) IN THE UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA.

**PZ-PD-015-24 – PUBLIC HEARING/ACTION:** Kristine Gay, RVi Planning (applicant/agent), on behalf of landowner – Queen Creek Senior Living LLC, requesting a Major Planned Area Development (PAD) amendment to existing amended PAD (PZ-038-21/PZ-PD-038-21) according to Section 2.176.260 of the Pinal County Development Services Code, to revise Stipulation # 18 of Ordinance No. 2022-PZ-PD-038-21, from “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments”, to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments” in order to allow a partially 2-story building on approximate 5.93-acre property in Community Commercial Zoning District (C-2) located within SW corner of SE ¼ of Section 29, Township 02S, Rang 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

DOCUMENTS PERTAINING TO THIS CASE CAN BE FOUND ON THE NOTICE OF HEARING PAGE FOR THE PLANNING AND ZONING COMMISSION AT: <https://www.pinal.gov/236/Notice-of-Hearings>

ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AT THE HEARING AT THE TIME AND PLACE DESIGNATED ABOVE, AND SHOW CAUSE, IF ANY, WHY THIS PETITION SHOULD NOT BE GRANTED. DOCUMENTS PERTAINING TO THIS CASE CAN BE REQUESTED AND ARE AVAILABLE FOR REVIEW FROM PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PLEASE CALL (520) 866-6442 FOR MORE INFORMATION.

DATED THIS 21<sup>st</sup> DAY OF **JANUARY, 2025**, by Pinal County Community Development Department.

TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT **MUST** CONTAIN THE FOLLOWING INFORMATION:

- 
- 1) Planning Case Number (see above)
  - 2) Your name, address, telephone number and property tax parcel number (**Print or type**)
  - 3) A brief statement of reasons for supporting or opposing the request
  - 4) Whether or not you wish to appear and be heard at the hearing

ANY WRITTEN STATEMENTS ARE ACCEPTED ON AN ONGOING BASIS, BUT WRITTEN STATEMENTS DESIRED TO BE A PART OF THE CASE PACKET FORWARDED TO THE COMMISSION IS REQUESTED TO BE PROVIDED TO STAFF.

IF TWENTY PERCENT OF THE PROPERTY OWNERS BY AREA AND NUMBER WITHIN THE ZONING AREA FILE PROTESTS, AN AFFIRMATIVE VOTE OF THREE-FOURTHS OF ALL MEMBERS OF THE BOARD WILL BE REQUIRED TO APPROVE THE REZONING.

WRITTEN STATEMENTS MUST BE FILED WITH:  
PINAL COUNTY PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
P.O. BOX 749 (85 N. Florence Street)  
FLORENCE, AZ 85132

Contact for this matter: Valentyn Panchenko, Planner  
E-mail Address: [Valentyn.Panchenko@pinal.gov](mailto:Valentyn.Panchenko@pinal.gov)  
Phone: (520) 866-6414

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**[Anything below this line is not for publication.]**

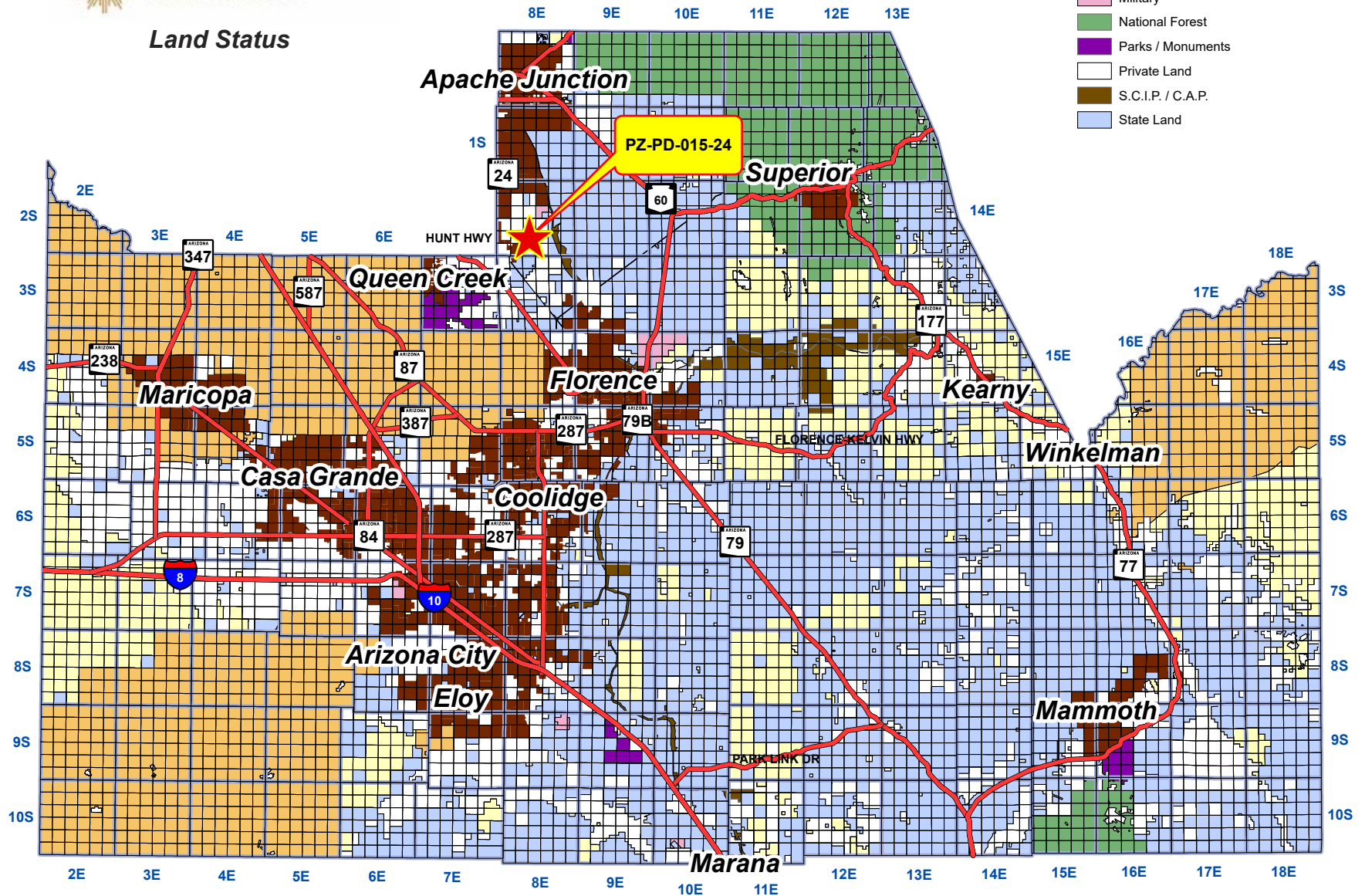
PUBLISHED ONCE:  
Pinal Central Dispatch

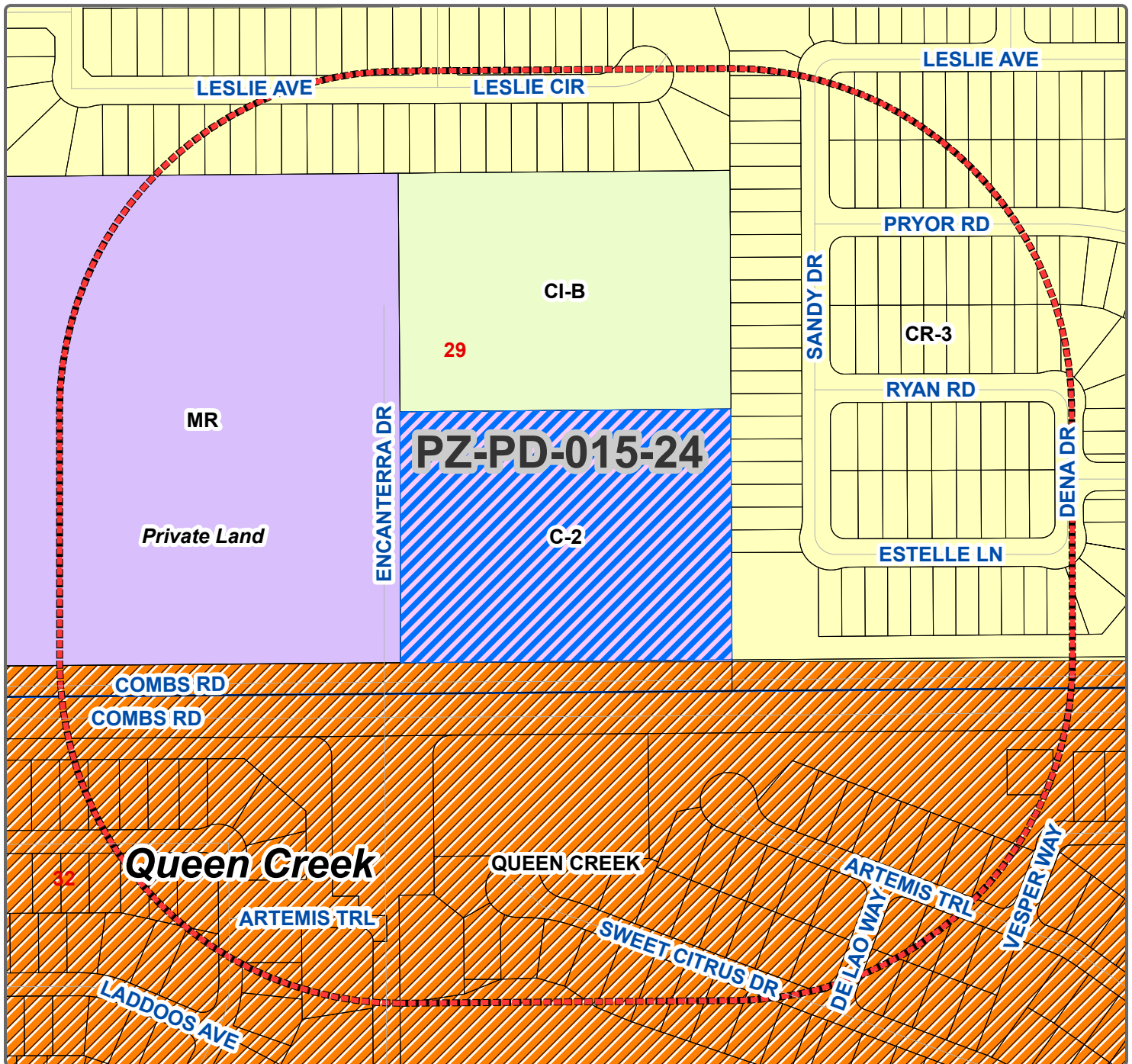


## Land Status

## Legend

- B.L.M.
- Indian Community
- Military
- National Forest
- Parks / Monuments
- Private Land
- S.C.I.P. / C.A.P.
- State Land





## Community Development

PZ-PD-015-24 – PUBLIC HEARING/ACTION: Kristine Gay, RVI Planning (applicant/agent), on behalf of landowner – Queen Creek Senior Living LLC, requesting a Major Planned Area Development (PAD) amendment to existing amended PAD (PZ-038-21/PZ-PD-038-21) according to Section 2.176.260 of the Pinal County Development Services Code, to revise Stipulation # 18 of Ordinance No. 2022-PZ-PD-038-21, from “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments”, to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments” in order to allow a partially 2-story building on approximate 5.93-acre property in Community Commercial Zoning District (C-2) located within SW corner of SE ¼ of Section 29, Township 02S, Rang 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

Current Zoning: C-2

Requested Zoning: Rezone

Current Land Use: SAN TAN VALLEY SAP



### Legal Description:

Located within SW corner of SE ¼ of Section 29, Township 02S, Rang 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

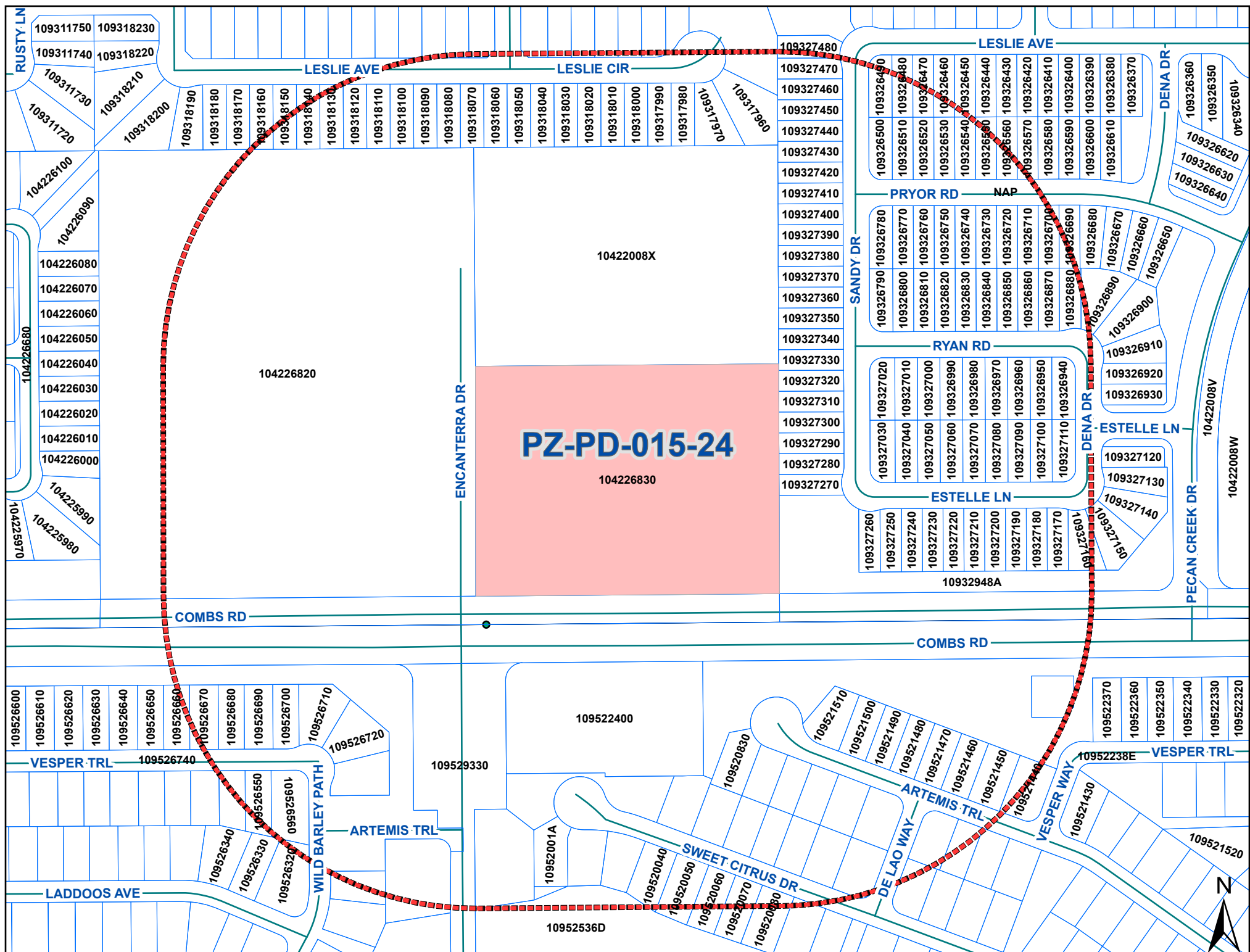
SEC 29, TWN 02S, RNG 08E

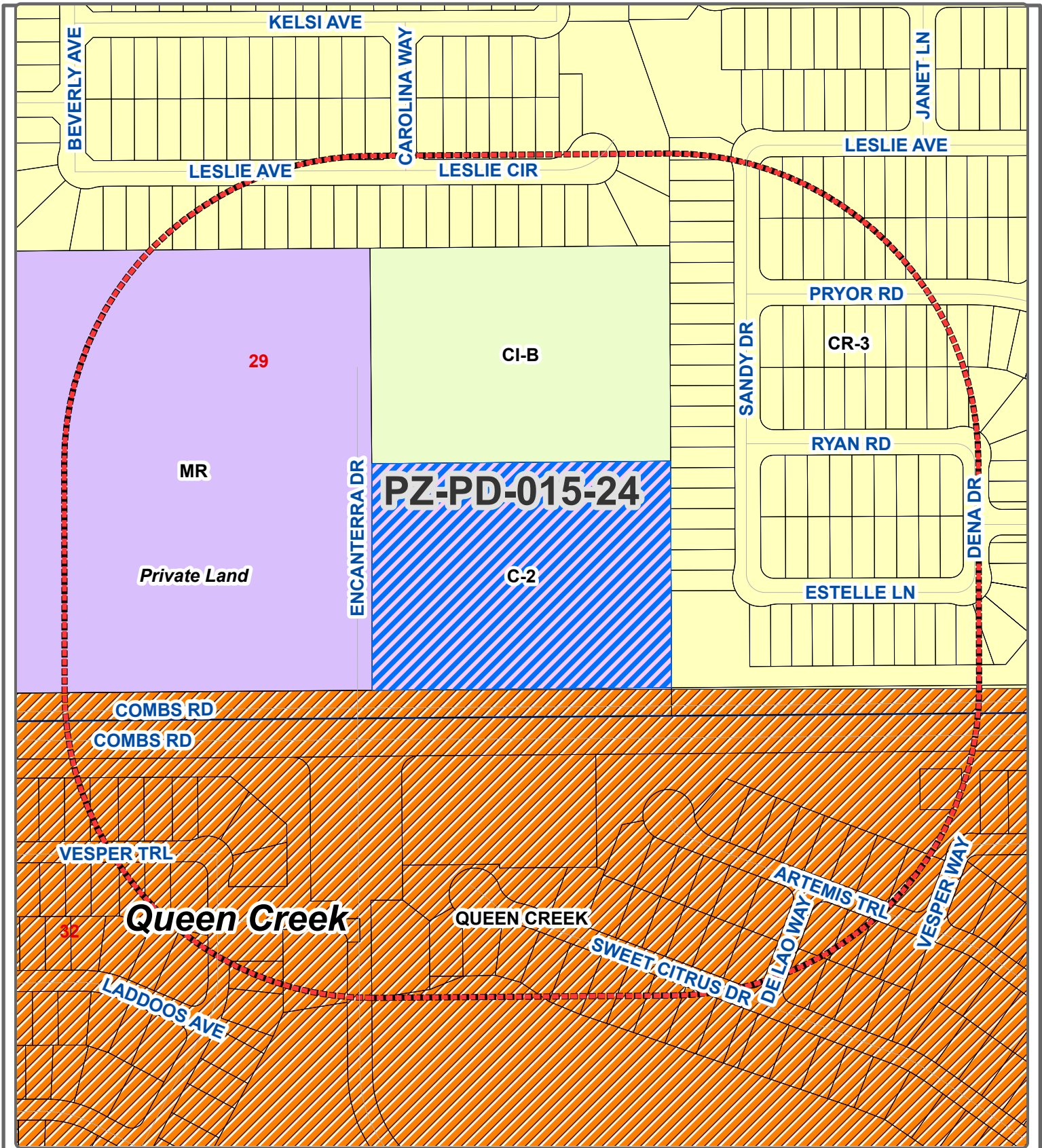


Owner/Applicant: KRISTINE GAY, RVI PLANNING		
Drawn By: GIS / IT / RW	Date: 01/21/2025	
Section 29	Township 02S	Range 08E
Case Number: PZ-PD-015-24		

Sheet No.  
1 of 1







## Community Development

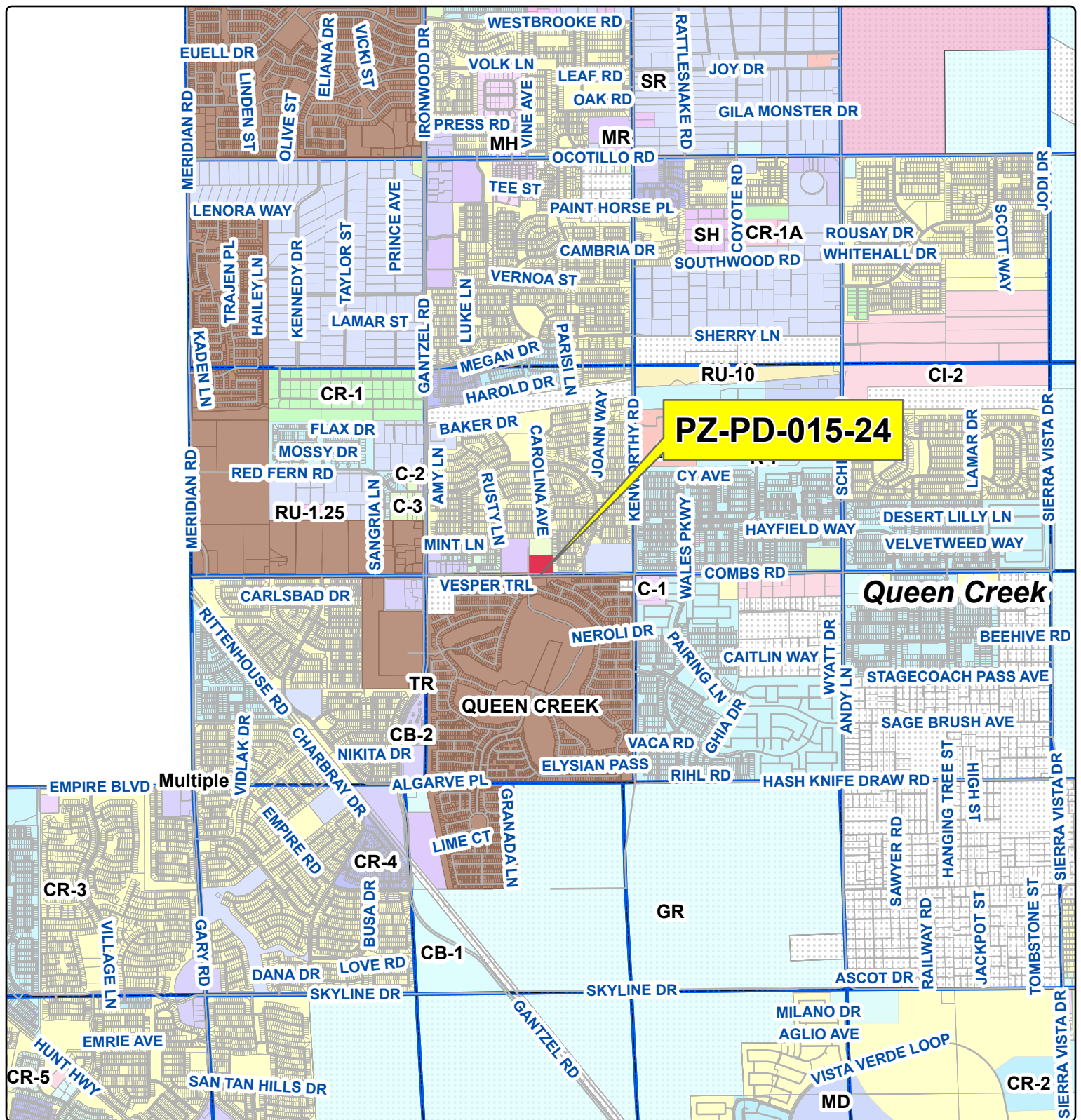
Owner/Applicant: Kristine Gay, RVI Planning		
Drawn By: GIS/IT - RWB	Date: 01/21/2025	
Section 29	Township 02S	Range 08E
Case Number: PZ-PD-015-24		

**Legal Description:**  
 Located within SW corner of SE ¼ of Section 29, Township 02S, Range 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.  
 SEC 29, TWN 02S, RNG 08E

  
 Sheet No.  
 1 of 1



Current Zoning: C-2  
 Request Zoning: Rezone  
 Current Land Use: SAN TAN VALLEY  
 SAP



## Community Development



### Legal Description:

Located within SW corner of SE ¼ of Section 29, Township 02S, Range 08E of the Gila and Salt River Base and Meridian, Tax Parcel 104-22-6830, at E Combs Road and N Encanterra Drive in San Tan Valley area, in the unincorporated Pinal County, AZ.

SEC 29, TWN 02S, RNG 08E



Sheet No.

1 of 1

### Owner/Applicant:

KRISTINE GAY, RVI PLANNING

### Drawn By:

GIS / IT / RWH

### Date:

01/21/2025

### Section

29

### Township

02S

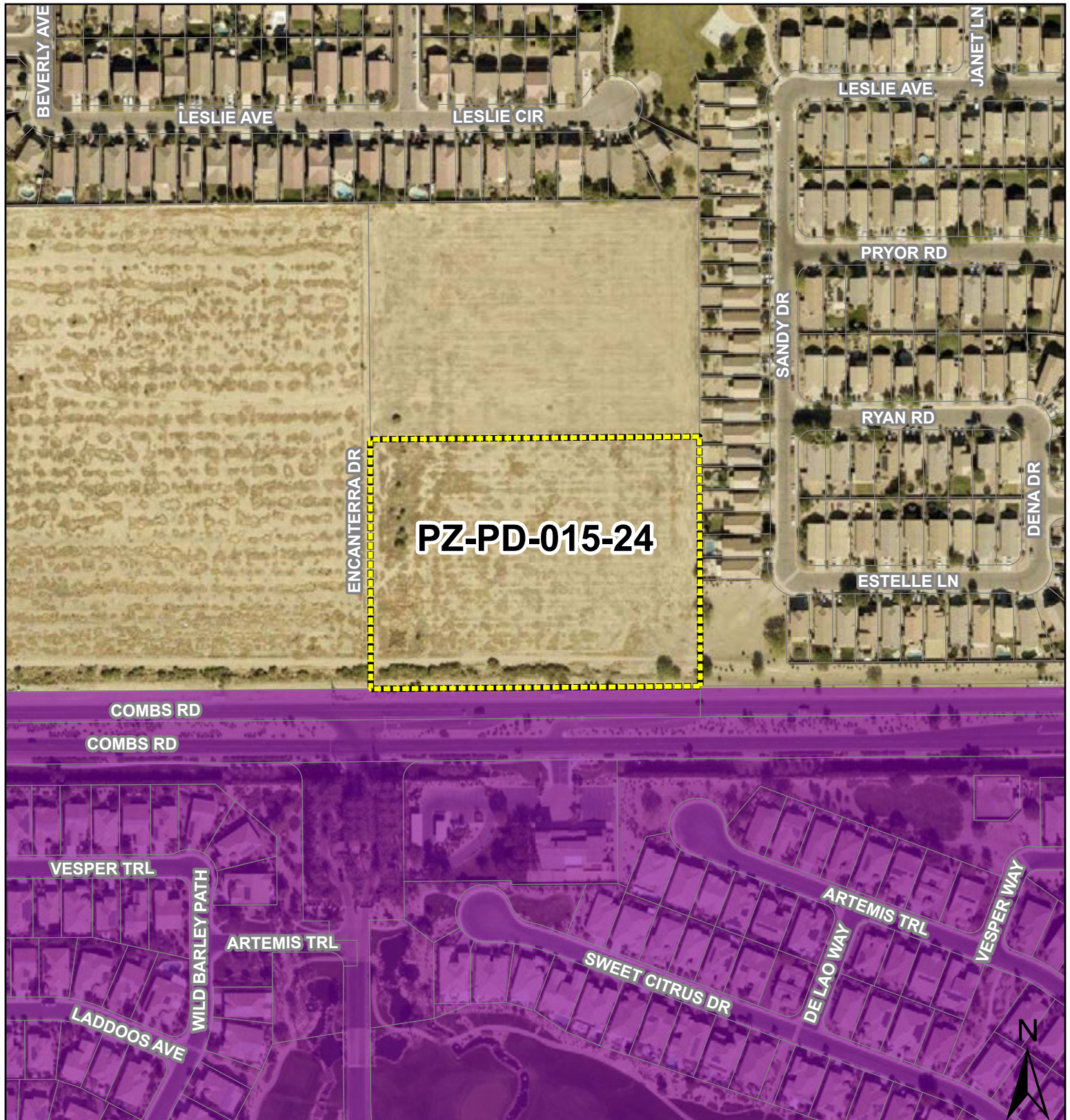
### Range

08E

### Case Number:

PZ-PD-015-24





## *Community Development*





**PINAL COUNTY**  
WIDE OPEN OPPORTUNITY

**PROCEDURE AND APPLICATION FOR A PLANNED AREA DEVELOPMENT (PAD) OVERLAY IN UNINCORPORATED PINAL COUNTY**

1. Submit a Pre-Application meeting request with the Community Development Department for a meeting with Planning Department and other impacted County agencies. - (The Pre-application review is a separate application prior to applying for a PAD).\*
2. Hold a Neighborhood / Community Meeting per requirements outlined in Section – [2.166.050 (E)] of the PCDSC.
3. Submit a PAD Application with the required supporting documentation using the attached forms.\*\*
4. Submit the following fees made payable to Pinal County in accordance with Section [2.167] of the PCDSC:
  - a. without accompanying zone change 0-499 mail-outs: \$4,478.00
  - b. without accompanying zone change 500 or more mail-outs: \$4,880.00
  - c. with accompanying zone change: \$888.00
  - d. Public Works Fees: TIA Review : \$750.00; Drainage Review: \$750.00  
(\*Fees are due at application submittal and at subsequent reviews)
5. Attend Planning & Zoning Commission Public Hearing for Commission recommendation to the Board of Supervisors. - (Time frame is approximately 10 to 15 weeks from application acceptance by the Planning Department).
6. Attend Board of Supervisors Public Hearing for decision. – (Time Frame is approximately 4 to 8 weeks after Planning & Zoning Commission Public Hearing).\*\*\*

Applicants should allow 4 to 6 months from the application acceptance by the Planning Department to a decision from the Pinal County Board of Supervisors.

- \* Your pre-application meeting request can be found here:  
<https://www.pinal.gov/DocumentCenter/View/624/PAD-Pre-application-Form-PDF> \*\*
- \*\* Your application must be submitted digitally via the online portal at: <https://citizenaccess.pinalcountyz.gov/CitizenAccess/>.  
Please call or email the Planning Division for more information
- \*\*\* A PAD Overlay is not effective until 31 days after approval by the Board of Supervisor.

**\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner**

01/2024

Development Service Department

Page 1 of 20

85 N. Florence Street, PO Box 749 Florence, AZ 85132 | T 520-509-3555 | F 520-866-6511 | Hours: M-Thurs. 7:30 am – 5:30 pm  
[www.pinal.gov](http://www.pinal.gov)

Office Use Only:

INV#: \_\_\_\_\_ AMT: \_\_\_\_\_ DATE: \_\_\_\_\_ Case: \_\_\_\_\_ Xref: \_\_\_\_\_

**PROCEDURE AND APPLICATION FOR A PLANNED AREA DEVELOPMENT  
(PAD) OVERLAY IN UNINCORPORATED PINAL COUNTY**

**Formal PAD Application & Property Information:**

(Feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

1. Pinal County Staff Coordinator:
2. Date of Pre-application Review: 8 / 27 / 24
3. Pre-Application Review No.: Z – PA -085- 24
4. Current Zoning (Please provide Acreage Breakdown):
5. Requested Zoning (Please provide Acreage Breakdown): Amendment to existing PAD to Amended PAD
6. Parcel Number(s) (Please attach a separate list if more space is needed): 104226830
7. Parcel Size(s): 5.93 ac
8. The existing use of the property is as follows: vacant undeveloped
8. The exact use proposed under this request: Same Senior Living Facility, just seeking 2 stories instead of 1.
9. What is the Comprehensive Plan Designation for the subject property: Neighborhoods - Moderate Low Density
10. Is the property located within three (3) miles of an incorporated community? ☒ YES ☐ NO
11. Is an annexation into a municipality currently in progress? ☐ YES ☒ NO
12. Is there a zoning violation on the property for which the owner has been cited? ☐ YES ☒ NO  
If yes, zoning violation # na
13. Is this a major PAD Amendment request (no zone accompanying change)? ☒ YES ☐ NO If yes what was the previous PAD case number PZ-PD-038-21
14. Discuss any recent changes in the area that would support your application i.e.: zone change(s), subdivision approval, Planned Area Development (PAD), utility or street improvements, adopted comprehensive/area plan(s) or similar changes.  
The same conditions of the original rezoning remain which support the original rezoning and the currently proposed amendment.
15. Explain how your proposed zoning modification will support and improve the surrounding area. \_\_\_\_\_  
The proposed amendment maintains the same limited permitted land use of the site (Senior Living Facility). The proposed amendment to allow 2-stories will create more open space while still respecting the surrounding building heights.

## PROPERTY OWNERSHIP LIST

(Required for filing all applications)

Instructions: Print Name, Address, City, State, Zip Code and Tax Parcel Number for each property owner within 600' 1,200' (circle one) feet of the subject parcel boundary. Feel free to attach a separate list if generated digitally. Please see "How to use the Buffer Tool" on our FAQ's page if you are generating the list.

Parcel No. <u>See attached list of addresses</u>	Parcel No. _____
Name: <u>within the submitted Citizen</u>	Name: _____
Address: <u>Participation Plan</u>	Address: _____
City/ ST/ Zip _____	City/ ST/ Zip _____
Parcel No. _____	Parcel No. _____
Name: _____	Name: _____
Address: _____	Address: _____
City/ ST/ Zip _____	City/ ST/ Zip _____
Parcel No. _____	Parcel No. _____
Name: _____	Name: _____
Address: _____	Address: _____
City/ ST/ Zip _____	City/ ST/ Zip _____
Parcel No. _____	Parcel No. _____
Name: _____	Name: _____
Address: _____	Address: _____
City/ ST/ Zip _____	City/ ST/ Zip _____
Parcel No. _____	Parcel No. _____
Name: _____	Name: _____
Address: _____	Address: _____
City/ ST/ Zip _____	City/ ST/ Zip _____

I hereby verify that the name list above was obtained on the 4th day of September, 2024 at the office of RVI Planning + Landscape Architecture and is accurate and complete to the best of my knowledge.

(Source of Information)

Kristine Gay  
Printed Name

Signature Kristine Gay

Date October 16, 2024

\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner.  
01/2024

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I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing

Kristine Gay, RVI Planning	4900 N Scottsdale Rd, Suite 1200, Scottsdale, Arizona 85251
Name of Applicant	Address

<u>Kristine Gay</u>	kgay@rviplanning.com	480-994-0994
Signature of Applicant	E-Mail Address	Phone Number

N/A	
Name of Agent/Representative	Address

Signature of Agent/Representative	E-Mail Address	Phone Number

The Agent/Representative has the authority to act on behalf of the landowner/applicant, which includes agreeing to stipulations. The agent will be the contact person for Planning staff and must be present at all hearings. Please use attached Agency Authorization form, if applicable.

Queen Creek Senior Living LLC	3001 Ranch Road 620 S, Suite 324, Austine, TX 78738
Name of Landowner	Address

	tylere@investcor.com	702-204-2420
Signature of Landowner	E-Mail Address	Phone Number

If landowner is not the applicant, then applicant must submit a signed notarized consent form from the landowner with this application. Please use attached Consent to Permit form, if applicable.

**THIS APPLICATION CONSISTS OF PARTS A, B AND C**

If the property is owned by a company, corporation, partnership, LLC, etc. Please use the Agency Authorization on the last page.

**PART A - TO BE FILLED OUT BY APPLICANT**

APPLICANT NAME: Kristine Gay, Rvi Planning, & Tyler Brennan, Investcor Development DATE: 11-1-2024

MAILING ADDRESS: 4900 N Scottsdale Rd, Suite 1200, Scottsdale, AZ 85251 & 3001 Ranch Road 620 STE 324, Austin, TX 78738

E-MAIL ADDRESS: kgay@rviplanning.com & tylere@investcor.com

DAY PHONE: 480-490-0994 & 702-204-2420 MESSAGE PHONE: same PROPERTY

**INFORMATION**

Assessor Parcel Numbers: 104226830 Township: 02S

Range: 08E Section: 29

Address/Location: 37587 N ENCANTERRA DR SAN TAN VALLEY, AZ 85140 ACKNOWLEDGMENTS:

- The Developer/Owner or their designated Contractor shall obtain a Pinal County Right of Way Use Permit prior to any work being performed within the County right of way or within a Pinal County Maintained Roadway. Contact Pinal County Public Works Inspection Section at least 7 working days in advance of any work. Contact for permit application at 520-866-6454

TS Initials

- I also certify that I have informed my surveyor of the location(s) of all septic tank(s) and above ground structures on my property.

- Legal & physical access to the parent parcel is / is not traversable by 2 wheel drive passenger motor vehicle.

- Legal & physical access to the each proposed parcel is / is not traversable by 2 wheel drive passenger motor vehicle.

Signature of Property Owner (s): [Signature] Date: November 5, 2024

Printed Name of Property Owner(s): Tylere Brennan, Investcor Development LLC

Signature of Property Owner (s): [Signature] Date: November 5, 2024

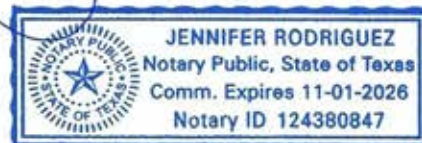
Printed Name of Property Owner(s): Tylere Brennan

The foregoing instrument was acknowledged before me this 5<sup>th</sup> day of Nov. by Tylere Brennan  
2024

Jennifer Rodriguez  
Printed Name of Notary

[Signature]  
Signature of Notary

My Commission Expires: 11-1-26



**PART B TO BE COMPLETED BY ALL LANDOWNERS OF SUBJECT PROPERTY WHEN LANDOWNERS WHO DO NOT REPRESENT THEMSELVES.**

Instructions for completing required information are in bold and brackets below lines. If applicant is a company, corporation, partnership, joint venture, trustee, etc., please use the corporate signature block and have the notary fill in the notarization section for corporations not individuals.

To: Pinal County Planning & Development Services  
P.O. Box 2973  
Florence, AZ 85232

NOT APPLICABLE

[Insert Name -- If a Corporation, Partnership or Association, Include State of Incorporation]

Here in after referred to as "Owner," is/are the owner(s) of \_\_\_\_\_ acres located at \_\_\_\_\_, and further identified

[Insert Address of Property]

as assessor parcel number \_\_\_\_\_ and legally described as follows:

[Insert Parcel Number]

[Insert Legal Description Here OR Attach as Exhibit A]

Said property is hereinafter referred to as the "Property."

Owner hereby appoints \_\_\_\_\_

[Insert Agent's Name. If the Agent is a Company, Insert Company Name Only]

Here in after referred to as "Agent," to act on Owner's behalf in relation to the Property in obtaining approval from Pinal County for a minor land division and to file applications and make the necessary submittals for such approvals.

[Individual PROPERTY OWNER signature block and acknowledgment. DO NOT SIGN HERE IF SIGNING AS AN OFFICER OF A CORPORATION ON THE NEXT PAGE.]

[Signature]

[Signature]

[Address]

[Address]

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_

STATE OF \_\_\_\_\_ )

) ss.

COUNTY OF \_\_\_\_\_ )

The foregoing instrument was acknowledged before me \_\_\_\_\_ this day \_\_\_\_\_ of by \_\_\_\_\_

Printed Name of Notary

Signature of Notary

My Commission Expires: \_\_\_\_\_

\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner.

01/2024

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PART C TO BE COMPLETED BY CORPORATE PROPERTY OWNER SIGNATURE BLOCK AND ACKNOWLEDGMENT

Queen Creek Capital LLC

[Insert Company's or Trust's Name]

By: [Signature]

[Signature of Authorized Officer, or Trustee]

Its: Manager

[Insert Title]

Dated: Nov. 5, 2024

STATE OF Texas

) ss.

COUNTY OF Travis

The foregoing instrument was acknowledged before me, this 5<sup>th</sup> day of Nov., 2024 by

Tylere Brennan, Manager

[Insert Signor's Name]

[Insert Title]

Queen Creek Capital LLC an, [Name of Company or Trust] [Insert State of Incorporation, if applicable]

And who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

My Commission Expires: 11.1.26

Jennifer Rodriguez

Printed Name of Notary

[Signature]

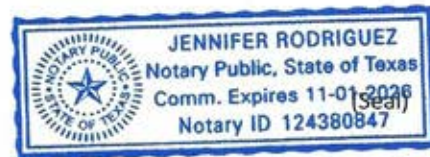
Signature of Notary

ALTERNATE: Use the following acknowledgment only when a second company is signing On behalf of the owner:

STATE OF \_\_\_\_\_

) ss.

COUNTY OF \_\_\_\_\_



The foregoing instrument was acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_, who acknowledges himself/herself to be

[Insert Signor's Name]

\_\_\_\_\_, of \_\_\_\_\_, [Title of Office Held] [Second Company]

As \_\_\_\_\_ for \_\_\_\_\_, and who being [i.e. member, manager, etc.] [Owner's Name]

Authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

My Commission Expires \_\_\_\_\_

\_\_\_\_\_  
Printed Name of Notary

\_\_\_\_\_  
Signature of Notary

## AGENCY AUTHORIZATION

(To be completed by all landowners who do not represent themselves. Instructions for completing required information are in bold and brackets below lines. If applicant is a company, corporation, partnership, joint venture, trustee, etc., please use the corporate signature block and have the notary fill in the notarization section for corporations not individuals and cannot be submitted digitally)

TO: Pinal County Community Development  
P.O. Box 2973  
Florence, AZ 85232

NOT APPLICABLE

[Insert Name – If a Corporation, Partnership or Association, Include State of Incorporation]

Hereinafter referred to as "Owner," is/are the owner(s) of \_\_\_\_\_ acres located at \_\_\_\_\_, and further identified

[Insert Address of Property]

As assessor parcel number \_\_\_\_\_ and legally described as follows:

[Insert Parcel Number]

Insert Legal Description Here OR Attach as Exhibit A

Said property is hereinafter referred to as the "Property."

Owner hereby appoints \_\_\_\_\_

[Insert Agent's Name. If the Agent is a Company, Insert Company Name Only]

Hereinafter referred to as "Agent," to act on Owner's behalf in relation to the Property in obtaining approval from Pinal County for a minor land division and to file applications and make the necessary submittals for such approvals.

[Individual PROPERTY OWNER signature block and acknowledgment.

DO NOT SIGN HERE IF SIGNING AS AN OFFICER OF A CORPORATION SIGN NEXT PAGE]

[Signature]

[Signature]

[Address]

[Address]

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_

STATE OF \_\_\_\_\_ )

COUNTY OF \_\_\_\_\_ )

) ss. \_\_\_\_\_

(SEAL)

The foregoing instrument was acknowledged before me, this \_\_\_\_\_ day \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_.

My Commission Expires \_\_\_\_\_

Signature of Notary Public \_\_\_\_\_

## APPLICATION CHECKLIST:

---

FOR A PROPOSED PLANNED AREA DEVELOPMENT (PAD) OVERLAY DISTRICT IN UNINCORPORATED PINAL COUNTY

A. Check the appropriate item:

☒ This PAD is being submitted without a zone change request

☐ This PAD is being submitted in conjunction with a zone change request.

The applicant must complete a zone change application. – (Please utilize the “PAD Book” and the “Site Plan” of the PAD application to fulfill the Zoning Application “Narrative” and “Site Plan” in lieu of while having separate copies for each application)

B. Development Agreements (DA):

☐ Provide a copy of the approved DA, if applicable. NA

C. Hold a Neighborhood/Community Meeting:

☒ 1. Notify all property owners within 1200' (feet)

☒ 2. Hold the meeting within five (5) miles of the subject property

☒ 3. Hold the meeting between 5:00 pm – 9:00 pm

☒ 4. Include with the application the following:

☒ Copy of Notice of Neighborhood/Community Meeting

☒ List of property owners notified - (Use page 2 of this application)

☒ Minutes of the meeting

☒ Attendance sign-in sheet with names & addresses

D. Submit current zoning ordinance and stipulation from previous case.

E. Submit a completed “Agency Authorization” form (if applicable, Use page 4 of this application).

F. Submit a “PAD Book” (written narrative) concerning the proposed development to include the following sections – Refer to Chapter 2.176.240 (B) of the PCDCS for further clarification (NOTE: Please No Spiral Binding):

☒ 1. Title Page

---

\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner.

01/2024

Page 9 of 20

- ☒ 2. Purpose of Request
- ☒ 3. Description of Proposal
  - ☒ Nature of the Project
  - ☒ Proposed Land Uses
  - ☒ Building Types & Densities
  - ☒ Conformance to adopted Land Use Plans
  - ☒ Circulation and Recreation Systems
- ☒ 4. Relationship to surrounding properties within one mile
- ☒ 5. Schools
- ☒ 6. Public Services/Community Services and how will the need for these services be addressed
- ☒ 7. Location & Accessibility
- ☒ 8. Compliance with RSRSM, Access Management Manual, October 2008
- ☒ 9. Utilities & Services
- ☒ 10. Ownership & Control – [See Section 2.176.240 (B)11]
- ☒ 11. Timing of Development (Phasing Schedule)
- ☒ 12. Conformance with the Comprehensive Plan
- ☒ 13. Recreational Amenities
- ☒ 14. Fences, Walls & Screening
- ☒ 15. Total number of dwelling units
- ☒ 16. Maximum Residential Density of each planning unit
- ☒ 17. Total number of parking spaces for recreational facilities
- ☒ 18. Type of landscaping
- ☒ 19. Preliminary hydrologic data and a statement on drainage

**\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner.**



- ☒ 20. Additional Information for Commercial & Industrial Uses (if applicable):
- ☒ Total Area in acres proposed (Commercial & Industrial Separated)
- ☐ Approximate retail sales floor area (Commercial)
- ☒ The uses proposed uses based on permitted uses in the base zone.
- ☒ The standards of height, open space, buffering, landscaping, pedestrian and vehicle circulation, off-street parking and loading, signs, outdoor lighting, and nuisance controls intended for the development.
- ☒ 22. Tables:
- o Land Use Table(s) to include the following:
- ☒ Total Acreage of the site
  - ☒ Total Area of arterial & collector streets
  - ☒ Total Area & Percent of Open Space
  - ☒ Total Number of each type of dwelling unit
  - ☐ Total Number of all dwelling units proposed including the range and mixture of lot sizes within each base zone
  - ☒ The Overall proposed Density
- o Amended Development Standards Table comparing proposed and current zoning code standards for:
- ☒ Minimum Lot Area
  - ☒ Minimum Lot Width
  - ☒ Minimum Building Setbacks
  - ☒ Maximum Building Height
  - ☒ Minimum Distance between main & detached accessory buildings
  - ☒ Buildable Area o Amended Use Tables:
  - ☒ Permitted Uses
  - ☒ Non-Permitted Uses
- x o Utilities & Services Table of type and source:
- ☒ Sewer
  - ☒ Water
  - ☒ Electric
  - ☒ Telephone
  - ☒ Police
  - ☒ Fire
  - ☒ Schools

- ☒ Solid Waste Disposal
  - ☒ 24. Existing Zoning / PAD Stipulation
  - ☒ 25. Appendix, as applicable (Cultural Biological/environmental studies, or other items)
- E. Submit a map that shows the relationship to surrounding properties within one mile of the project boundaries. The map shall be drawn at a sufficient scale so as to not exceed a print size larger than 11" X 17". The lettering shall be of sufficient size to be legible when reduced to an 8½" X 11" print. The map shall contain the following information:
- ☒ Zoning Boundaries
  - ☒ Street Alignment
  - ☒ Open Space
  - ☒ Trails
- F. Submit a current preliminary Title Report (dated within 60 days prior to application)
- G. Submit a copy of a certified A.L.T.A. survey, including a legal description of proposed zoning districts.
- H. Submit a Development Plan. The submittal shall be drawn at a sufficient scale as to not exceed a print size larger than 24" X 36" with 11" X 17" reductions to be included in the PAD Overlay District Application where the lettering is of sufficient size to be readable. The Development Plan shall include:
1. Site Plan:
    - ☒ Title of project as shown in the narrative report, such as "Planned Area Development for (insert name of Development)" in bold letters.
    - ☒ Name(s) of Landowner(s), Developer, Applicant, and Person or Firm preparing the plan.
    - ☒ North Arrow, Scales (written & graphic), Preparation Date & Subsequent Revision Dates.
    - ☒ Vicinity Map showing project, surrounding development and applicable zoning districts (scale no less than 1" = 2,000')
    - ☒ Existing Zone designation & requested zone change (as applicable)
    - ☒ Legal Description of total site
    - ☒ Boundaries of the proposed PAD Overlay Zoning District delineated and dimensioned by bearing and distance.
    - ☒ All existing and proposed public and/or private streets, location and width of associated easements and rights-of-way and whether they will remain or be extinguished.
    - ☒ Location & Identification of all existing and proposed utilities, location and width of associated easements.
    - ☒ Location of all existing structures and significant natural features.

**\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner.**

- ☒ Nearest regional significant routes to proposed development as projected in RSRS Final Report, December 2008.
- ☒ All points of ingress and egress.
- ☒ Parking Areas.
- ☒ Identify & Delineate existing and/or proposed trails as shown on the Pinal County trails system master plan.
- ☒ Indicate and/or label (as applicable):
  - Areas to be reserved for residential, commercial, industrial, open space, public use, facilities, drainage, and recreation.
  - Who will own, control and maintain the landscaping, recreational facilities, open areas, refuse disposal, streets, and private utility systems.
  - Topography with a maximum contour interval of two feet except where existing ground is on a slope of less than two percent, then either one foot contours or spot elevation shall be provided where necessary.
  - Phase Lines (as applicable)
- ☒ Provide lot typical (typical should show building envelope, setbacks, lot dimensions and fences/walls) for:
  - Each type of dwelling unit
  - Lots in unusual locations (i.e. Cul-de-sacs, corners, hillside lots where clustering will occur).
- ☒ Indicate by notes the existing drainage pattern and proposed drainage plans for handling on-site and off-site storm water runoff
- ☒ Indicate location, type, height, and materials for proposed walls, fences, and signs.
- ☒ Location and types of existing and proposed landscaping.
- ☒ Designated Flood Zone
- ☒ 2. Quantitative Development Data Tables ☒ Land Use table to include:
  - Total Gross Acreage of site
  - Total Area of Streets (Public & Private)
  - Total Area of Public Open Space
  - Total Net Area of all intended uses
  - Total Areas of Open Space for PAD Residents, and total Recreation Area Open Space
  - Total Dwelling Units permitted under base zoning district
  - Total number of each dwelling type including range and mixture of lot sizes within each base zone
  - Grand Total of Dwelling Units
  - Overall Density proposed

☒ Zoning Comparison Table of Existing & Proposed to include:

- Lot area per dwelling unit
- Setbacks
- Minimum Lot Widths
- Maximum Building Heights

☒ Parking (number of spaces)

☒ Utility & Services Table indicating type and source:

- Sewer
- Electric
- Telephone
- Water
- Police/Security
- Fire
- Schools
- Solid Waste Disposal

☒ Street Type Table indicating proposed rights-of-way and pavement widths for arterials, collectors, and neighborhood streets.

☒ 3. Submit an Open Space & Recreation Plan ("OSRP") that includes – Refer to Chapter 2.176

☒ Reviewed the Pinal County Open Space & Recreational Area Guideline

☒ Site Analysis

- Aerial Photo
- Preferred scale of 1"=50' (maximum scale of 1"=100')
- Site Analysis should be produced in an 8½" X 11" format for text
- Site Analysis should be produced in an 24" X 36" format for plans\* (coordinate this requirement with your case coordinator)

☒ Total acreage of proposed development

☒ Context Map showing the proximity and relationship to the County's trails, parks, or schools and connectivity to the adjacent neighborhoods, off-site trails, paths, bikeways, and transit areas.

☒ A concept drawing of the proposed development including:

- Gross Site Area
- Number of proposed lots
- Proposed Arterial & Collector street circulation system
- Proposed lot size(s),
- Proposed Retention/detention areas
- Proposed Development Phasing



- ☒ Context Map showing the proximity and relationship to the County's trails, parks, or schools and connectivity to the adjacent neighborhoods, off-site trails, paths, bikeways, and transit areas.
- ☒ A concept drawing of the proposed development including:
  - Gross Site Area
  - Number of proposed lots
  - Proposed Arterial & Collector street circulation system
  - Proposed lot size(s),
  - Proposed Retention/detention areas
  - Proposed Development Phasing
- ☒ A pedestrian circulation system
- ☐ A Slope Analysis identifying the following slope categories:
  - 1) 0% - 5%
  - 2) 5% - 10%
  - 3) 10% and greater
- ☐ Identification of wash corridors and preliminary hydrologic information for the contributing watershed.
- ☒ Identification of the location of riparian vegetation and biological habitats. Aerial photos should be used to map the limits of notable vegetation.
- ☐ Identification of potential view corridors
- ☒ Identification of the projected 100-year floodplain and floodway boundary as required by FEMA.
- ☒ A record check through Arizona State Museum ("ASM") for archeological sites and identification of any sites or surveys
- ☐ The location and percentage of each proposed development to be preserved as conservation open space and the features to be protected including parcel size and minimum dimensions
- ☒ The location and percentage of each proposed development to be preserved as developed open space and the specific Recreation Areas, including amenities, parcel size and minimum dimensions.
- ☒ 4. Submit a Landscape Plan that includes – Refer to Chapter 2.176.240 (C) of the PCDC:
- ☒ A Vegetation Salvage Plan
- ☒ Proposed treatment of all ground surfaces (paving, turf, gravel, grading, etc.) ~~and~~ Extent and location of all plant materials and other landscape features.
- ☒ Extent of decorative design elements such as fountains, pools, benches, sculptures, planters, and similar elements.
- ☒ Location of Water Outlets.
- ☒ 5. Submit a report utilizing the Arizona Game and Fish ERT online review tool for Habitat and Riparian area identification.

- ☒ Reviewed, Met, and/or addressed the following in Chapter 2.176 of the PCDSC:
- ☒ Minimum requirements for Open Space – (Section 130)
- ☒ Uses permitted within open space areas – (Section 140)
- ☒ Uses prohibited within open space areas – (Section 150)
- ☒ Minimum requirements for recreation areas – (Section 160)
- ☒ Minimum requirements for multi-use paths and trails – (Section 170)
- ☒ Minimum requirements for storm water retention & detention basins – (Section 180)
- ☒ Minimum requirements for streetscapes & entryways – (Section 190)
- ☒ Minimum requirements for conservation open space – (Section 200)
- ☒ Submit a Master Sign Plan detailing the location and type of all proposed signage for the project. (signage must be approved under separate permit, the PAD document cannot alter development standards for signs)  
There are no proposed changes to the approved applicable signage standards.
- ☒ Submit a Preliminary Drainage Report\*
- ☒ Submit a Preliminary Traffic Impact Assessment (TIA)\* (Your TIA must be approved prior to scheduling of your Public Hearing)
- ☒ Submit a copy of a certified A.L.T.A. survey, including a legal description of the PAD boundary and legal descriptions of all zoning district boundaries
- ☒ Aware that earth fissure maps are available online from the Arizona State Geologic Survey.
- ☒ Submit a list of all property owners within 600' (feet) of the subject property boundary showing name, mailing address and tax parcel numbers. This list must be obtained within 30 days prior to application submission. A map showing the 600' boundary and parcels must be included as well (A Tax Assessor Parcel Map is Acceptable). Please list all property's owners name, mailing addresses, and tax parcel numbers in a spreadsheet. - (This list is a separate list from the "Neighborhood/Community Meeting list of 1,200' however use Page 5 of this application).
- ☒ Submit separate preliminary reports or master plans for:
- ☒ Storm water drainage
- ☒ Wastewater & Domestic water service. No changes are proposed from the originally submitted wastewater and domestic water reports.
- ☒ Submit additional materials required for specific types of commercial and industrial uses as follows (as applicable):
- ☒ Commercial Uses:
- ☒ Industrial Uses:
- ☒ Standards of:
  - Height
  - Open Space
  - Buffering
  - Landscaping
  - Pedestrian & Vehicular circulation

\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner.

01/2024

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Development Service Department

85 N. Florence Street, PO Box 749 Florence, AZ 85132 | T 520-509-3555 | F 520-866-6511 | Hours: M-Thurs. 7:30 am – 5:30 pm  
[www.pinal.gov](http://www.pinal.gov)

- off-street parking & Loading (the PAD document cannot alter minimum requirements for parking)
- Signs (the PAD document cannot alter the maximum amount of signage)
- Nuisance Controls



Complete and Submit the "Comprehensive Plan Compliance Checklist"  
<https://www.pinal.gov/documentcenter/view/604>



Non-Refundable filing fee for a Planned Area Development & Non-Refundable Public Works Fees



Submit documentation outlined in the PAD application in a multi-PDF format per item of the application with all supporting documentation via the online portal at: <https://citizenaccess.pinalcountyz.gov/CitizenAccess/>. Please call or email the Planning Division for more information.



Submit



An ESRI shapefile for land use (conceptual) which shows all proposed zoning lines and zoning classifications for the project in

NAD\_1983\_stateplan\_arizona\_central\_fips\_0202\_intlfeet projection

OR



An AutoCAD (.dwg file), which includes the following layers:

- Parcel
- Right-of-way
- Sub-perimeter
- Centerlines
- Section Lines
- Street names
- Lot-numbers
- Distances & Bearings tied by course and distance to two Pinal County survey control points or established city or county survey monuments.

(Information on these control points can be obtained from Public Works, Engineering Technicians at 520-866-6411).



Aware to Install Broadcast Notification Sign(s) on the site in conformance with the information shown in this application. (See page 16 of this application for illustrative details).



Aware that all newspaper advertising fees must be paid by the applicant in addition to application fees.



Aware that all public works fees are due at application submittal and for each subsequent submittal



Aware that on property owner notifications that exceed 30 mail outs the applicant will be responsible for notice prep and postage

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Aware that this application will be submitted to AZGF Department for review and analysis with the ERT online review tool for Habitat and Riparian area identification.



Signature at the end of the "Checklist" stating you have reviewed and addressed all areas within it.

I certify that I have submitted all the required information listed above, and I understand that this application for a Planned Area Development cannot be processed until all required information is submitted

Kristine Gay

Signature

11/01/2024

Date

**PINAL COUNTY BROADCAST NOTIFICATION SIGNS:**

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Zoning, Planned Area Developments, Special Use Permits & Industrial Use Permits

Site Posting Requirements

1. Broadcast signs shall be installed and removed by the applicant
2. Broadcast signs shall be installed 28 days before the Planning Commission hearing
3. Broadcast signs shall remain in place until the Board of Supervisors has made a decision on the case
4. Broadcast signs shall be removed no later than 30 days after the Board of Supervisors has made a decision on the case
5. Broadcast signs shall be placed adjacent to each road that borders the property, or as determined by the Planning Manager
6. Broadcast signs can contain more than one case
7. Regular signs, if needed, will be posted by County staff
8. Text on the sign shall meet the specifications shown on page 2 of this document 9. Broadcast sign specifications:
  - a. 4 Feet Tall by 8 Feet Wide
  - b. Top of the sign shall be 6 feet above the ground
  - c. Laminated plywood or MDO board
  - d. Attached to 2 – 4" by 4" wooden poles
  - e. All surfaces, including edges shall be painted Yellow
  - f. Black letters shall be used and shall be sized per the specifications shown below
9. Pinal County staff will place information about Planning Commission and Board of Supervisor hearings on the Broadcast sign in the designated area

**LETTER SIZES: ALL LETTERS UPPER AND LOWER CASE UNLESS SPECIFIED**

<p><b>5" BOLD CAPITAL LETTERS</b></p> <p><b>5" Bold Italic Letters</b></p>	
<p>2" Letters</p> <p>2" Letters</p> <p>2" Letters</p> <p>2" Letters</p> <p>3" Letters</p> <p>3" Letters</p>	<p>3" Letters</p> <div style="border: 1px solid black; width: 80px; height: 60px; margin: 10px auto; text-align: center; line-height: 60px;">1" Letters</div> <p>2" Letters</p> <p>2" Letters</p>

---

\*Submit Entire Application Together. \*\*All Applications Must Be Typed or Written in Ink. \*\*\*Reserve all questions to one assigned planner.

**ZONING AND PLANNED AREA DEVELOPMENT CASES:  
(4 Feet Tall by 8 Feet Wide)**

**PINAL COUNTY  
*Public Hearings***

Case Number:  
Existing Zoning:  
Proposed Zoning:  
Acreage:

Applicant Name:  
Applicant Phone Number:

**Public Hearing  
Information**

Hearing  
Info  
Posted by  
Pinal  
County

Case Information Available at Pinal County Planning and Development Services  
(520)866 -6442

**SPECIAL USE PERMIT AND INDUSTRIAL USE PERMIT CASES  
(4 Feet Tall by 8 Feet Wide)**

**PINAL COUNTY  
*Public Hearings***

Case Number:  
Existing Zoning:  
Proposed SUP/IUP Use:  
Acreage:

Applicant Name:  
Applicant Phone Number:

**Public Hearing  
Information**

Hearing  
Info  
Posted by  
Pinal  
County

Case Information Available at Pinal County Planning and Development Services  
(520)866 -6442

## Exhibit 1: 1200' Notification List

NAME	ADDRESS	CITY	STATE	ZIP1	ZIP2
REDD RANDY & MARYLYNN N LIV TRUST	52 W RED FERN RD	QUEEN CREEK	AZ	85140	0823
HODGESON KEN & MIMI	7641 W CONGRESSIONAL WAY	FLORENCE	AZ	85132	0666
COREY FRED C & BERNEICE E TRS	824 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
DIXON CHARLES & PEGGY LIV TRUST	922 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
ROPER NANCEE FAM LIV TRUST	794 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
VALENZUELA RICHARD & TERRY LYNN	847 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
HUSAR ANASTASIA & SHARP CALEB	1295 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
MARTINEZ RIGOBERTO CHAVEZ	1373 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
BRYNGELSON MEGAN & CHRISTOPHER	1413 KELSI AVE E	SAN TAN VALLEY	AZ	85140	0443
JONES GREGG A & BAYLIE M	1310 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0443
MONTES VICTORIA	1451 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
NAVAS TIMOTHY S & LAURA A TRS	1109 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
PAGNOTTA CORY M	1122 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
SHELTON JOHNATHAN MICHAEL	964 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
WALSH KENNETH & GASTELUM SOPHIE	950 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CORP OF PRESIDING BISHOP OF CHURCH OF JESUS CHRIST LATTER D	50 E NORTH TEMPLE FL 22	SALT LAKE CITY	UT	84150	0002
CALVO TATE	609 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
LEVERENCE AVA	630 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
METZLER HARRY & RAVAN MARTHA	627 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
SCHANER NATHAN & SHANNON	652 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
SALTER STEVEN W & ANNE TRS	545 7TH ST SW	DYERSVILLE	IA	52040	0154
BAKER JUNIUS RAND & KAREN	924 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
BIRD DONALD M & SANDRA KATHLEEN	1033 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
CAMPBELL JUDITH	920 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
CHRISTENSEN MICHELLE & TYLER	906 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
CHRZANOWSKI JACOB & CORA	976 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CLIFFORD CRAIG C & AMY K	1045 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
COLBOURN KATHLEEN M	896 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CRANDELL SHARLEE M	1111 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
CUESTAS CRUZ E CARO	889 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
DOWSWELL CHARLES & HOLLAND	967 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
ELLIS DESHAUN L	1167 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
FARNSWORTH BRIAN J & CASSANDRA M	961 E KELSI AVE	QUEEN CREEK	AZ	85140	0410
FEAMAN KELSEY	973 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
FRASER RICHARD H JR & SONIA	1056 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
FUZY ROBYN & JOSHUA	1010 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
GRIFFIN CHARLES L & FLOWERS DAWNETTA	901 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
GUERRERO RENE & GARCIA CARLA	934 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
HAUPIN WANDA K	1082 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
HENDRICKS DREW & JORDYN	1019 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
HUFFMAN DAVID A	880 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
KESSINGER ROCIEL & LEONARD	1187 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
KOK FOONG CHUN	1134 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
LANGEN MICHAEL & CASEY YAKES	946 E LESLIE AVE	QUEEN CREEK	AZ	85140	0410

LANGOWSKI JOSHUA J	1085 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
LEE KYLER BOYCE & MARIANNE	993 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
MACIAS MIGUEL & DIANE M	1039 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
MAHONY KELLY D	947 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
MANSKER KRISTA	1148 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
MARSALA JOSEPH & LORI TRUST	894 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
MCCLARY GRAYSON	873 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
MEZA D ANN L	972 E LESLIE AVE	QUEEN CREEK	AZ	85140	0410
MILLER PAUL J	1125 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
PACHEK DONNA JEAN	853 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
PENN DEBORAH A	1059 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
RAMEY KECHIRA	1094 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
RICHARD JASON	1083 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
SCHULTZ RHANE B	881 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
SCROGHAM JOHN P & SHAWNA	985 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
SHORT MAX E & CAROL A	907 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
STONE JOSEPH MATT	984 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
STOUT ARIES Z & EVA ANN	895 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
VEJAR ELIZABETH ANN	1007 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
WALL STEPHANIE L	915 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
WAYMAN DIANNA L	910 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CARSON JONATHAN L	1043 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	0415
REEVES JAIME & HEATHER	775 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0415
RUMAGE MICHAEL L & FREGOSO ISABELLA	1125 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	0415
STRID SHARI L	1083 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	0415
BALLENTINE ANDREW	37852 N BEVERLY AVE	SAN TAN VALLEY	AZ	85140	0418
YOUNG PATRICK	37975 N CAROLINA AVE	SAN TAN VALLEY	AZ	85140	0418
CASTANEDA NOEMI	37646 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
EAKINS JASON	37622 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
FLORES LINA TRUST	37730 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
HENDERSON NOHEMI	37742 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
KORECKY BRIAN & ASHLI	37780 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
LANCASTER DAVID M	37990 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
LAVALLE JAMES & DANYEL	37816 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
RODRIGUEZ PEDRO SANDOVAL & AGUAYO MARIA D	37634 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
SCHNEPF TREVOR D & KATHRYN A	37682 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
SEWELL DOUGLAS J & JACKIE M	37976 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
SKELTON CHAD	37948 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
WARD MICHAEL S	37670 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
ZACCARO MATTHEW & HEATHER	37864 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
CARMAN TERRY & SHANNON	1325 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
DICKERSON MICHAEL	37817 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
DYER BELYEVE JACQULYN	1385 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
GOLLIHUR MONICA L	1311 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
HORNER RYAN & PAMELA JEAN	1339 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
IMPRIANO MARCELLA M	37673 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
KITTLESON ELAINE R	1399 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
MODEROW KYLE	1353 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
MORAN FRANCISCO J & ERIKA L	37685 N DENA DR	SAN TAN VALLEY	AZ	85140	0442

MORENO JUANA MARIA & CIRIO ALBERTO	37623 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
SHEFFIELD KEVIN C	37803 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
VERDIEU JIMY	37661 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
ARNOLD BOUSHON D & WISCOVITCH TIFFANY	1293 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
BOWER MATTHEW & STEPHANIE	1377 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
CALLISON MICHAEL D & ASHLEY	1316 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
CASH ELIZABETH ANN & LONDON ROBERT	1378 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
CLOUSE JAMES AP & BRITANI JP	1444 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
DAWSON VIVIAN & THOMAS	1268 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
DIXON YEM TRACY	1408 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
EAKINS SAMUEL D	1279 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
FONSECA EDUARDO	1420 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
FREYERMUTH ALEXANDER P	1256 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0443
GILBERTSON KELSEY	1353 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
HAWKINS STACY	1396 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
HOLLOMAN SARA	1432 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
HUTCHISON TRAVIS & MAYRA	1304 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
KINDRED ANISSA	1389 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
KOLB GARRETT & LAURA	1366 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
LAMONICA DAWN M & MATTHEW J	1292 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
LE ANELLI NEIL J & CALLA C	1365 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MAJOR DIANE KATHLEEN	1281 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MALONEY AMANDA L	1315 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
MARRIOTT SEBASTIAN VLEIT & KELSEY	1419 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MCKENZIE CHRISTOPHER R & KASSIDY B	1384 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
MERRELL JOHN & VICTORIA	1414 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MORAZAN MAGDAELENA	1339 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
MORENO CARLOS	1316 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
PARENT DONNA	1327 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
REDDING CLINT	1291 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
RESTADIUS DANIELLE A	1354 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
ROSENGARTEN LORIANNE & ELLIOT	1304 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
STEPHENSON RONALD W	1377 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
TIZNADO VICTOR V & THITIPORN	1324 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0443
TRINIDAD ANNA MICHELE & MATTHEW	1328 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
VILLALVAZO MAXIMILIANO & ELIZABETH	1340 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
WILHITE WALTER	1317 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
BAEZA MARIA GUADALUPE	1357 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
BENENTI LAWRENCE J & PREISS TANISHA C	1425 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
BETHEL RICHARD D	1304 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
CARTER KEVIN L	1271 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
CELAYA MIGUEL A TR	1328 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
COLORADO DOMINIC G	1347 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
COOK MICHAEL	1354 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
DALY NANCY I	1319 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ESPER GREGORY L	1307 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ESPOSITO JENNIFER	1369 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
FAUR VERONICA	1346 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
FESTA KIRA & MICHAEL S	1381 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
FIELDS SHIRLEY BIA	1292 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444

GARCIA ALBERTO W	1304 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
GONZALEZ MICHAEL ANDREW	1386 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
GUERINO AUSTIN JAMES	1318 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
JOHNSON MICHELLE	1487 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
LEHRKE DEBRA A	1331 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
LERMA LETICIA	1459 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
OHLSEN ADRIANA	1343 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ROCHE BRYCE & KARINA	1413 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ROSELL MATTHEW	1283 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
SHREEVE CHRISTOPHER & MICHELLE	1390 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
SORIANO-CHOA SALVADOR	1316 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
TOWNLEY CAROL A REV TRUST	1280 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
CS PROPERTIES ARIZONA 1 LLC	5320 MORNING SAGE WAY	SAN DIEGO	CA	92130	0504
GOERTZ JAMES ISAAC & CATHY MAE	1171 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
HORPEDAHL TIMOTHY & TERRI	1239 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0514
LYNCH RICHARD C & AUDREY L TRS	1153 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
MCCORMICK SHAWN T & SHARON R V TRS	1133 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
MILLER DAMON G LIV TRUST	1283 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
O'CONNELL JAMES R & NADINE L	1207 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0514
BARNES JAMES ALLEN	1260 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
BISHOP RICHARD & MARY ELLEN	1224 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
BORN KARL J & CYNTHIA E TRS	1240 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
CANNON DWIGHT LIN & DIANA LYNN TRS	1265 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0515
CAREY RONALD E & CAROL A TRS	1249 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0515
COBET CLIFFORD D & CATHERINE M TRS	1308 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
CULBERSON WILLIAM C & JENNIFER S REV TRUST	1392 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
EGGENBERGER TANNER DREW & RONDI RENEE	1285 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0515
FRIERDICH WILLIAM W & JOANNE R TRS	1364 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
GAWRYCH CHRISTINE	1342 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
HAYNES LESTER E TRS	1378 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
IMPSON STUART K & PATRICIA A	1326 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
JACKSON JAMES & SUSAN A	1174 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
OSULLIVAN GERALD F & MARY A	1221 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0515
STANIK JOSEPH R & CYNTHIA J	1235 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0515
WALLACE WILLIAM ALVIN & MIYAKO TOMINAGA	1192 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
CONCANNON MARGARET A	1290 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
CONDELLA SAMUEL L & CAROL	1463 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
DECKER EDWARD G & LESLI A CO-TRS	1351 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
FEINGOLD EDWARD D & ROBERTA L TRS	1407 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
FRANCE DAVID	1367 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
FULLER STEVEN J	1335 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
HARRIS GERALD W & MARILYN L LIV TRUST	1356 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
HENRY DARLA M	1449 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
HILLIS DAVID LYNDE	1240 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
KINTSCHER GEORGE THOMAS	1416 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
MCCARTHY RETTA	1435 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
MCDERMID JAMES MARSHALL & LAURA ELLEN E CO-TRS	1320 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
MOHRWEIS WILLIAM	1274 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
OLIVIERI JOHN C & KATHLEEN M REV TRUST	1442 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516



PETERS JAMEY & GAYLE	1258 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
THOMPSON DENNIS E & KAREN S TRS	1338 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
WHITE MELISSA JOY TRS	1306 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
BLONSKI KARL	1508 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
ENGELSEN GERALD K & SUSAN K	1460 E VESPER TRL	QUEEN CREEK	AZ	85140	0517
HORN JONI M LIVING TRUST	1453 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
LEWIS PHILIP D & LUANA I TRS	1428 E VESPER TRL	QUEEN CREEK	AZ	85140	0517
MEYER ROBERT W	1524 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
NEIMAN JOHN R & MARIA A TRS	1485 E VESPER TRL	QUEEN CREEK	AZ	85140	0517
RYBSKI MICHAEL J	1444 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
SOMMERS MARIAN B	1476 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
BRODOCK MICHAEL & CINDY	37285 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
CUNNINGHAM MICHAEL ALEXANDER & MARGARET LOUISE TRS	37371 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
LEVERENZ SHARON L TR	37357 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
OLIVER JEAN S TRUST	37317 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
OLSON JOSEPH F & LINDA B TRS	37301 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
PRUESS ALAN J & SHERRY L TRS	37431 N WILD BARLEY PATH	QUEEN CREEK	AZ	85140	0524
THOMASON J VERNON & PAT TRS	37269 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
ARD JON & GEORGIA LIVING TRUST	821 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
BABBITT DOREEN K	778 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
BLANKENSHIP JANICE ALISON	742 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
BLESSING DAVID W & DEBRA R	790 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
BRADLEY DAVEN A & TRUDY T	853 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
CRAIG JUDI A	774 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
DEBNAR KATHLEEN M SURVIVING TR	820 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
DONOFRIO JOHN P & MARYANN	907 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
FOLEY MARJORIE TRUST	884 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
FOX DAVID	917 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
FULMER JASON	901 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
HERLAND SHARON	870 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
HUEY CAROL A TRUST	898 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
JETT MICHAEL A & LAURA D	836 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
KLOEHR CLAYTON J & ELIZABETH	804 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
KORTH DEBORAH L	760 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
KURTZMAN BONNIE ANN DECLARATION OF TR	775 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
MARSH PAMELA D TRUST	854 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
MOLDOVEANU DELIA	935 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
MONCRIEF LAURA LEE	762 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
PIERCE DANIEL MONROE & JANE LYNN TRS	932 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
SCHILLING MARK & RITA JO TRS	783 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
SMITH MIKEL J & JO K TRS	801 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
STOWELL PHILIP W & SUSAN M CO-TRS	929 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
WOLOWNIK BARBARA A	805 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
WOODARD REBECCA ALICIA	916 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
BIGGERS CALVIN D & VEETA S	872 E HARMONY WAY	QUEEN CREEK	AZ	85140	0526
FRENCH MICHAEL A & JEAN A	828 E HARMONY WAY	SAN TAN VALLEY	AZ	85140	0526
SCHADE CAROL G TRUST	890 E HARMONY WAY	QUEEN CREEK	AZ	85140	0526
TRAUT WILLIAM J & JANE G TRS	810 E HARMONY WAY	SAN TAN VALLEY	AZ	85140	0526
MARTINEZ CARLOS MANUEL & DIANA ROSTRAN	919 E CHELSEA DR	SAN TAN VALLEY	AZ	85140	0565

OFFIN DALE & PATRICIA TRS	9413 TURNSTONE LN	BLAINE	WA	98230	0640
CARRASCO KADE & CASSIDY	37675 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
CORDOVA ADRIANNE LOUISE	37699 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
FERGUSON KIRK	37647 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
LUNDGREN KEVIN & HILARY	37617 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
MOULE KYLE R & RAQUEL A	37761 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
SAVARIMUTHU AROCKIAMARY	37713 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
SOUTH-PROWELL NICHOLAS & VANESSA	37727 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
STENSRUD DIRK ANDREW & KELSEY ANN	37741 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
BARKER JASON	647 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
DEGROFF NICOLE & RYAN	628 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
GARCIA CLARISA & CHRISTIAN	642 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
HENRY RICKY & BROOK	655 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
LORENZO ALYSSON	645 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
MARKEE ZACHARY	612 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
MEDINA JUSTIN & MARTIN SIERRA	624 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
PASSWATERS ADAM	623 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
SOKOLSKU EMMA FAY	610 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
REED'S RENTAL PROPERTIES LLC	39749 N CREEKSIDE RD	SAN TAN VALLEY	AZ	85140	0813
KRANTZMAN CAMERON & RONNA	5164 E PREAKNESS DR	SAN TAN VALLEY	AZ	85140	0913
J O COMBS ELEMENTARY SCHOOL DIST 44	43389 N KENWORTHY RD	SAN TAN VALLEY	AZ	85140	0989
LITTLETON MARK G	717 BEACON AVE	YAKIMA	WA	98901	1157
LEVISON JEFF & DIANE	857 DREAMY DRAW	SHOW LOW	AZ	85901	1402
OLYMPUS BORROWER 1 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
OLYMPUS BORROWER LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
P2 SUB REIT 1 BORROWER LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS PHOENIX LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS RESIDENTIAL BORROWER 13 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS RESIDENTIAL BORROWER 3 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS RESIDENTIAL BORROWER 6 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
2018-3 IH BORROWER LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
CSH PROPERTY ONE LLC	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
IH5 PROPERTY PHOENIX LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
IH6 PROPERTY PHOENIX LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
SWH 2017-1 BORROWER LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
RS XII NM PHOENIX OWNER 1 LP	717 N HARWOOD ST STE 2800	DALLAS	TX	75201	1652
SZAKOLCZAY BARRY J & CECELIA	PO BOX 7433	SPRINGFIELD	OH	45501	1743
LONG DAVID A & DEBBRA M	11007 STATE HIGHWAY 789	RIVERTON	WY	82501	1880
MUHLFELDER DAN	80436 INVERNESS CT	INDIO	CA	92201	1892
BOWSHER DEBORAH K	7824 DUSTIN RD	GALENA	OH	43021	1976
ENCANTERRA COMMUNITY ASSOCIATION	1600 W BROADWAY RD STE 200	TEMPE	AZ	85282	2113
PECAN CREEK SOUTH HOA	1600 W BROADWAY RD STE 200	TEMPE	AZ	85282	2113
ZWINGMANN WOLFGANG & MARGA REV LIV TRUST	14121 CASWOOD ST	WHITTIER	CA	90602	2261
KHASNIS SAMEER C & JOSHI AARTI S TRS	1212 SIERRA VILLAGE WAY	SAN JOSE	CA	95132	2277
PINAL COUNTY	PO BOX 827	FLORENCE	AZ	85132	2301
GOULD HOWARD N & SHERYL L TRS	20438 E SUNSET CT	QUEEN CREEK	AZ	85142	2331
AH4R PROPERTIES TWO LLC	23975 PARK SORRENTO STE 300	CALABASAS	CA	91302	2401
ABEL LISA J DISCLAIMER TRUST	4214 W LAKE SAMMAMISH PKWY NE UNIT 210	REDMOND	WA	98052	2566
JONES RICHARD EUGENE & JANIS LYN TRS	21301 TARRACO	MISSION VIEJO	CA	92692	2592

1151ELESIECIR LLC	21509 E PUMMELOS RD	QUEEN CREEK	AZ	85142	2642
NORDHUES ELAINE D	20940 E MEWES RD	QUEEN CREEK	AZ	85142	2726
37789 DENA LLC	22831 S 195TH PL	QUEEN CREEK	AZ	85142	2827
HAYS FAMILY TRUST	22282 S 226TH PL	QUEEN CREEK	AZ	85142	2905
TOWN OF QUEEN CREEK	22350 S ELLSWORTH RD	QUEEN CREEK	AZ	85142	2931
CATTO KATRINA	17 W VERNON AVE UNIT 417	PHOENIX	AZ	85003	3000
JENSON STEVEN K & CYNTHIA S	611 25TH AVE NW	MINOT	ND	58703	3073
DEVRIES LYLE	4004 E 7TH ST	SIOUX FALLS	SD	57103	3111
BERGSTROM ERIK	8012 W LONG DR UNIT 324	LITTLETON	CO	80123	3125
JENKINS KYLE & ELIZABETH	2517 E LAUREL ST	MESA	AZ	85213	3237
STEWK5, LLC	3077 E DESERT MOON TRL	SAN TAN VALLEY	AZ	85143	3334
1257 E KELSI AVE LLC	2023 E REDFIELD RD	TEMPE	AZ	85283	3338
HEDLUND MICHAEL DALE	49103 872ND RD	ONEILL	NE	68763	3400
CHAPPELL HUBERT & BEVERLEY 2001 TRUST	3051 W CANYON AVE	SAN DIEGO	CA	92123	3542
PECAN COVE HOMEOWNERS ASSOCIATION	42 S HAMILTON PL STE 101	GILBERT	AZ	85233	3551
BURNS CARYN C TRUST	3 WINDY HILL LN	LAGUNA HILLS	CA	92653	3607
BLANKENSHIP ALAN M LIV TRUST	1344 FEATHERSTONE CT	HASTINGS	MN	55033	3917
RERUCHA RUSSELL & KIMBERLY LIV TRUST	156 PONDEROSA CT	GRAND ISLAND	NE	68803	3963
BELCZYK RONALD A & MARIA LUZ	PO BOX 7040	SURPRISE	AZ	85374	4010
LPF BLVD PHOENIX LLC	1887 WHITNEY MESA DR, # 3380	HENDERSON	NV	89014	4206
BOWMAN ROBERT C & JOANN L TRS	1009 E HARVARD AVE	GILBERT	AZ	85234	4352
37718 N SANDY DRIVE LLC	2204 MARITIME WAY	RICHMOND	CA	94804	4422
LEMBKE MARK L & LINDA K	3434 28TH ST S UNIT 133	FARGO	ND	58104	4491
VAN TUINEN KENNETH J & JEAN E REVOCABLE LIVING TRUST	244 TIMBERLAKE DR W	HOLLAND	MI	49424	4531
PILLAR RANDALL & CONNIE TRUST	13838 GOODHUE ST NE	ANDOVER	MN	55304	4685
SCOTT RICHARD E & LEIGH ANN	40 PAIGE PL	BLOOMINGTON	IL	61704	4827
SFR JV-2 PROPERTY LLC	PO BOX 15087	SANTA ANA	CA	92735	5008
FINCO INVESTMENTS LLC	PO BOX 1636	EAGAR	AZ	85925	5053
THE JOURNEY & CO LLC	PO BOX 1636	EAGAR	AZ	85925	5163
DEHAVEN THOMAS E TRUST	PO BOX 32247	MESA	AZ	85275	5224
BREEDEN JOHN W & BETTY F	3728 E HARRISON ST	GILBERT	AZ	85295	5466
CHING ADAM	3729 E HARRISON ST	GILBERT	AZ	85295	5467
TAH 2018-1 BORROWER LLC	1508 BROOKHOLLOW DR	SANTA ANA	CA	92705	5543
MCINNES JEFFREY D & VIO-ALEEN D TRS	16485 6TH ST SE	HILLSBORO	ND	58045	5924
SCHNOOR BRIAN L & LYNETTE L	PO BOX 596	PARKSTON	SD	57366	6059
ARMM ASSET COMPANY 1 LLC	5001 PLAZA ON THE LK STE 200	AUSTIN	TX	78746	6105
BTR SCATTERED SITE OWNER 2 LLC	5001 PLAZA ON THE LK STE 200	AUSTIN	TX	78746	6105
SAFARI ONE ASSET COMPANY LLC	5001 PLAZA ON THE LK STE 200	AUSTIN	TX	78746	6105
PN COOPER 1 LLC	1876 E BROWNING PL	CHANDLER	AZ	85286	6141
PN COOPER 2 LLC	1876 E BROWNING PL	CHANDLER	AZ	85286	6141
MCH SFR PROPERTY OWNER 2 LLC	14355 COMMERCE WAY	MIAMI LAKES	FL	33016	6150
BIAN LIN & CHEN SHELLY TRS	4539 W TYSON ST	CHANDLER	AZ	85226	6290
PINTO STEVEN	2 COMMERCE DR STE 301	CRANFORD	NJ	7016	6350
HUDSON SFR PROPERTY HOLDINGS II LLC	4849 GREENVILLE AVE	DALLAS	TX	75206	6413
HUDSON SFR PROPERTY HOLDINGS III LLC	4849 GREENVILLE AVE	DALLAS	TX	75206	6413
LOREN FICK FARMS	989 124TH AVE	LUVERNE	MN	56156	6413
AZOLINO CHANNING & PERRY RICHARD LANCE REV LIVING TRUST	9 CROSS BRIDGE PL	DANVILLE	CA	94526	6436
COPPER HELIX GROUP LLC	7897 SHAGGY MOUNTAIN RD	HERRIMAN	UT	84096	6446
CARITO RALPH J JR	2630 JOHNSON FRK	SALEM	WV	26426	6513

PREMIER MEDICAL PROPERTIES LLC	6116 E ARBOR AVE STE 108	MESA	AZ	85206	6610
SFR II BORROWER 2021-3 LLC	120 S RIVERSIDE PLZ STE 2000	CHICAGO	IL	60606	6699
DICKERSON TIMOTHY D & KARI D	1844 NORTHSORE DR	BELLINGHAM	WA	98226	6781
BRAY MARTHA J, BRAY TYLER J & STEPHANIE	3217 EAGLERIDGE WAY	BELLINGHAM	WA	98226	6782
COLE CURTIS R & LUCIENNE J	16735 HANDICAP LN SE	WARDEN	WA	98857	7770
CERBERUS SFR HOLDINGS III LP	1850 PARKWAY PL SE STE 900	MARIETTA	GA	30067	7826
FKH SFR PROPCO H LP	1850 PARKWAY PL SE STE 900	MARIETTA	GA	30067	7826
APPEGATE JERRY L LIV TRUST	5112 B AVENUE PL	KEARNEY	NE	68847	7856
MAHOWALD TIMOTHY ISIDOR TRS	1636 N 106TH ST	MESA	AZ	85207	7979
FJJ PROPERTIES LLC	1151 E RELIANT ST	GILBERT	AZ	85298	8062
THE CLUB AT ENCANTERRA LLC	8800 N GAINIEY CENTER DR STE 370	SCOTTSDALE	AZ	85258	8212
DELK MARIA J & KEVIN E TRS	4381 CANTON CT	WEBSTER	MN	55088	8244
USCMF SN ARIZONA A LLC	8390 E VIA DE VENTURA STE F-110	SCOTTSDALE	AZ	85258	8318
DE CARLO LOUIS R & PEGGY C FAM TRUST	6733 S SENECA WAY	GILBERT	AZ	85298	8407
37962 N SANDY DR LLC	37962 N SANDY DR	SAN TAN VALLEY	AZ	85140	8514
BERG HOLLI O & RONALD W	1016 E KELSI AVE	SAN TAN VALLEY	AZ	85140	8514
BOREN MARK ANDREW & KIMBERLY ANN TRS	1097 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	8514
BROWN T R TRUST	1328 E PRYOR RD	SAN TAN VALLEY	AZ	85140	8514
CUSACK CHARLES R JR	37363 N GARY RD 3033	QUEEN CREEK	AZ	85142	8514
ESPINOZA CINDY RENEE & ESPINOZA-GOMEZ JOSE C	37851 N RUSTY LN	SAN TAN VALLEY	AZ	85140	8514
FARAG TONY S	640 E VAIL LN	SAN TAN VALLEY	AZ	85140	8514
GISSEL JOSHUA M & JAMI M	1471 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	8514
GUEVARA MARIO E	1015 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	8514
HUNN ANTHONY & KRISTA J	37885 N RUSTY LN	SAN TAN VALLEY	AZ	85140	8514
KELSI AVENUE LLC	4501 W HUNTER TRL	QUEEN CREEK	AZ	85142	8514
MOTE MICHAEL CHARLES & LINDA HOPE CO-TRS	990 E KELSI AVE	SAN TAN VALLEY	AZ	85140	8514
PENNRD CAPITAL LLC	22504 S 198TH CIR	QUEEN CREEK	AZ	85142	8514
RAUCH BRUCE K & MONICA J	1423 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	8514
REIDHEAD STYLES SHAWN & CHELSEA CO-TRS	19744 E EMPORER BLVD	QUEEN CREEK	AZ	85142	8514
RODRIGUEZ JONATHAN	37610 N SANDY DR	SAN TAN VALLEY	AZ	85140	8514
SCHAFER JEFFREY	1387 E RYAN RD	SAN TAN VALLEY	AZ	85140	8514
VALENCIA-VALENZUELA OCTAVIO	1284 E KELSI AVE	SAN TAN VALLEY	AZ	85140	8514
AZ SQUARE 1B LLC	1437 DENVER AVE STE 210	LOVELAND	CO	80538	8522
DESERT SAGE MANAGEMENT LLC	6617 NORTH SCOTTSDALE RD STE 101	SCOTTSDALE	AZ	85250	8525
HALL BRUCE A	29006 71ST AVE E	GRAHAM	WA	98338	8652
QUEEN CREEK SENIOR LIVING LLC	3001 RANCH ROAD 620 S, STE 324	AUSTIN	TX	78738	8714
ZURBRIGGEN KAREN	701 W BYRD DR	FARMINGTON	NM	87401	8740
BROOKS ANTHONY J	4072 E MOUNTAIN VISTA DR	PHOENIX	AZ	85048	8749
HUNT STEVEN R & LOIS	4255 NE NORTH SHORE RD	BELFAIR	WA	98528	8970
ENCANTERRA CLUB HOLDINGS LLC	655 BREA CANYON RD	WALNUT	CA	91789	9307
WILKENING GRETA TRUST	200 BELLEVUE PKWY STE 150	WILMINGTON	DE	19809	9372
1413 E LESLIE AVE LLC	1413 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
ADDEMAN V	1281 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
ALVARADO ETHAN	1319 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
ALLAN ALAN K	1412 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
ADCOCK CARL F & NELDA K	885 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
AIKEN JOANNE K	869 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
21 PALMS LLC	26424 S 165TH PL	QUEEN CREEK	AZ	85142	0752
ARMSTRONG BRIAN	1340 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444

KUHN RONALD A	54128 RANGE ROAD 212	FORT SASKATCHEWAN	AB	T8L 3Y9	CANADA
MCGOUGALL SCOTT	9161 21 ST SE	CALGARY	AB	T2C 3Z4	CANADA
NEULS GARRY	19 INDIGO CRED	MOOSE JAW	SK	S6J 1K4	CANADA
SLEDZ PETER R	3423 143RD AVE	EDMONTON	AB	TFY 1H7	CANADA
BOWLER RICK	398 ROBINSON RD RR #4	BRANTFORD	ON	N3R 0B8	CANADA
CLEMANS DAVID ALLAN & BARBARA ELAINE	88 DEERSAXON CIR SE	CALGARY	AB	T2C 3Z4	CANADA
HATTON GARWOOD & BARBARA	1904 RANDALL ST	SUMMERLAND	BC	VOH 1Z9	CANADA
JINHAI REAL ESTATE LLC	14 BLACK TERN CRES	KANATA	ON	K2M 2Z4	CANADA
KJENNER BRIAN & ALLYSON	5703 CAPILANO CRESCENT	EDMONTON	AB	T6A 3R6	CANADA
LAWTHER BRENTON & SHANNON	126 VALLEY RIDGE PT NW	CALGARY	AB	T3B 5R7	CANADA
MARTINEZ CRYSTAL CHARLENE	62 GLENCARRAIG	DUBLIN 13		D13 C9N3	IRELAND
SHERREN RONALD R & DOROTHY	3-25005 STURGEON RD	STURGEON COUNTY	AB	T8L 5E3	CANADA
SKULSKY DENNIS & MARLENE	2023 137A ST	SURREY	BC	V4A 9V7	CANADA
SMITH WILLIAM & MARY ANN	7714 102 STREET	GRANDE PRARIE	AB	T8W 1Y3	CANADA



I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing

Kristine Gay, RVi Planning	4900 N Scottsdale Rd, Suite 1200, Scottsdale, Arizona 85251
Name of Applicant	Address

<u>Kristine Gay</u>	kgay@rviplanning.com	480-994-0994
Signature of Applicant	E-Mail Address	Phone Number

N/A	
Name of Agent/Representative	Address

Signature of Agent/Representative	E-Mail Address	Phone Number

The Agent/Representative has the authority to act on behalf of the landowner/applicant, which includes agreeing to stipulations. The agent will be the contact person for Planning staff and must be present at all hearings. Please use attached Agency Authorization form, if applicable.

Queen Creek Senior Living LLC	3001 Ranch Road 620 S, Suite 324, Austine, TX 78738
Name of Landowner	Address

	tylere@investcor.com	702-204-2420
Signature of Landowner	E-Mail Address	Phone Number

If landowner is not the applicant, then applicant must submit a signed notarized consent form from the landowner with this application. Please use attached Consent to Permit form, if applicable.

When recorded return to:  
Clerk of the Board  
P.O. Box 827  
Florence AZ 85132

**ORDINANCE NO. 2022-PZ-PD-038-21**

AN ORDINANCE OF THE PINAL COUNTY, ARIZONA, BOARD OF SUPERVISORS APPROVING A PAD OVERLAY FOR CERTAIN PROPERTY LOCATED AT THE NORTH EAST CORNER OF COMBS ROAD AND ENCANTERRA DRIVE IN SAN TAN VALLEY (TAX PARCEL 104-22-683, FORMALLY A PORTION OF 104-22-008Y), PROVIDING FOR THE **ENCANTERRA SENIOR LIVING FACILITY PLANNED AREA DEVELOPMENT** OVERLAY FOR AN INDUSTRIAL BUFFER (CI-2) ZONING DISTRICT, IN CONNECTION WITH PINAL COUNTY COMMUNITY DEVELOPMENT DEPARTMENT CASE NO. **PZ-PD-038-21**; ESTABLISHING AN EFFECTIVE DATE; AND DIRECTING ITS PUBLICATION

WHEREAS, the Pinal County Board of Supervisors (“Board”) is authorized pursuant to Pinal County Development Services Code Chapter 2.176 to approve the **Encanterra Senior Living Facility Planned Area Development (PAD)** in order to conserve and promote the public health, safety, convenience and general welfare; and

WHEREAS, on January 25, 2022, the Pinal County Community Development Department (“Department”) received an application from Investcor Development, landowner, RVi Planning + Landscape Architecture, applicant of certain property located within Unincorporated Pinal County at the NEC of Combs Road and Encanterra Drive in San Tan Valley, Pinal County area (tax parcel 104-22-683 formally a portion of 104-22-008Y-Lot 3), legally described in the attached Exhibit A (the “Property”) for the Encanterra Senior Living Facility Planned Area Development Overlay (the “PAD”), (Case No. **PZ-PD-038-21**); and

WHEREAS, on March 17, 2022, the Pinal County Planning and Zoning Commission (“Commission”) held a public hearing on Case No. **PZ-PD-038-21**, giving no less than 15 day notice by publication in a newspaper of general circulation in the county seat and by duly posting the area included in the proposed Amendment; and

WHEREAS, following the public hearing, the Commission voted 9-0 in favor of forwarding a recommendation of approval to the Board with 18 Stipulations of Approval set forth in the attached Exhibit B (the “Stipulations”); and

NOW, THEREFORE, BE IT ORDAINED by the Pinal County Board of Supervisors as follows:

**Section 1:** An amendment to the PAD overlay shall be applied to the property legally described and depicted in the attached Exhibit A, and is hereby approved subject to 18 Stipulations of Approval set forth in the attached Exhibit B.

**Section 2:** This Ordinance shall take effect 30 days after the date of its adoption.

**Section 3:** This Ordinance shall be published at least once in a newspaper of general circulation in the County seat after its adoption.

PASSED AND ADOPTED THIS 18<sup>th</sup> DAY OF MAY, 2022, BY THE PINAL COUNTY BOARD OF SUPERVISORS.

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Chairman of the Board

ATTEST:

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Clerk/Deputy Clerk of the Board

APPROVED AS TO FORM:

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Deputy County Attorney

# **EXHIBIT A**

**PZ-038-21 & PZ-PD-038-21**

**Encanterra Senior Living Facility**

**LEGAL DESCRIPTION:**

PARCEL NO. 3, OF RECORD OF SURVEY MINOR LAND DIVISION, ACCORDING TO THE SURVEY OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA RECORDED IN DOCUMENT NO. 2018-023566 OF SURVEYS, AND BEING LOCATED IN A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

# Exhibit B

## Stipulations

### Encanterra Senior Living Facility (PZ-PD-038-21)

1. This zone change supersedes all stipulations under Case PD-054-00 & PZ-PZ-043-03;
2. The stipulations enumerated herein pertain to the area described in case PZ-038-21 & PZ-PD-038-21;
3. Approval of this PAD (PZ-PD-038-21) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals;
4. The Combs and Encanterra Senior Living Community Planned Area Development (PAD) Overlay District (PZ-PD-038-21) is to be developed as shown by the site plan/development plan dated January 18, 2022, along with the other supplementary documentation in accordance with the applicable criteria set forth in Chapter 2.176 of the Pinal County Development Services Code;
5. Approval of this Planned Area Development (PAD) Overlay District is contingent upon the Board of Supervisors zone change approval as set forth in Planning Case PZ-038-21;
6. Applicant/property owner shall separate the Senior Living Facility as its own parcel prior to site plan application approval;
7. The applicant/property owner shall place a minimum six-foot CMU wall between Senior Living Facility and a rural or residential zone and a minimum ten-foot landscape strip between the wall and any use in this zone, including parking. The landscape strip shall be planted with trees 30 feet on center and with mature trees next to any existing homes; Owner may use the existing CMU wall that may already be in place to count as a portion of required wall;
8. Applicant/property owner shall place a minimum six-foot "CMU" and/or "Wrought Iron" wall/fence facing the multi-family project and the property owned by the LDS Church to the north;
9. The applicant/property owner shall place an ADA compliant sidewalk to the whole length of the Encanterra Road, to end at the Senior living Facility to the north;
10. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;
11. A dust registration permit from the Pinal County Air Quality Control District shall be obtained prior to the disturbance of 0.1 acres or more;
12. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District;
13. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer's cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be in



accordance with the current Pinal County TIA Guidelines and Procedures and shall be approved prior to the Site Plan;

14. A drainage report will be required to be submitted to the County Engineer at the time of Final Plat submittal for review and approval. The drainage report shall comply with the current Pinal County Drainage Manual and shall be approved prior to the first Final Plat approval. The approved Drainage Plan shall provide retention for storm waters in a common retention area or as approved by the County Engineer;
15. There is an existing 55' half street public right-of-way along Combs Rd. Any additional right-of-way needed for any required infrastructure improvements (as identified in the approved Traffic Impact Analysis) for Combs Rd shall be the responsibility of the applicant. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County Engineer;
16. All right-of-way dedication shall be free and unencumbered;
17. Any roadway sections, alignments, access locations and access movements shown in the PAD are conceptual only and have not been approved by the Pinal County Engineer; and
18. The building/s on site shall not exceed one story and 36' feet in height for architectural embellishments.



# CITIZEN PARTICIPATION REPORT

Combs and Encanterra Senior Living II Rezoning  
An Amendment to PZ-038-21

Pinal County, AZ  
October 8, 2021



## Introduction

Every development application in Pinal County that requires a public hearing in shall be accompanied by a Citizen Participation Plan designed to provide effective, early, and continuous public participation. The following sections document the public outreach as it relates to the Combs and Encanterra Senior Living II Rezoning project.

## Notification Method

The applicant sent out notifications via first-class mail ten days prior (Postmarked September 6, 2021) to the scheduled date of the neighborhood meeting. Written notice was provided by the applicant to all persons listed on the records of the Pinal County Assessor as owners of land subject to the application or as owners of the parcels within 1,200 feet of the outer boundary of the land subject to the application. See **Exhibit 1: 1200' Notification List**, **Exhibit 2: 1200' Notification Map** and **Exhibit 3: Neighborhood Meeting Notification Letter**.

## Public Outreach

The developer associate for Investor by the name Tylere Brennan, on behalf of Mojave Sage Senior Living, held a public neighborhood meeting on Tuesday the 17<sup>th</sup> of September from 5-6 PM. The neighborhood meeting was held within 5-miles of the subject site at the JO Combs Middle School located at 37611 N Pecan Creek Dr. San Tan Valley, AZ 85140.

There was one attendant who lives across the street in Encanterra. The developer provided a summary of the proposal to the one attendant using exhibits that showed the approved site plan and proposed site plan. The one attendant stayed for approximately 45 minutes and asked several questions about the amenities for the building, dining program, and care levels. She was in full support of the project. Most of the conversation was the need for licensed assisted living and memory care in the Pinal County/Queen Creek area as more and more seniors are needing higher levels of care. She stated there are several adult children living in Encanterra looking to place their aging parents nearby and this would be a wonderful project to fulfill their needs.

Other discussions included the partnership between Encanterra's social committee to sponsor joint events with Mojave Sage to create a relationship between the residents of Encanterra and Mojave Sage. In all this was a positive and supportive resident who is excited to have the project built. There was also no objection to the height or location of the proposed building.

**Exhibit 4: Neighborhood Meeting Sign in Sheet** shows the attendee information.

## Neighborhood Meeting Minutes

Attendees from the applicant team included the developer associate for Investor by the name Tylere Brennan, on behalf of Mojave Sage Senior Living.

Attendees from the public included Mary Ann D'onofrio.

Tylere Brennan started the neighborhood meeting on Tuesday the 17<sup>th</sup> of September at 5:00 PM, at the JO Combs Middle School located at 37611 N Pecan Creek Dr. San Tan Valley, AZ 85140.

Mr. Brennan greeted Ms. D'onofrio and shared a summary of the proposed PAD amendment.

Ms. D'onofrio asked questions about the proposed amenities, the dining program, and care levels.

Mr. Brennan shared about the amenitized courtyards and additional open space that this proposed layout will provide. He also walked through the dining plans, and discussed how the proposed is Memory Care. As compared to Assisted Living, Memory Care provides patients with 24/7 support and assistance.

Ms. D'onofrio shared her support for the project and the need for licensed assisted living and memory care in Pinal County and Queen Creek, since more and more seniors are needing higher levels of care. She further shared that there are several adult children living in Encanterra looking to place their aging parents nearby and this would be a wonderful project to fulfill their needs.

Mr. Brennan further shared about the partnership between Encanterra's social committee to sponsor joint events with Mojave Sage to create a relationship between the residents of Encanterra and Mojave Sage.

Ms. D'onofrio shared no objection to the height or location of the proposed building.

At approximately 5:45, Mr. Brennan and Ms. D'Onofrio completed their conversation; thus concluding the neighborhood meeting.

## Exhibit 1: 1200' Notification List

NAME	ADDRESS	CITY	STATE	ZIP1	ZIP2
REDD RANDY & MARYLYNN N LIV TRUST	52 W RED FERN RD	QUEEN CREEK	AZ	85140	0823
HODGESON KEN & MIMI	7641 W CONGRESSIONAL WAY	FLORENCE	AZ	85132	0666
COREY FRED C & BERNEICE E TRS	824 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
DIXON CHARLES & PEGGY LIV TRUST	922 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
ROPER NANCEE FAM LIV TRUST	794 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
VALENZUELA RICHARD & TERRY LYNN	847 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
HUSAR ANASTASIA & SHARP CALEB	1295 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
MARTINEZ RIGOBERTO CHAVEZ	1373 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
BRYNGELSON MEGAN & CHRISTOPHER	1413 KELSI AVE E	SAN TAN VALLEY	AZ	85140	0443
JONES GREGG A & BAYLIE M	1310 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0443
MONTES VICTORIA	1451 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
NAVAS TIMOTHY S & LAURA A TRS	1109 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
PAGNOTTA CORY M	1122 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
SHELTON JOHNATHAN MICHAEL	964 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
WALSH KENNETH & GASTELUM SOPHIE	950 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CORP OF PRESIDING BISHOP OF CHURCH OF JESUS CHRIST LATTER D CALVO TATE	50 E NORTH TEMPLE FL 22	SALT LAKE CITY	UT	84150	0002
	609 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
LEVERENCE AVA	630 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
METZLER HARRY & RAVAN MARTHA	627 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
SCHANER NATHAN & SHANNON	652 E BAMBOO LN	SAN TAN VALLEY	AZ	85140	0121
SALTER STEVEN W & ANNE TRS	545 7TH ST SW	DYERSVILLE	IA	52040	0154
BAKER JUNIUS RAND & KAREN	924 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
BIRD DONALD M & SANDRA KATHLEEN	1033 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
CAMPBELL JUDITH	920 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
CHRISTENSEN MICHELLE & TYLER	906 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
CHRZANOWSKI JACOB & CORA	976 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CLIFFORD CRAIG C & AMY K	1045 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
COLBOURN KATHLEEN M	896 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CRANDELL SHARLEE M	1111 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
CUESTAS CRUZ E CARO	889 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
DOWSWELL CHARLES & HOLLAND	967 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
ELLIS DESHAUN L	1167 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
FARNSWORTH BRIAN J & CASSANDRA M	961 E KELSI AVE	QUEEN CREEK	AZ	85140	0410
FEAMAN KELSEY	973 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
FRASER RICHARD H JR & SONIA	1056 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
FUZY ROBYN & JOSHUA	1010 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
GRIFFIN CHARLES L & FLOWERS DAWNETTA	901 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
GUERRERO RENE & GARCIA CARLA	934 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
HAUPIN WANDA K	1082 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
HENDRICKS DREW & JORDYN	1019 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
HUFFMAN DAVID A	880 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
KESSINGER ROCIEL & LEONARD	1187 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
KOK FOONG CHUN	1134 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
LANGEN MICHAEL & CASEY YAKES	946 E LESLIE AVE	QUEEN CREEK	AZ	85140	0410



LANGOWSKI JOSHUA J	1085 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
LEE KYLER BOYCE & MARIANNE	993 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
MACIAS MIGUEL & DIANE M	1039 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
MAHONY KELLY D	947 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
MANSKER KRISTA	1148 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
MARSALA JOSEPH & LORI TRUST	894 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
MCCLARY GRAYSON	873 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
MEZA D ANN L	972 E LESLIE AVE	QUEEN CREEK	AZ	85140	0410
MILLER PAUL J	1125 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
PACHEK DONNA JEAN	853 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
PENN DEBORAH A	1059 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
RAMEY KECHIRA	1094 E LESLIE CIR	SAN TAN VALLEY	AZ	85140	0410
RICHARD JASON	1083 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
SCHULTZ RHANE B	881 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
SCROGHAM JOHN P & SHAWNA	985 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
SHORT MAX E & CAROL A	907 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
STONE JOSEPH MATT	984 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
STOUT ARIES Z & EVA ANN	895 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
VEJAR ELIZABETH ANN	1007 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
WALL STEPHANIE L	915 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0410
WAYMAN DIANNA L	910 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0410
CARSON JONATHAN L	1043 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	0415
REEVES JAIME & HEATHER	775 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0415
RUMAGE MICHAEL L & FREGOSO ISABELLA	1125 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	0415
STRID SHARI L	1083 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	0415
BALLENTINE ANDREW	37852 N BEVERLY AVE	SAN TAN VALLEY	AZ	85140	0418
YOUNG PATRICK	37975 N CAROLINA AVE	SAN TAN VALLEY	AZ	85140	0418
CASTANEDA NOEMI	37646 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
EAKINS JASON	37622 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
FLORES LINA TRUST	37730 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
HENDERSON NOHEMI	37742 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
KORECKY BRIAN & ASHLI	37780 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
LANCASTER DAVID M	37990 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
LAVALLE JAMES & DANYEL	37816 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
RODRIGUEZ PEDRO SANDOVAL & AGUAYO MARIA D	37634 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
SCHNEPF TREVOR D & KATHRYN A	37682 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
SEWELL DOUGLAS J & JACKIE M	37976 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
SKELTON CHAD	37948 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
WARD MICHAEL S	37670 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
ZACCARO MATTHEW & HEATHER	37864 N SANDY DR	SAN TAN VALLEY	AZ	85140	0440
CARMAN TERRY & SHANNON	1325 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
DICKERSON MICHAEL	37817 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
DYER BELYEVE JACQULYN	1385 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
GOLLIHUR MONICA L	1311 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
HORNER RYAN & PAMELA JEAN	1339 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
IMPRIANO MARCELLA M	37673 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
KITTLESON ELAINE R	1399 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
MODEROW KYLE	1353 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0442
MORAN FRANCISCO J & ERIKA L	37685 N DENA DR	SAN TAN VALLEY	AZ	85140	0442

MORENO JUANA MARIA & CIRIO ALBERTO	37623 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
SHEFFIELD KEVIN C	37803 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
VERDIEU JIMY	37661 N DENA DR	SAN TAN VALLEY	AZ	85140	0442
ARNOLD BOUSHON D & WISCOVITCH TIFFANY	1293 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
BOWER MATTHEW & STEPHANIE	1377 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
CALLISON MICHAEL D & ASHLEY	1316 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
CASH ELIZABETH ANN & LONDON ROBERT	1378 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
CLOUSE JAMES AP & BRITANI JP	1444 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
DAWSON VIVIAN & THOMAS	1268 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
DIXON YEM TRACY	1408 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
EAKINS SAMUEL D	1279 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
FONSECA EDUARDO	1420 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
FREYERMUTH ALEXANDER P	1256 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0443
GILBERTSON KELSEY	1353 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
HAWKINS STACY	1396 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
HOLLOMAN SARA	1432 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
HUTCHISON TRAVIS & MAYRA	1304 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
KINDRED ANISSA	1389 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
KOLB GARRETT & LAURA	1366 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
LAMONICA DAWN M & MATTHEW J	1292 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
LE ANELLI NEIL J & CALLA C	1365 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MAJOR DIANE KATHLEEN	1281 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MALONEY AMANDA L	1315 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
MARRIOTT SEBASTIAN VLEIT & KELSEY	1419 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MCKENZIE CHRISTOPHER R & KASSIDY B	1384 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
MERRELL JOHN & VICTORIA	1414 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
MORAZAN MAGDAELENA	1339 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
MORENO CARLOS	1316 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
PARENT DONNA	1327 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
REDDING CLINT	1291 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
RESTADIUS DANIELLE A	1354 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
ROSENGARTEN LORIANNE & ELLIOT	1304 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
STEPHENSON RONALD W	1377 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
TIZNADO VICTOR V & THITIPORN	1324 E KELSI AVE	SAN TAN VALLEY	AZ	85140	0443
TRINIDAD ANNA MICHELE & MATTHEW	1328 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
VILLALVAZO MAXIMILIANO & ELIZABETH	1340 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0443
WILHITE WALTER	1317 E PRYOR RD	SAN TAN VALLEY	AZ	85140	0443
BAEZA MARIA GUADALUPE	1357 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
BENENTI LAWRENCE J & PREISS TANISHA C	1425 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
BETHEL RICHARD D	1304 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
CARTER KEVIN L	1271 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
CELAYA MIGUEL A TR	1328 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
COLORADO DOMINIC G	1347 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
COOK MICHAEL	1354 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
DALY NANCY I	1319 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ESPER GREGORY L	1307 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ESPOSITO JENNIFER	1369 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
FAUR VERONICA	1346 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
FESTA KIRA & MICHAEL S	1381 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
FIELDS SHIRLEY BIA	1292 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444

GARCIA ALBERTO W	1304 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
GONZALEZ MICHAEL ANDREW	1386 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
GUERINO AUSTIN JAMES	1318 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
JOHNSON MICHELLE	1487 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
LEHRKE DEBRA A	1331 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
LERMA LETICIA	1459 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
OHLSEN ADRIANA	1343 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ROCHE BRYCE & KARINA	1413 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
ROSELL MATTHEW	1283 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
SHREEVE CHRISTOPHER & MICHELLE	1390 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
SORIANO-CHOA SALVADOR	1316 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
TOWNLEY CAROL A REV TRUST	1280 E ESTELLE LN	SAN TAN VALLEY	AZ	85140	0444
CS PROPERTIES ARIZONA 1 LLC	5320 MORNING SAGE WAY	SAN DIEGO	CA	92130	0504
GOERTZ JAMES ISAAC & CATHY MAE	1171 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
HORPEDAHL TIMOTHY & TERRI	1239 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0514
LYNCH RICHARD C & AUDREY L TRS	1153 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
MCCORMICK SHAWN T & SHARON R V TRS	1133 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
MILLER DAMON G LIV TRUST	1283 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0514
O'CONNELL JAMES R & NADINE L	1207 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0514
BARNES JAMES ALLEN	1260 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
BISHOP RICHARD & MARY ELLEN	1224 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
BORN KARL J & CYNTHIA E TRS	1240 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
CANNON DWIGHT LIN & DIANA LYNN TRS	1265 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0515
CAREY RONALD E & CAROL A TRS	1249 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0515
COBET CLIFFORD D & CATHERINE M TRS	1308 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
CULBERSON WILLIAM C & JENNIFER S REV TRUST	1392 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
EGGENBERGER TANNER DREW & RONDI RENEE	1285 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0515
FRIERDICH WILLIAM W & JOANNE R TRS	1364 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
GAWRYCH CHRISTINE	1342 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
HAYNES LESTER E TRS	1378 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
IMPSON STUART K & PATRICIA A	1326 E SWEET CITRUS DR	SAN TAN VALLEY	AZ	85140	0515
JACKSON JAMES & SUSAN A	1174 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
OSULLIVAN GERALD F & MARY A	1221 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0515
STANIK JOSEPH R & CYNTHIA J	1235 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0515
WALLACE WILLIAM ALVIN & MIYAKO TOMINAGA	1192 E SWEET CITRUS DR	QUEEN CREEK	AZ	85140	0515
CONCANNON MARGARET A	1290 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
CONDELLA SAMUEL L & CAROL	1463 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
DECKER EDWARD G & LESLI A CO-TRS	1351 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
FEINGOLD EDWARD D & ROBERTA L TRS	1407 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
FRANCE DAVID	1367 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
FULLER STEVEN J	1335 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
HARRIS GERALD W & MARILYN L LIV TRUST	1356 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
HENRY DARLA M	1449 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
HILLIS DAVID LYNDE	1240 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
KINTSCHER GEORGE THOMAS	1416 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
MCCARTHY RETTA	1435 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
MCDERMID JAMES MARSHALL & LAURA ELLEN E CO-TRS	1320 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
MOHRWEIS WILLIAM	1274 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
OLIVIERI JOHN C & KATHLEEN M REV TRUST	1442 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516

PETERS JAMEY & GAYLE	1258 E ARTEMIS TRL	SAN TAN VALLEY	AZ	85140	0516
THOMPSON DENNIS E & KAREN S TRS	1338 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
WHITE MELISSA JOY TRS	1306 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	0516
BLONSKI KARL	1508 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
ENGELSEN GERALD K & SUSAN K	1460 E VESPER TRL	QUEEN CREEK	AZ	85140	0517
HORN JONI M LIVING TRUST	1453 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
LEWIS PHILIP D & LUANA I TRS	1428 E VESPER TRL	QUEEN CREEK	AZ	85140	0517
MEYER ROBERT W	1524 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
NEIMAN JOHN R & MARIA A TRS	1485 E VESPER TRL	QUEEN CREEK	AZ	85140	0517
RYBSKI MICHAEL J	1444 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
SOMMERS MARIAN B	1476 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
BRODOCK MICHAEL & CINDY	37285 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
CUNNINGHAM MICHAEL ALEXANDER & MARGARET LOUISE TRS	37371 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
LEVERENZ SHARON L TR	37357 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
OLIVER JEAN S TRUST	37317 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
OLSON JOSEPH F & LINDA B TRS	37301 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
PRUESS ALAN J & SHERRY L TRS	37431 N WILD BARLEY PATH	QUEEN CREEK	AZ	85140	0524
THOMASON J VERNON & PAT TRS	37269 N WILD BARLEY PATH	SAN TAN VALLEY	AZ	85140	0524
ARD JON & GEORGIA LIVING TRUST	821 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
BABBITT DOREEN K	778 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
BLANKENSHIP JANICE ALISON	742 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
BLESSING DAVID W & DEBRA R	790 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
BRADLEY DAVEN A & TRUDY T	853 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
CRAIG JUDI A	774 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
DEBNAR KATHLEEN M SURVIVING TR	820 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
DONOFRIO JOHN P & MARYANN	907 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
FOLEY MARJORIE TRUST	884 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
FOX DAVID	917 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
FULMER JASON	901 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
HERLAND SHARON	870 E LADDOOS AVE	QUEEN CREEK	AZ	85140	0525
HUEY CAROL A TRUST	898 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
JETT MICHAEL A & LAURA D	836 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
KLOEHR CLAYTON J & ELIZABETH	804 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
KORTH DEBORAH L	760 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
KURTZMAN BONNIE ANN DECLARATION OF TR	775 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
MARSH PAMELA D TRUST	854 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
MOLDOVEANU DELIA	935 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
MONCRIEF LAURA LEE	762 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
PIERCE DANIEL MONROE & JANE LYNN TRS	932 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
SCHILLING MARK & RITA JO TRS	783 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
SMITH MIKEL J & JO K TRS	801 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
STOWELL PHILIP W & SUSAN M CO-TRS	929 E LADDOOS AVE	SAN TAN VALLEY	AZ	85140	0525
WOLOWNIK BARBARA A	805 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
WOODARD REBECCA ALICIA	916 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
BIGGERS CALVIN D & VEETA S	872 E HARMONY WAY	QUEEN CREEK	AZ	85140	0526
FRENCH MICHAEL A & JEAN A	828 E HARMONY WAY	SAN TAN VALLEY	AZ	85140	0526
SCHADE CAROL G TRUST	890 E HARMONY WAY	QUEEN CREEK	AZ	85140	0526
TRAUT WILLIAM J & JANE G TRS	810 E HARMONY WAY	SAN TAN VALLEY	AZ	85140	0526
MARTINEZ CARLOS MANUEL & DIANA ROSTRAN	919 E CHELSEA DR	SAN TAN VALLEY	AZ	85140	0565

OFFIN DALE & PATRICIA TRS	9413 TURNSTONE LN	BLAINE	WA	98230	0640
CARRASCO KADE & CASSIDY	37675 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
CORDOVA ADRIANNE LOUISE	37699 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
FERGUSON KIRK	37647 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
LUNDGREN KEVIN & HILARY	37617 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
MOULE KYLE R & RAQUEL A	37761 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
SAVARIMUTHU AROCKIAMARY	37713 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
SOUTH-PROWELL NICHOLAS & VANESSA	37727 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
STENSRUD DIRK ANDREW & KELSEY ANN	37741 N BENTGRASS RD	SAN TAN VALLEY	AZ	85140	0811
BARKER JASON	647 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
DEGROFF NICOLE & RYAN	628 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
GARCIA CLARISA & CHRISTIAN	642 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
HENRY RICKY & BROOK	655 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
LORENZO ALYSSON	645 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
MARKEE ZACHARY	612 E HAZELNUT LN	SAN TAN VALLEY	AZ	85140	0812
MEDINA JUSTIN & MARTIN SIERRA	624 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
PASSWATERS ADAM	623 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
SOKOLSKU EMMA FAY	610 E VAIL LN	SAN TAN VALLEY	AZ	85140	0812
REED'S RENTAL PROPERTIES LLC	39749 N CREEKSIDE RD	SAN TAN VALLEY	AZ	85140	0813
KRANTZMAN CAMERON & RONNA	5164 E PREAKNESS DR	SAN TAN VALLEY	AZ	85140	0913
J O COMBS ELEMENTARY SCHOOL DIST 44	43389 N KENWORTHY RD	SAN TAN VALLEY	AZ	85140	0989
LITTLETON MARK G	717 BEACON AVE	YAKIMA	WA	98901	1157
LEVISON JEFF & DIANE	857 DREAMY DRAW	SHOW LOW	AZ	85901	1402
OLYMPUS BORROWER 1 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
OLYMPUS BORROWER LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
P2 SUB REIT 1 BORROWER LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS PHOENIX LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS RESIDENTIAL BORROWER 13 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS RESIDENTIAL BORROWER 3 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
PROGRESS RESIDENTIAL BORROWER 6 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261	1409
2018-3 IH BORROWER LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
CSH PROPERTY ONE LLC	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
IH5 PROPERTY PHOENIX LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
IH6 PROPERTY PHOENIX LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
SWH 2017-1 BORROWER LP	PO BOX 4900	SCOTTSDALE	AZ	85261	1490
RS XII NM PHOENIX OWNER 1 LP	717 N HARWOOD ST STE 2800	DALLAS	TX	75201	1652
SZAKOLCZAY BARRY J & CECELIA	PO BOX 7433	SPRINGFIELD	OH	45501	1743
LONG DAVID A & DEBBRA M	11007 STATE HIGHWAY 789	RIVERTON	WY	82501	1880
MUHLFELDER DAN	80436 INVERNESS CT	INDIO	CA	92201	1892
BOWSHER DEBORAH K	7824 DUSTIN RD	GALENA	OH	43021	1976
ENCANTERRA COMMUNITY ASSOCIATION	1600 W BROADWAY RD STE 200	TEMPE	AZ	85282	2113
PECAN CREEK SOUTH HOA	1600 W BROADWAY RD STE 200	TEMPE	AZ	85282	2113
ZWINGMANN WOLFGANG & MARGA REV LIV TRUST	14121 CASWOOD ST	WHITTIER	CA	90602	2261
KHASNIS SAMEER C & JOSHI AARTI S TRS	1212 SIERRA VILLAGE WAY	SAN JOSE	CA	95132	2277
PINAL COUNTY	PO BOX 827	FLORENCE	AZ	85132	2301
GOULD HOWARD N & SHERYL L TRS	20438 E SUNSET CT	QUEEN CREEK	AZ	85142	2331
AH4R PROPERTIES TWO LLC	23975 PARK SORRENTO STE 300	CALABASAS	CA	91302	2401
ABEL LISA J DISCLAIMER TRUST	4214 W LAKE SAMMAMISH PKWY NE UNIT 210	REDMOND	WA	98052	2566
JONES RICHARD EUGENE & JANIS LYN TRS	21301 TARRACO	MISSION VIEJO	CA	92692	2592

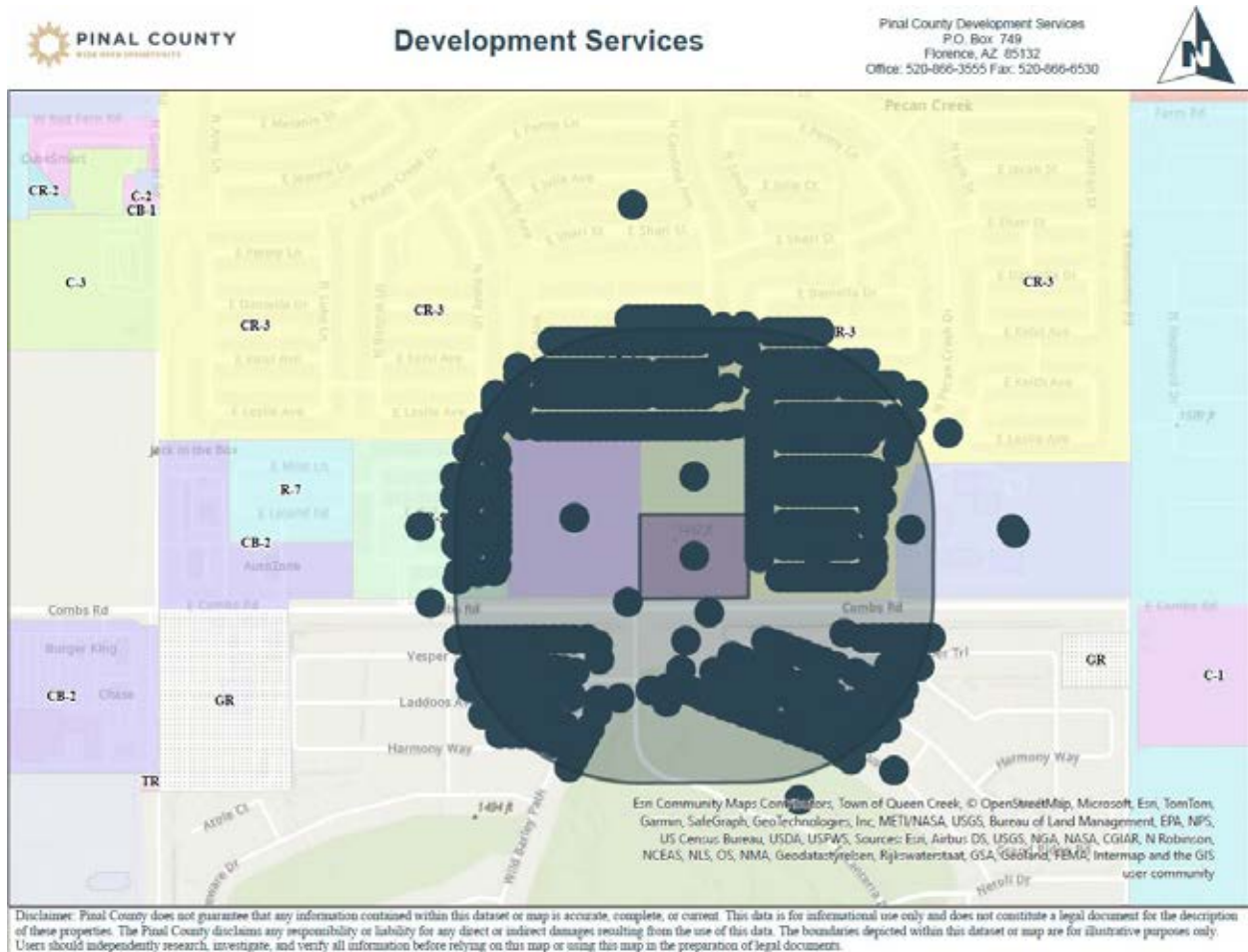


1151ELESIECIR LLC	21509 E PUMMELOS RD	QUEEN CREEK	AZ	85142	2642
NORDHUES ELAINE D	20940 E MEWES RD	QUEEN CREEK	AZ	85142	2726
37789 DENA LLC	22831 S 195TH PL	QUEEN CREEK	AZ	85142	2827
HAYS FAMILY TRUST	22282 S 226TH PL	QUEEN CREEK	AZ	85142	2905
TOWN OF QUEEN CREEK	22350 S ELLSWORTH RD	QUEEN CREEK	AZ	85142	2931
CATTO KATRINA	17 W VERNON AVE UNIT 417	PHOENIX	AZ	85003	3000
JENSON STEVEN K & CYNTHIA S	611 25TH AVE NW	MINOT	ND	58703	3073
DEVRIES LYLE	4004 E 7TH ST	SIOUX FALLS	SD	57103	3111
BERGSTROM ERIK	8012 W LONG DR UNIT 324	LITTLETON	CO	80123	3125
JENKINS KYLE & ELIZABETH	2517 E LAUREL ST	MESA	AZ	85213	3237
STEWK5, LLC	3077 E DESERT MOON TRL	SAN TAN VALLEY	AZ	85143	3334
1257 E KELSI AVE LLC	2023 E REDFIELD RD	TEMPE	AZ	85283	3338
HEDLUND MICHAEL DALE	49103 872ND RD	ONEILL	NE	68763	3400
CHAPPELL HUBERT & BEVERLEY 2001 TRUST	3051 W CANYON AVE	SAN DIEGO	CA	92123	3542
PECAN COVE HOMEOWNERS ASSOCIATION	42 S HAMILTON PL STE 101	GILBERT	AZ	85233	3551
BURNS CARYN C TRUST	3 WINDY HILL LN	LAGUNA HILLS	CA	92653	3607
BLANKENSHIP ALAN M LIV TRUST	1344 FEATHERSTONE CT	HASTINGS	MN	55033	3917
RERUCHA RUSSELL & KIMBERLY LIV TRUST	156 PONDEROSA CT	GRAND ISLAND	NE	68803	3963
BELCZYK RONALD A & MARIA LUZ	PO BOX 7040	SURPRISE	AZ	85374	4010
LPF BLVD PHOENIX LLC	1887 WHITNEY MESA DR, # 3380	HENDERSON	NV	89014	4206
BOWMAN ROBERT C & JOANN L TRS	1009 E HARVARD AVE	GILBERT	AZ	85234	4352
37718 N SANDY DRIVE LLC	2204 MARITIME WAY	RICHMOND	CA	94804	4422
LEMBKE MARK L & LINDA K	3434 28TH ST S UNIT 133	FARGO	ND	58104	4491
VAN TUINEN KENNETH J & JEAN E REVOCABLE LIVING TRUST	244 TIMBERLAKE DR W	HOLLAND	MI	49424	4531
PILLAR RANDALL & CONNIE TRUST	13838 GOODHUE ST NE	ANDOVER	MN	55304	4685
SCOTT RICHARD E & LEIGH ANN	40 PAIGE PL	BLOOMINGTON	IL	61704	4827
SFR JV-2 PROPERTY LLC	PO BOX 15087	SANTA ANA	CA	92735	5008
FINCO INVESTMENTS LLC	PO BOX 1636	EAGAR	AZ	85925	5053
THE JOURNEY & CO LLC	PO BOX 1636	EAGAR	AZ	85925	5163
DEHAVEN THOMAS E TRUST	PO BOX 32247	MESA	AZ	85275	5224
BREEDEN JOHN W & BETTY F	3728 E HARRISON ST	GILBERT	AZ	85295	5466
CHING ADAM	3729 E HARRISON ST	GILBERT	AZ	85295	5467
TAH 2018-1 BORROWER LLC	1508 BROOKHOLLOW DR	SANTA ANA	CA	92705	5543
MCINNES JEFFREY D & VIO-ALEEN D TRS	16485 6TH ST SE	HILLSBORO	ND	58045	5924
SCHNOOR BRIAN L & LYNETTE L	PO BOX 596	PARKSTON	SD	57366	6059
ARMM ASSET COMPANY 1 LLC	5001 PLAZA ON THE LK STE 200	AUSTIN	TX	78746	6105
BTR SCATTERED SITE OWNER 2 LLC	5001 PLAZA ON THE LK STE 200	AUSTIN	TX	78746	6105
SAFARI ONE ASSET COMPANY LLC	5001 PLAZA ON THE LK STE 200	AUSTIN	TX	78746	6105
PN COOPER 1 LLC	1876 E BROWNING PL	CHANDLER	AZ	85286	6141
PN COOPER 2 LLC	1876 E BROWNING PL	CHANDLER	AZ	85286	6141
MCH SFR PROPERTY OWNER 2 LLC	14355 COMMERCE WAY	MIAMI LAKES	FL	33016	6150
BIAN LIN & CHEN SHELLY TRS	4539 W TYSON ST	CHANDLER	AZ	85226	6290
PINTO STEVEN	2 COMMERCE DR STE 301	CRANFORD	NJ	7016	6350
HUDSON SFR PROPERTY HOLDINGS II LLC	4849 GREENVILLE AVE	DALLAS	TX	75206	6413
HUDSON SFR PROPERTY HOLDINGS III LLC	4849 GREENVILLE AVE	DALLAS	TX	75206	6413
LOREN FICK FARMS	989 124TH AVE	LUVERNE	MN	56156	6413
AZOLINO CHANNING & PERRY RICHARD LANCE REV LIVING TRUST	9 CROSS BRIDGE PL	DANVILLE	CA	94526	6436
COPPER HELIX GROUP LLC	7897 SHAGGY MOUNTAIN RD	HERRIMAN	UT	84096	6446
CARITO RALPH J JR	2630 JOHNSON FRK	SALEM	WV	26426	6513

PREMIER MEDICAL PROPERTIES LLC	6116 E ARBOR AVE STE 108	MESA	AZ	85206	6610
SFR II BORROWER 2021-3 LLC	120 S RIVERSIDE PLZ STE 2000	CHICAGO	IL	60606	6699
DICKERSON TIMOTHY D & KARI D	1844 NORTHSORE DR	BELLINGHAM	WA	98226	6781
BRAY MARTHA J, BRAY TYLER J & STEPHANIE	3217 EAGLERIDGE WAY	BELLINGHAM	WA	98226	6782
COLE CURTIS R & LUCIENNE J	16735 HANDICAP LN SE	WARDEN	WA	98857	7770
CERBERUS SFR HOLDINGS III LP	1850 PARKWAY PL SE STE 900	MARIETTA	GA	30067	7826
FKH SFR PROPCO H LP	1850 PARKWAY PL SE STE 900	MARIETTA	GA	30067	7826
APPEGATE JERRY L LIV TRUST	5112 B AVENUE PL	KEARNEY	NE	68847	7856
MAHOWALD TIMOTHY ISIDOR TRS	1636 N 106TH ST	MESA	AZ	85207	7979
FJJ PROPERTIES LLC	1151 E RELIANT ST	GILBERT	AZ	85298	8062
THE CLUB AT ENCANTERRA LLC	8800 N GAINIEY CENTER DR STE 370	SCOTTSDALE	AZ	85258	8212
DELK MARIA J & KEVIN E TRS	4381 CANTON CT	WEBSTER	MN	55088	8244
USCMF SN ARIZONA A LLC	8390 E VIA DE VENTURA STE F-110	SCOTTSDALE	AZ	85258	8318
DE CARLO LOUIS R & PEGGY C FAM TRUST	6733 S SENECA WAY	GILBERT	AZ	85298	8407
37962 N SANDY DR LLC	37962 N SANDY DR	SAN TAN VALLEY	AZ	85140	8514
BERG HOLLI O & RONALD W	1016 E KELSI AVE	SAN TAN VALLEY	AZ	85140	8514
BOREN MARK ANDREW & KIMBERLY ANN TRS	1097 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	8514
BROWN T R TRUST	1328 E PRYOR RD	SAN TAN VALLEY	AZ	85140	8514
CUSACK CHARLES R JR	37363 N GARY RD 3033	QUEEN CREEK	AZ	85142	8514
ESPINOZA CINDY RENEE & ESPINOZA-GOMEZ JOSE C	37851 N RUSTY LN	SAN TAN VALLEY	AZ	85140	8514
FARAG TONY S	640 E VAIL LN	SAN TAN VALLEY	AZ	85140	8514
GISSEL JOSHUA M & JAMI M	1471 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	8514
GUEVARA MARIO E	1015 E DANIELLA DR	SAN TAN VALLEY	AZ	85140	8514
HUNN ANTHONY & KRISTA J	37885 N RUSTY LN	SAN TAN VALLEY	AZ	85140	8514
KELSI AVENUE LLC	4501 W HUNTER TRL	QUEEN CREEK	AZ	85142	8514
MOTE MICHAEL CHARLES & LINDA HOPE CO-TRS	990 E KELSI AVE	SAN TAN VALLEY	AZ	85140	8514
PENNRD CAPITAL LLC	22504 S 198TH CIR	QUEEN CREEK	AZ	85142	8514
RAUCH BRUCE K & MONICA J	1423 E ARTEMIS TRL	QUEEN CREEK	AZ	85140	8514
REIDHEAD STYLES SHAWN & CHELSEA CO-TRS	19744 E EMPORER BLVD	QUEEN CREEK	AZ	85142	8514
RODRIGUEZ JONATHAN	37610 N SANDY DR	SAN TAN VALLEY	AZ	85140	8514
SCHAFER JEFFREY	1387 E RYAN RD	SAN TAN VALLEY	AZ	85140	8514
VALENCIA-VALENZUELA OCTAVIO	1284 E KELSI AVE	SAN TAN VALLEY	AZ	85140	8514
AZ SQUARE 1B LLC	1437 DENVER AVE STE 210	LOVELAND	CO	80538	8522
DESERT SAGE MANAGEMENT LLC	6617 NORTH SCOTTSDALE RD STE 101	SCOTTSDALE	AZ	85250	8525
HALL BRUCE A	29006 71ST AVE E	GRAHAM	WA	98338	8652
QUEEN CREEK SENIOR LIVING LLC	3001 RANCH ROAD 620 S, STE 324	AUSTIN	TX	78738	8714
ZURBRIGGEN KAREN	701 W BYRD DR	FARMINGTON	NM	87401	8740
BROOKS ANTHONY J	4072 E MOUNTAIN VISTA DR	PHOENIX	AZ	85048	8749
HUNT STEVEN R & LOIS	4255 NE NORTH SHORE RD	BELFAIR	WA	98528	8970
ENCANTERRA CLUB HOLDINGS LLC	655 BREA CANYON RD	WALNUT	CA	91789	9307
WILKENING GRETA TRUST	200 BELLEVUE PKWY STE 150	WILMINGTON	DE	19809	9372
1413 E LESLIE AVE LLC	1413 E LESLIE AVE	SAN TAN VALLEY	AZ	85140	0444
ADDEMAN V	1281 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
ALVARADO ETHAN	1319 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444
ALLAN ALAN K	1412 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0517
ADCOCK CARL F & NELDA K	885 E VESPER TRL	QUEEN CREEK	AZ	85140	0525
AIKEN JOANNE K	869 E VESPER TRL	SAN TAN VALLEY	AZ	85140	0525
21 PALMS LLC	26424 S 165TH PL	QUEEN CREEK	AZ	85142	0752
ARMSTRONG BRIAN	1340 E RYAN RD	SAN TAN VALLEY	AZ	85140	0444

KUHN RONALD A	54128 RANGE ROAD 212	FORT SASKATCHEWAN	AB	T8L 3Y9	CANADA
MCGOUGALL SCOTT	9161 21 ST SE	CALGARY	AB	T2C 3Z4	CANADA
NEULS GARRY	19 INDIGO CRED	MOOSE JAW	SK	S6J 1K4	CANADA
SLEDZ PETER R	3423 143RD AVE	EDMONTON	AB	TFY 1H7	CANADA
BOWLER RICK	398 ROBINSON RD RR #4	BRANTFORD	ON	N3R 0B8	CANADA
CLEMANS DAVID ALLAN & BARBARA ELAINE	88 DEERSAXON CIR SE	CALGARY	AB	T2C 3Z4	CANADA
HATTON GARWOOD & BARBARA	1904 RANDALL ST	SUMMERLAND	BC	VOH 1Z9	CANADA
JINHAI REAL ESTATE LLC	14 BLACK TERN CRES	KANATA	ON	K2M 2Z4	CANADA
KJENNER BRIAN & ALLYSON	5703 CAPILANO CRESCENT	EDMONTON	AB	T6A 3R6	CANADA
LAWTHER BRENTON & SHANNON	126 VALLEY RIDGE PT NW	CALGARY	AB	T3B 5R7	CANADA
MARTINEZ CRYSTAL CHARLENE	62 GLENCARRAIG	DUBLIN 13		D13 C9N3	IRELAND
SHERREN RONALD R & DOROTHY	3-25005 STURGEON RD	STURGEON COUNTY	AB	T8L 5E3	CANADA
SKULSKY DENNIS & MARLENE	2023 137A ST	SURREY	BC	V4A 9V7	CANADA
SMITH WILLIAM & MARY ANN	7714 102 STREET	GRANDE PRARIE	AB	T8W 1Y3	CANADA

## Exhibit 2: 1200' Notification Map



### Exhibit 3: Neighborhood Meeting Notification Letter



09-05-2024

**Combs and Encanterra Senior Living II (Z-PA-085-24) - Neighborhood Meeting Notification**

Dear Neighbor,

We are writing to inform you of a neighborhood meeting for a future rezoning request to Pinal County from RVI Planning + Landscape Architecture, on behalf of Investcor Development, LLC to allow for a partial two-story Senior Living Facility on an approximate 5.93 gross acre vacant property located within Unincorporated Pinal County at the NEC of Combs Road and Encanterra Drive (Parcel # 1042263830). You are receiving this letter because you are within 1200' of the proposed project; however, any resident is welcome to attend the meeting.

In May 2022, a rezoning was approved to allow the site to be developed with a 26-36-foot tall one-story Senior Living facility.

This proposed rezoning application is to modify **one** stipulation of the approved rezoning case from 2022, to allow approximately 2/3 of the approved building to remain 26-feet in height but be two-stories instead of one-story. The remaining 1/3 of the approved building will remain one-story. Despite asking for a partially 2-story building, the ultimate building height is not proposed to increase as the previous design included a taller roof. This proposal will include up to approximately 100 Senior Living Units and Memory Care Units.

The original approved plan used underground retention, which could create costly maintenance improvements for future assisted living or memory care guests. The proposed partially two-story building will provide more open space which will be used for retention and outdoor amenities and remove the need to use underground retention. This change is why the rezoning is being requested. See the reverse side for conceptual exhibits of the approved and proposed plans.

We believe this request will benefit future guests and will maintain the building and site's respectful relationship to surrounding residential uses. Our goal for this project is to provide an option for older residents of Pinal County to stay within their community and remain close to their families and friends as they age.

**Neighborhood Meeting Time and Location:**

**Meeting Location:** JO Combs Middle School, Cafeteria  
37611 N Pecan Creek Dr, San Tan Valley, AZ 85140  
**Date:** Tuesday, September 17<sup>th</sup>, 2024  
**Time:** 5:00 PM - 6:00 PM

**Project & Meeting Contact Information:**

Kristine Gay, Project Manager  
RVI Planning + Landscape Architecture  
4900 N Scottsdale Road, Suite 1200, Scottsdale AZ 85251  
[kgay@rviplanning.com](mailto:kgay@rviplanning.com) 480-586-2358

Please be advised that future meetings and hearings before the Pinal County Planning and Zoning Commission and Board of Supervisors have not yet been set. Additional notification letters will be provided in the coming months with information regarding future hearing times and location.

We look forward to meeting with you.

Sincerely,

Project Manager  
RVI Planning + Landscape Architecture



Approved Conceptual Plan:



Site Location:



Proposed Conceptual Plan:



Proposed Conceptual Architectural Rendering:



## Exhibit 4: Neighborhood Meeting Sign-In Sheet

## Neighborhood Meeting Sign-in Sheet

NAME	ADDRESS	PHONE	EMAIL
Tyler Brennan	1905 Sea Eagle View	707-264-2420	Tyler@Dinvestcor.com
Maryann D'onofrio	907 E. Laddoos Ave	5169655018	



# Combs and Encanterra Senior Living II

## — PAD REZONE NARRATIVE —

*To revise PZ-038-21 to allow a partially 2-story building on an approximate 5.93-acre property located in unincorporated Pinal County at Combs Road and Encanterra Drive*



CASE# PZ-PD-015-24  
1ST SUBMITTAL: NOVEMBER, 2024  
2ND SUBMITTAL: JANUARY, 2025

## PROJECT TEAM



### Developer

Investcor  
Tylere Brennan  
3001 RR 620 S, Ste #324  
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Tylere@investcor.com



### Traffic Engineering:

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Phoenix, AZ 85040  
Tel: 480-292-0691  
jamie@lokahigroup.com



### Land Planning

RVi Planning + Landscape Architecture  
Kristine Gay  
4900 N Scottsdale Drive  
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Tel: 480-994-0994  
kgay@rviplanning.com



### Architect

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Camilo Gonzalez  
6010 Balcones Dr. Ste. 200  
Austin, TX 78731  
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cgonzalez@piarch.com



### Civil Engineer

Atwell, LLC  
Ramzi Georges  
120 S Ash Ave Suite 102  
Tempe, AZ 85281  
Tel: 480-586-2105  
rgeorges@atwell-group.com



### Architect

KOMO Architecture  
Nick Bruhn  
Hendersonville, NC  
Tel: 512-231-1910  
nick@komoarch.com

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  2. Development Standards
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  1. Vehicular Circulation and Traffic Analysis
  2. Architectural Design
  3. Utilities and Services
  4. Timing of Development
- 5. Conclusion**



# 1. Introduction

RVI Planning + Landscape Architecture, on behalf of Investcor Development, LLC is pleased to submit this Rezone and PAD Amendment request for a senior living facility on an approximate 5.93-gross acre vacant property located within Unincorporated Pinal County at the NEC of Combs Road and Encanterra Drive (APN 104226830). The proposed development request seeks to rezone the property to accommodate the development of a senior living community. This application is a PAD amendment to the first Combs and Encanterra Senior Living rezoning Case PZ-038-21/PZ-PD-038-21.

See Figure 2: Approved Conceptual Exhibit. In 2022, the Board of Supervisors approved rezoning Case# PZ-038-21/PZ-PD-038-21, and approved Ordinance No. 2022-PZ-PD-038-21. This approved a single-story senior living community providing approximately 90 total units including 66 assisted living and 24 memory care units in one building. The approved maximum building height is 36-feet for architectural embellishments. The majority of the building is currently approved to reach approximately 26-feet in height.

While memory care facilities offer many of the same services as other senior care types, there are significant differences. Like assisted living facilities, memory care provides housing, meal services, supervised care, and help with daily tasks, including hygiene, mobility, and more. However, memory care differs from assisted living because it specializes in caring for people with memory loss. The community provides 24/7 care and has minimal traffic impact to the surrounding area.

The proposed assisted living facility is considered a low impact use with low traffic generation and has received support from the surrounding community. A focus of the project will be to deliver a very strong amenity package and quality architecture, combined with an activity focused community culture to the seniors at a good value. Low ambient lighting and additional landscaping will be provided along the east perimeter of the site to further buffer residential uses. The proposed project fills a growing need in the geographic area for senior living communities and does not have a negative impact to the surrounding community.

## REQUEST

This rezoning proposal seeks to modify only one stipulation of the Council adopted Ordinance No. 2022-PZ-PD-038-21:

It is requested that stipulation 18 be revised from, “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments.” to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments.”

All other remaining stipulations are proposed to remain unchanged and the proposed site improvements and setbacks are proposed to be maintained or enhanced as further summarized below.

# 2. Site Analysis

The subject property is currently vacant. The proposed development is bordered by the Combs Road alignment to the south, single-family homes to the north and the east and vacant land to the west. According to the Pinal County Assessor’s website, the current site is approximately 5.93-acres and zoned C-2-PAD. See **Figure 1: Context Aerial** and **Figure 3: Existing Zoning**.

## 1. EXISTING LAND USE AND ZONING

The Combs and Encanterra property and the surrounding area includes vacant property and expansive single family residential development as part of the existing Pecan Creek PAD. The subject property is designated as Community Center by the San Tan Valley Special Area Plan. This category incorporates every day and special shopping, eating or entertainment needs, serving several neighborhoods. Additionally, all surrounding single family residential development is designated as Suburban Neighborhoods. Table 1 below provides a breakdown of the surrounding land use designation and existing zoning.

**TABLE 1: PROPERTY AND SURROUNDING PROPERTIES**

LOCATION	GENERAL PLAN	EXISTING ZONING	LAND USE
Site	Community Center	C2-PAD	Vacant
North	Community Center, Suburban Neighborhoods	CI-B, CR-5 PAD	Vacant, Single Family Residential
South	Suburban Neighborhoods	Town of Queen Creek, Residential	Single Family Residential, Golf Course
West	Community Center, Suburban Neighborhoods	CI-B, CR-5	Vacant, Single Family Residential
East	Suburban Neighborhoods	CR-3 PAD	Single Family Residential



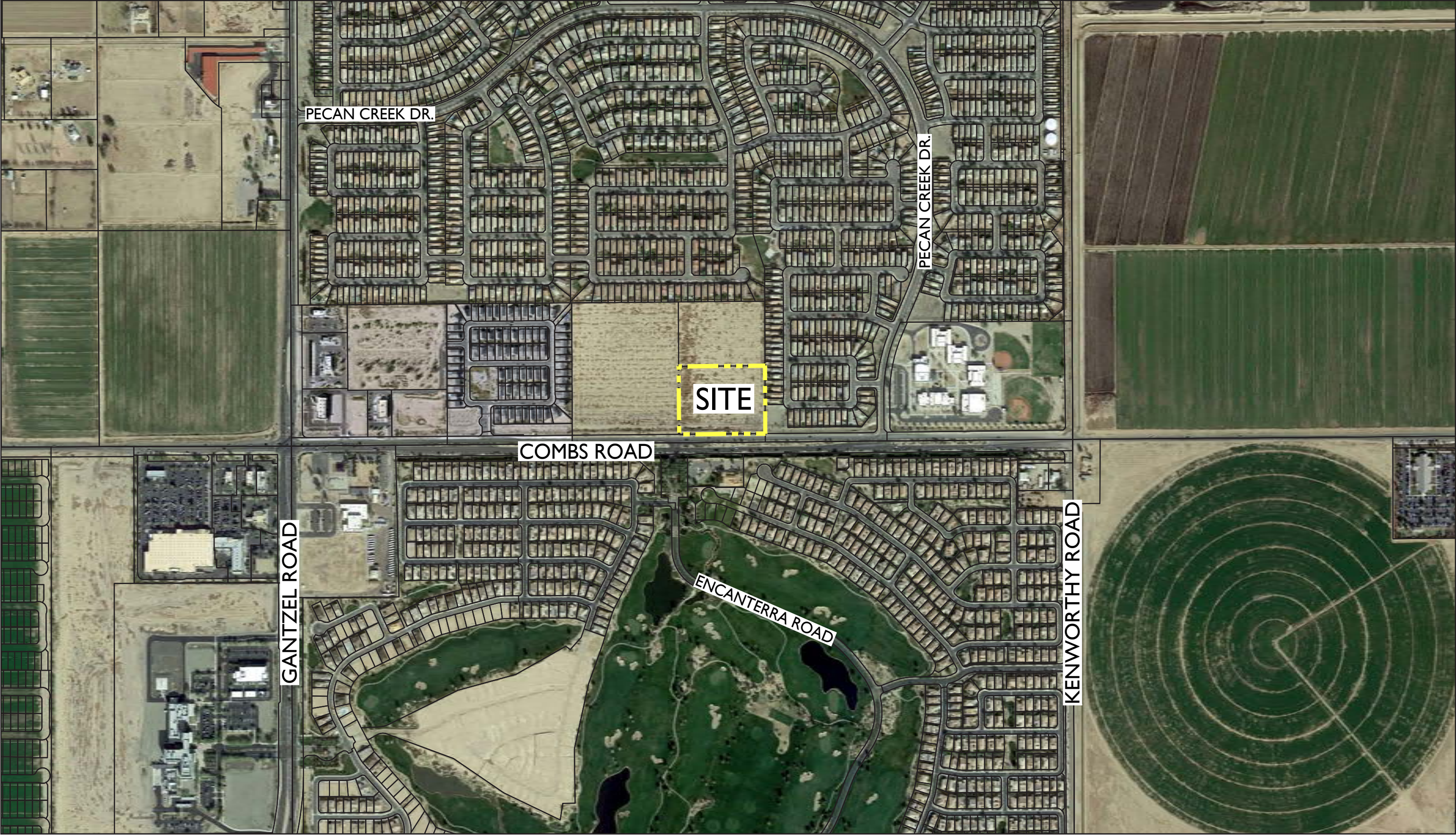


FIGURE 1: CONTEXT AERIAL





FIGURE 2: APPROVED CONCEPTUAL EXHIBITS



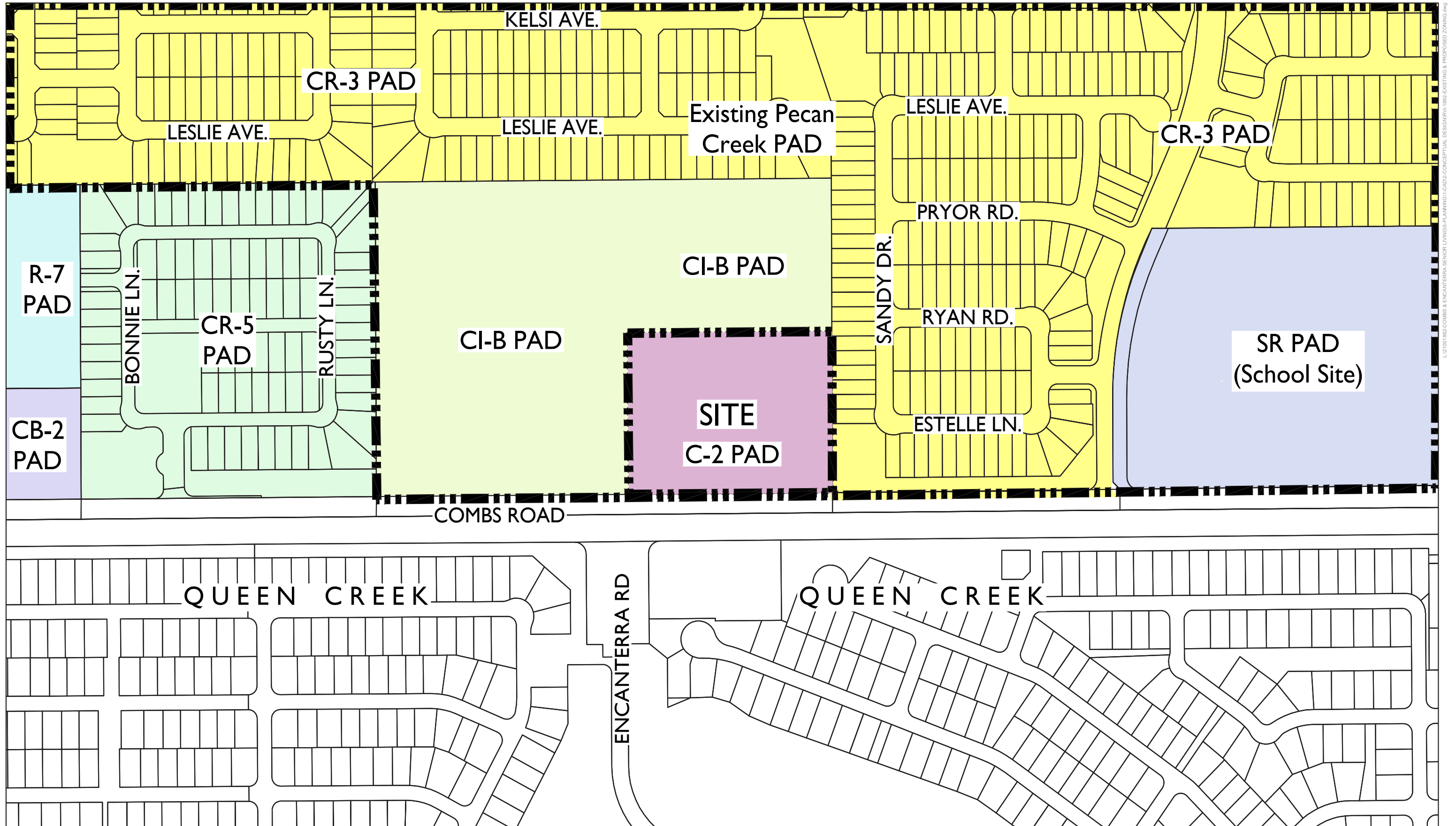


FIGURE 3: EXISTING ZONING MAP, ZONING PROPOSED TO REMAIN

## **2. CONFORMANCE WITH THE PINAL COUNTY COMPREHENSIVE PLAN**

In Pinal County, Comprehensive Plan compliance is determined by the development's conformity with the Comprehensive Plan's land use designations (Land Use graphic and Land Use element text) and activity centers (Land Use and Economic Development graphics and Economic Development element text) as well as the goals, objectives, policies and guidelines outlined in the Pinal County Comprehensive Plan. Planning guidelines for each of the land use designations and Activity Centers are also included in the Land Use element. Formal responses to the provided checklist are attached as part of this rezoning narrative. In summary, the proposed rezoning is compliant with the provisions of the Comprehensive Plan.

## **3. CONFORMANCE WITH THE SAN TAN VALLEY SPECIAL AREA PLAN**

The purpose of this Area Plan is to examine the unique issues, concerns, and needs of the San Tan Valley (STV) area to establish public policy and guidance for future growth that will be more closely associated with the San Tan Valley community today, rather than the current county wide Comprehensive Plan dated 2009.

This project falls within the Community Center Designation. This place type incorporates every day and special shopping, eating or entertainment needs, serving several neighborhoods. Development may also contain offices or large footprint uses that are regional draws. Stand-alone multi-family residential uses can be placed to support these uses, but commercial is the dominant use. Additionally, the proposed project complies with the following provisions of the Community Center designation:

- The proposed development is located along arterial and collector street or above intersections and is designed so no direct vehicular access is shared with adjacent streets that serve single-family residential development.
- The proposed use is partially single story and is buffered along the eastern edge of the site adjacent residential areas providing screening to the proposed use. Additional landscaping is proposed along the frontage of Combs Road.
- Parking, lighting, noise, traffic generation, or hours of operation are located in the interior of the site avoiding any potential nuisance to the adjacent to single family residential neighborhoods.
- A landscape buffer is proposed along the eastern edge in compliance with the Pinal County Development Services Code.



### 3. Proposed Layout and Development Standards

This PAD Amendment proposes to amend the current PAD development standards to allow a two-story building and to maintain or improve all other approved development standards as outlined in Tables 4 and 5.

#### 1. PERMITTED USES

No changes to the permitted uses are proposed as part of this rezoning.

The existing PAD permits an Assisted Living Facility and all accessory buildings and uses are permitted subject to all regulations of this title, including, but not limited to, Chapter 2.150 PCDSC; parking, signage, and lighting regulations; and the development standards of Table 4.

#### 2. DEVELOPMENT STANDARDS

No deviations to development standards are proposed per the C-2 development standards per Chapter 2.320 of the Pinal County Zoning Ordinance. All other development standards shall comply with Chapter 2.150 General Provisions, Standards and Exceptions. No deviations are requested per this development application. Table 5 provides a breakdown of the PAD development standards.

**TABLE 4: EXISTING PAD + PROPOSED PAD COMPARISON**

STANDARD	EXISTING/APPROVED CONCEPTUAL PAD PLAN AND BUILDING DESIGN	PROPOSED CONCEPTUAL SITE PLAN AND BUILDING DESIGN	SUMMARY
Height	One-Story with embellishments up to 36'	One and Two Stories, with embellishments up to 36'	Changed to allow two-stories. No Change to max. 36' height.
Building Design	Four-Sided Architecture  Materials: Stucco and natural stone veneer with wood & wrought iron details  Pitched roof	Four-Sided Architecture  Materials: Stucco & natural stone veneer with wood & wrought iron details  Architectural parapet with pitched roof accents	Quality of architectural materials maintained.  Roof pitch revised
Yard Depth from Encanterra Road	81'	+/-165'	Increased by +/-84'
Yard Depth from Combs Road	105'	+/-122'	Increased by +/-17'
Yard Depth from North Property Line	45' and 129'	+/-70' and 129'	Increased by +/-25'
Yard Depth from East Property Line	78'	78'	No Change.
Landscape Buffer	10' with landscape strip; trees 30' on center. 20' Perimeter setback with landscape buffer to residential to east.	10' with landscape strip; trees 30' on center. 20' Perimeter setback with landscape buffer to residential to east.	No Change.
Gross Site Acreage	5.93 Acres	5.93 Acres	No Change.
Min. Open Space	10%	+/-20%	Amount of Open Space Doubled.
Proposed Density and Unit Count	(Max. 16 du/ac per General Plan) 90 Units, 15.2 du/ac	Up to 118 Units,	Increased by +/- 28 units.
Parking Provided	69	75	Increased by 6 spaces
Building Coverage	+/- 73,000 sq. ft.	+/- 53,000 sq. ft.	Building Coverage Reduced.
Lighting	Shielded parking lot lighting	Shielded parking lot lighting	No Change.
All other applicable development standards, site improvements, or stipulations.			No Change.

**TABLE 5: PROPOSED PAD DEVELOPMENT STANDARDS**

STANDARD	APPROVED (C-2 PAD)	PROPOSED (C-2 PAD AMENDED)
Height	36' / Single story	36' / Partial 2-Story
Min. Lot Area	None	None
Min. Lot Width	None	None
Setbacks		
Front (From Encanterra Road)	20'	20'
Side (From Combs Road + East Property Line)	0' from Combs Road 15' from east property line	0' from Combs Road 15' from east property line
Rear (From North Property Line)	25'	25'
Landscape Buffer	10' with landscape strip; trees 30' on center	10' with landscape strip; trees 30' on center
Gross Site Acreage	5.93 Acres	5.93 Acres
Minimum Open Space	10%	20% - including landscape buffers, landscaped yards, retention areas, and amenitized courtyards





SITE DATA:

EXISTING ZONING: C-2 PAD  
PROPOSED ZONING: C-2 PAD WITH AMENDED STIPULATIONS  
SITE LOCATION: NEC of COMBS AND ENCANTERRA  
SITE SIZE: 5.93 GROSS ACRES  
SENIOR UNITS: UP TO 118  
MIN. PARKING REQUIREMENT: 1 SPACE PER 2 BEDROOMS PLUS 1 SPACE PER EMPLOYEE OF LARGEST WORKING SHIFT  
PARKING PROVIDED: 75 SPACES

	EXISTING MIN. C-2 (PAD) CRITERIA	PROPOSED MIN. C-2 (PAD) CRITERIA	CONCEPTUAL PLAN
FRONT (COMBS ROAD)	20 FT	20 FT	122 FT
SIDE (ENCANTERRA DRIVE & EAST PL)	0' FROM COMBS RD. 15' FROM EAST PL	15' FROM COMBS RD, 15' FROM EAST PL	165 FT FROM ENCANTERRA DR. 82 FT FROM EAST PL
REAR (NORTH PL)	25 FT	25 FT	70 FT

	EXISTING C-2 (PAD)	PROPOSED C-2 (PAD AMENDED)
BUILDING HEIGHT	36' MAX.	36' MAX.
BUILDING FLOORS	1 MAX.	PARTIAL 2-STORY
MIN. OPEN SPACE	10%	20%

LANDSCAPING: NO CHANGES PROPOSED TO APPROVED LANDSCAPE REQUIREMENTS. RETENTION BASINS AND OTHER OPEN AREAS OR SETBACKS TO BE LANDSCAPED AS REQUIRED BY PAD OR BY PINAL COUNTY STANDARDS.WHICHEVER IS GREATER

FIGURE 4: PROPOSED CONCEPTUAL SITE PLAN





FIGURE 5: PROPOSED CONCEPTUAL ARCHITECTURE



## Parking

All parking requirements shall follow Chapter 2.140. - Off-Street Parking And Loading - Public Garages And Gas Stations, which includes a minimum 24' looped drive isle width throughout the project.

The proposed parking for this project is in accordance with the Zoning Ordinance section 2.140.020 which classifies the proposed use as Assisted Living Facility. As such, the parking requirements are one per two bedrooms plus one per employee in the largest working shift. The proposed conceptual layout includes 75 parking spaces. Since the largest working shift will need 16 employees, up to 118 units may be provided.

# 4. Conceptual Site Plan

The site plan includes an approximately 53,000 sq. ft. building footprint. The primary building entryway is proposed to face Combs Road and vehicular site access will be provided via two ingress/egress points from Encanterra Drive to the west of the site. The site includes multiple courtyards which are located on the interior of the site accessed by the buildings interior. These include one specific amenity space set aside for memory care patients, two other courtyards with various amenities including, golf putting greens, sitting area, BBQ grills, etc. for all residents, and another dog park area for family members and visitors to share the joy of dogs with residents.

The proposed project will include landscaping improvements beyond the basic requirements of Pinal County. This will include landscaping around the buildings, within the amenity areas, along the Combs Road frontage, and along the perimeter boundary adjacent to residential development. Per the Pinal County Zoning Ordinance requirements, a minimum 10' landscape buffer will be provided on the east edge of the site planted 30' on center with mature trees which may include species such as chinese elm, pistache, live oak, or desert willow among others. Currently, an existing 6-ft masonry builder wall exists at the eastern most edge of the property as part of the existing residential development. Additional details regarding the landscape palette will be provided at the site plan application. All amenity spaces and courtyards will be landscaped providing high quality and aesthetically pleasing spaces for residents to enjoy.

A pedestrian pathway is provided around the building creating a walkable site, connecting all parking spaces to an off roadway circulation experience. The facility provides 24/7 care and features defined hours for visitations. Primary monument signage is proposed at the corner of Combs and Encanterra Drive with additional directional signage off the main entry on Encanterra Drive.

Additional landscaping will be provided throughout the site and along Combs Road exceeding Zoning Ordinance requirements. All mechanical equipment and dumpsters will be screened and located at the rear of the site. See **Figure 5: Conceptual Site Plan**.



## 1. VEHICULAR CIRCULATION AND TRAFFIC ANALYSIS

Vehicular access to the site will be provided with two (2) driveways located along Encanterra Drive. The first access point, main entry, is located approximately 240' north of Combs Road. The second access point is located approximately 425' north of Combs Road. Both driveways will be full access driveways, allowing right and left turn movements into and out of the site.

The development is anticipated to generate approximately 260 weekday trips, with 18 trips occurring during the AM peak hour and about 24 trips occurring during the PM peak hour. The estimated 260 daily trips generated by the proposed development would represent an approximate 2.16% increase in average weekday traffic along Combs Road.

In conclusion, the additional traffic generated by the proposed Combs and Encanterra Senior Living development is anticipated to result in minimal traffic related impacts to the existing roadway network and the surrounding area.

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The proposed development will feature 4-sided architecture with different material treatments and colors. The building plane features recessed windows of multiple sizes along with changes in the wall plan to add perspective and character to the building. The primary colors of the building will be earth tone with complimentary colors for embellishments and stone treatments.

A parapet roof is proposed to minimize the perceived mass of the building while pitched tiled roofs will be constructed to draw attention to the main building entrance. The building is primarily constructed of stucco and accented with timber and metal embellishments, projected molding around windows, and horizontal architectural banding. The main building entrance will be further accented with a porte-cochere with deep eaves, exposed brackets, the appearance of exposed timber beams, and intentional landscaping and outdoor seating. A tower feature is also proposed to call attention to the main entrance and break apart the building roofline. The building was carefully designed to reflect the architecture of the Encanterra neighborhood to create a cohesive and complementary appearance across Combs Road.



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Water: Town of Queen Creek

Water Service for this project will be provided by Queen Creek Water. The Pecan Cove subdivision (to the west of our location) provided a stub out on their eastern boundary, for future development to connect to. Our development is proposed to connect to that stub out location, and also the existing water line in Combs Road. Based on our experience building similar facilities, our project is projected to use a 2" Sensus 'Omni' compound water meter, or equal and our estimated range of water demand will be determined at the Site Plan Application submittal.

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The proposed project is seeking all development application approvals in 2024 with full build out envisioned in 2026.

## 5. CONCLUSION

The Combs and Encanterra Senior Living Community provides a highly needed service in the larger geographic area. The proposed location is a great fit as the current zoning of the property is outdated and out of context with the surrounding land uses and existing development. The proposed rezoning to commercial will allow for the development of a low-impact senior living facility which provides a better fit for the surrounding area. All development will be in accordance with the Pinal County Development Services Code and future site plan development request will be consistent with the provisions outlined within this narrative. The project team took great care toward all details of site design including building orientation, landscaping, buffering, amenity design, and circulation to ensure the development of this site looks beautiful and is in context with the surrounding area. z



# Combs and Encanterra Senior Living II

## PAD REZONE NARRATIVE

*To revise PZ-038-21 to allow a partially 2-story building on an approximate 5.93-acre property located in unincorporated Pinal County at Combs Road and Encanterra Drive*



## PROJECT TEAM



### Developer

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- 2. Site Analysis**
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  2. Conformance with the Pinal County Comprehensive Plan
  3. Conformance with the San Tan Valley Special Area Plan
- 3. Proposed Zoning and Development Standards**
  1. Permitted Uses
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  1. Vehicular Circulation and Traffic Analysis
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  3. Utilities and Services
  4. Timing of Development
- 5. Conclusion**



# 1. Introduction

RVi Planning + Landscape Architecture, on behalf of Investcor Development, LLC is pleased to submit this Rezone and PAD Amendment request for a senior living facility on an approximate 5.93-gross acre vacant property located within Unincorporated Pinal County at the NEC of Combs Road and Encanterra Drive (~~a portion of APN 104226830 008Y~~). The proposed development request seeks to rezone the property to accommodate the development of a senior living community. This application is a PAD amendment to the first Combs and Encanterra Senior Living rezoning Case PZ-038-21/PZ-PD-038-21. ~~the Pecan Creek PAD previously approved under cases PZ-PD-054-00 and PZ-PD-043-03.~~

~~Originally, the subject site within the Pecan Creek PAD was approved with CR-5 zoning slated for an assisted living facility. In 2003, a PAD amendment was approved which moved the location of the CI-B 26 +/- acre Employment site along Combs Road to which the 5.93 acre subject site exists within today. This current CI-B zoning designation is incompatible with the surrounding development and the market conditions do not support industrial development on this parcel. As such, this application seeks to change approximately 5.93 acres of the existing Pecan Creek PAD to C-2 PAD to facilitate an assisted living facility as the PAD was originally approved. See **Figure 2: Prior PAD Amendments and Existing Zoning**.~~

See Figure 2: Approved Conceptual Exhibit. In 2022, the Board of Supervisors approved rezoning Case# PZ-038-21/PZ-PD-038-21, and approved Ordinance No. 2022-PZ-PD-038-21. This approved a single-story senior living community providing approximately 90 total units including 66 assisted living and 24 memory care units in one building. The approved maximum building height is 36-feet for architectural embellishments. The majority of the building is currently approved to reach approximately 26-feet in height.

~~The Combs an Encanterra Senior Living Community is a privately-owned, single-story community providing a combination of approximately 90 total units including 66 assisted living and 24 memory care units in a single building.~~ While memory care facilities offer many of the same services as other senior care types, there are significant differences. Like assisted living facilities, memory care provides housing, meal services, supervised care, and help with daily tasks, including hygiene, mobility, and more. However, memory care differs from assisted living because it specializes in caring for people with memory loss. The community provides 24/7 care and has minimal traffic impact to the surrounding area.

The proposed assisted living facility is considered a low impact use with low traffic generation and has received support from the surrounding community. A focus of the project will be to deliver a very strong amenity package and quality architecture, combined with an activity focused community culture to the seniors at a good value. Low ambient lighting and additional landscaping will be provided along the east perimeter of the site to further buffer residential uses. The proposed project fills a growing need in the geographic area for senior living communities and does not have a negative impact to the surrounding community.

## REQUEST

This rezoning proposal seeks to modify only one stipulation of the Council adopted Ordinance No. 2022-PZ-PD-038-21:

It is requested that stipulation 18 be revised from, “The building/s on site shall not exceed one story and 36’ in height for architectural embellishments,” to “The building/s on site shall not exceed two stories and 36’ in height for architectural embellishments.”

All other remaining stipulations are proposed to remain unchanged and the proposed site improvements and setback are proposed to be maintained or enhanced as further summarized below.

## 2. Site Analysis

The subject property is currently vacant. The proposed development is bordered by the Combs Road alignment to the south, single-family homes to the north and the east and vacant land to the west. According to the Pinal County Assessor’s website, the current site ~~represents approximately 1/3 part of the one (1) parcel (zoned for Industrial Buffer Zone (CI-B) of~~ is approximately 5.93-acres and zoned C-2-PAD. See **Figure 1: Context Aerial** and **Figure 3: Existing Zoning**.

## 1. EXISTING LAND USE AND ZONING

The Combs and Encanterra property and the surrounding area includes vacant property and expansive single family residential development as part of the existing Pecan Creek PAD. The subject property is designated as Community Center by the San Tan Valley Special Area Plan. This category incorporates every day and special shopping, eating or entertainment needs, serving several neighborhoods. Additionally, all surrounding single family residential development is designated as Suburban Neighborhoods. Table 1 below provides a breakdown of the surrounding land use designation and existing zoning.

**TABLE 1: PROPERTY AND SURROUNDING PROPERTIES**

LOCATION	GENERAL PLAN	EXISTING ZONING	LAND USE
Site	Community Center	<del>CI-B PAD</del> <b>C2-PAD</b>	Vacant
North	Community Center, Suburban Neighborhoods	CI-B, CR-5 PAD	Vacant, Single Family Residential
South	Suburban Neighborhoods	Town of Queen Creek, Residential	Single Family Residential, Golf Course
West	Community Center, Suburban Neighborhoods	CI-B, CR-5	Vacant, Single Family Residential
East	Suburban Neighborhoods	CR-3 PAD	Single Family Residential





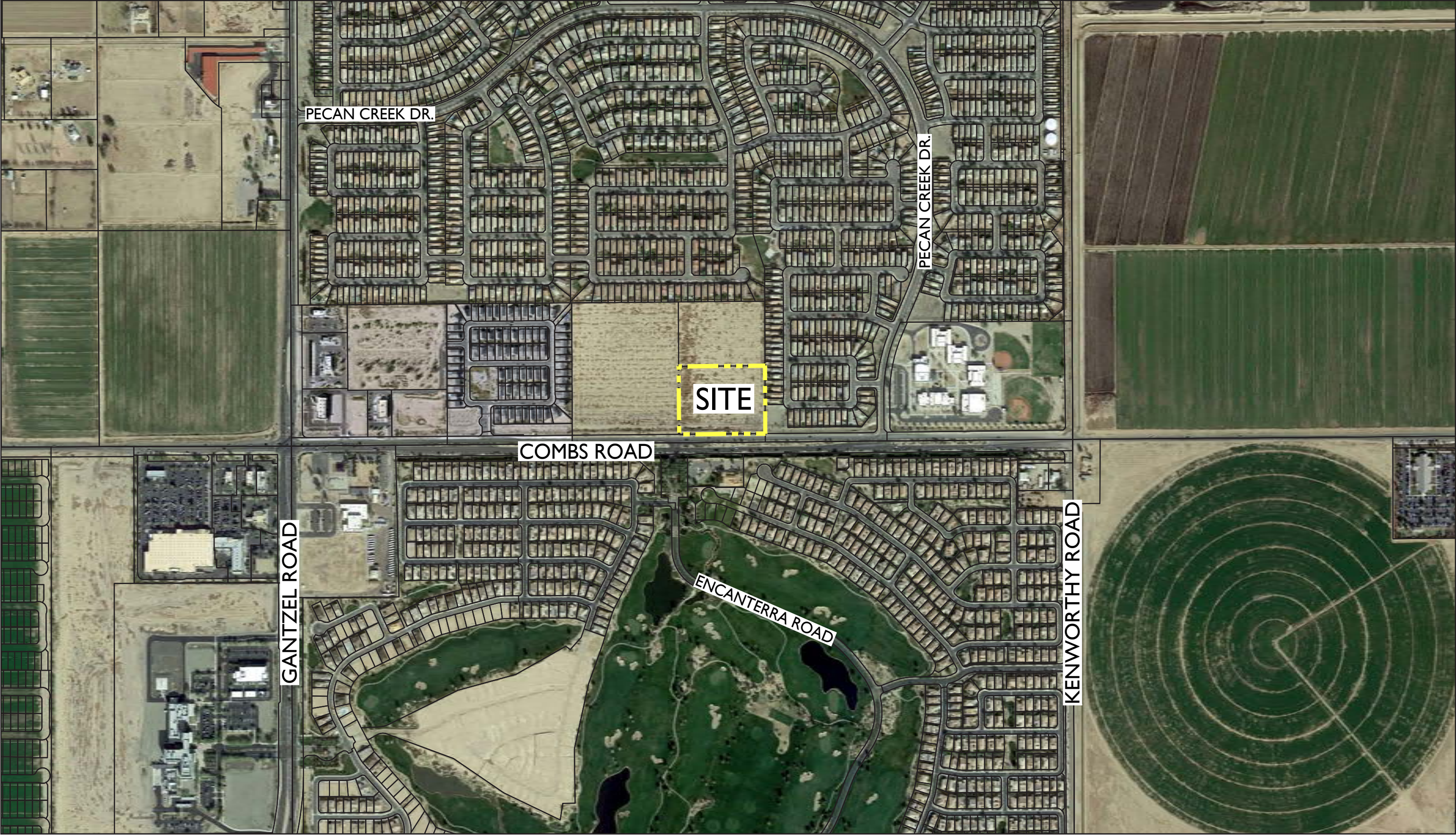


FIGURE 1: CONTEXT AERIAL



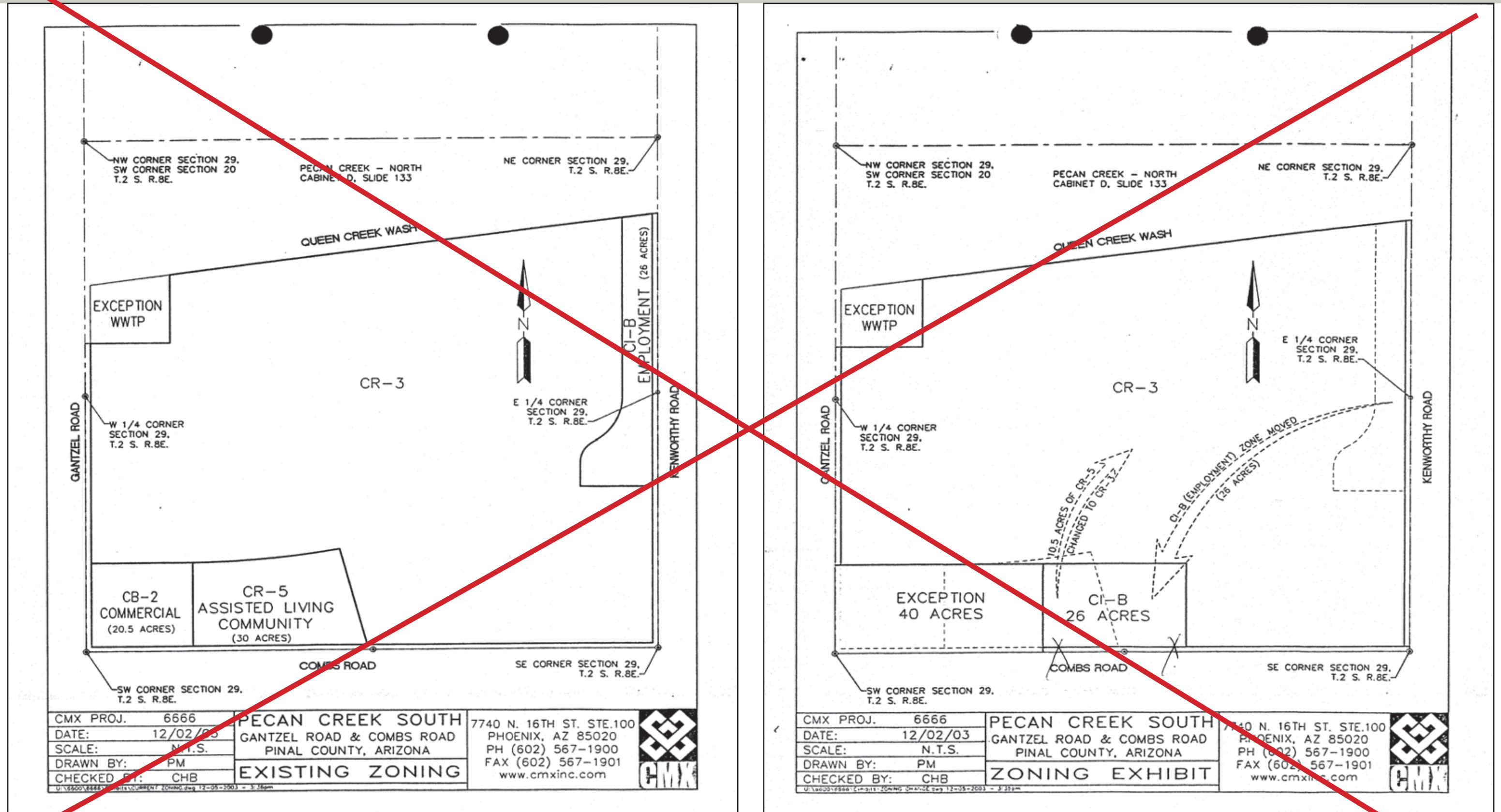


FIGURE 2: PRIOR PAD AMENDMENTS AND EXISTING ZONING





## FIGURE 2: APPROVED CONCEPTUAL EXHIBITS



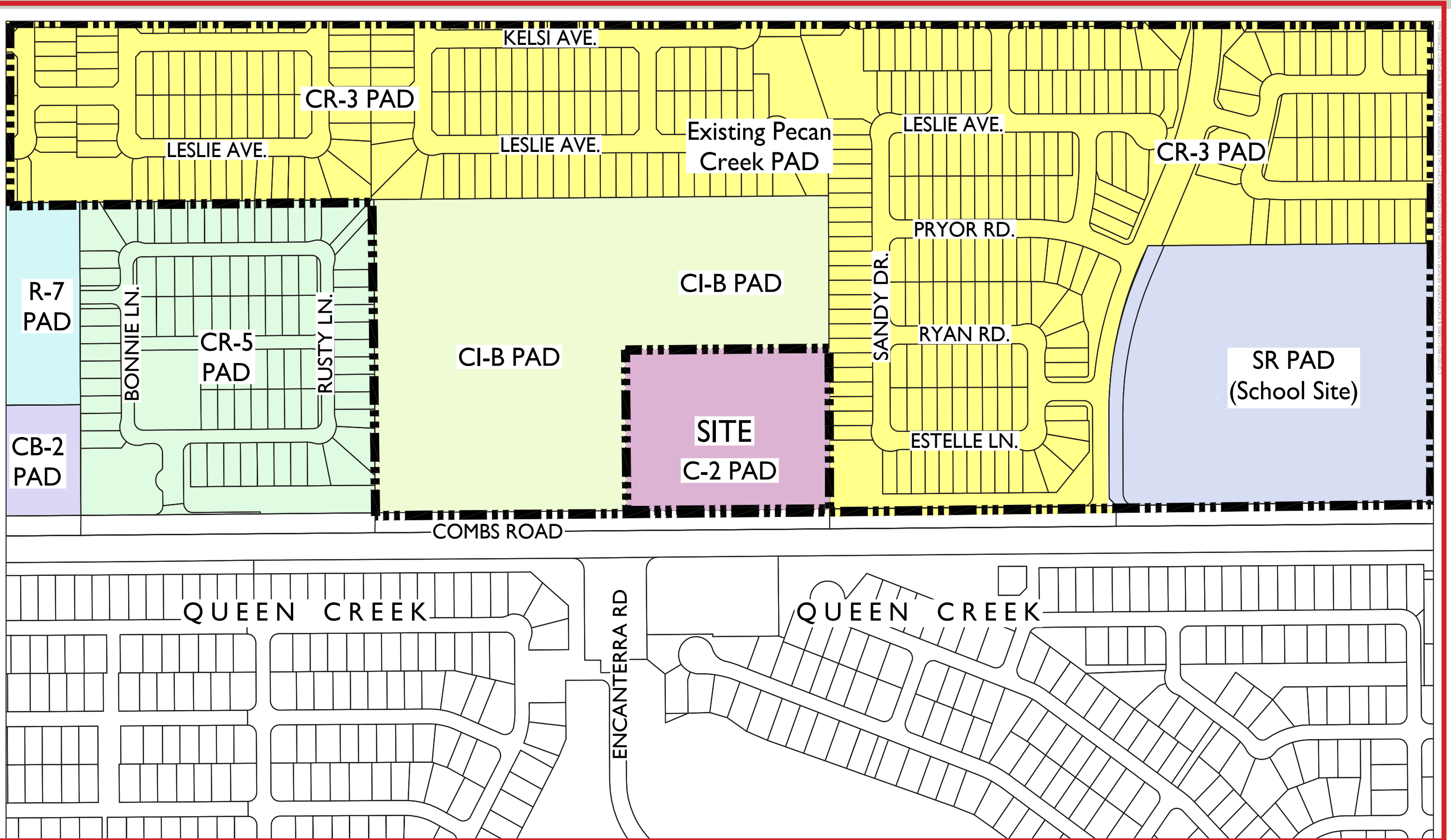


FIGURE 3: EXISTING ZONING MAP, ZONING PROPOSED TO REMAIN



## 2. CONFORMANCE WITH THE PINAL COUNTY COMPREHENSIVE PLAN

In Pinal County, Comprehensive Plan compliance is determined by the development's conformity with the Comprehensive Plan's land use designations (Land Use graphic and Land Use element text) and activity centers (Land Use and Economic Development graphics and Economic Development element text) as well as the goals, objectives, policies and guidelines outlined in the Pinal County Comprehensive Plan. Planning guidelines for each of the land use designations and Activity Centers are also included in the Land Use element. Formal responses to the provided checklist are attached as part of this rezoning narrative. In summary, the proposed rezoning is compliant with the provisions of the Comprehensive Plan.

## 3. CONFORMANCE WITH THE SAN TAN VALLEY SPECIAL AREA PLAN

The purpose of this Area Plan is to examine the unique issues, concerns, and needs of the San Tan Valley (STV) area to establish public policy and guidance for future growth that will be more closely associated with the San Tan Valley community today, rather than the current county wide Comprehensive Plan dated 2009.

This project falls within the Community Center Designation. This place type incorporates every day and special shopping, eating or entertainment needs, serving several neighborhoods. Development may also contain offices or large footprint uses that are regional draws. Stand-alone multi-family residential uses can be placed to support these uses, but commercial is the dominant use. Additionally, the proposed project complies with the following provisions of the Community Center designation:

- The proposed development is located along arterial and collector street or above intersections and is designed so no direct vehicular access is shared with adjacent streets that serve single-family residential development.
- The proposed use is partially single story and is buffered along the eastern edge of the site adjacent residential areas providing screening to the proposed use. Additional landscaping is proposed along the frontage of Combs Road.
- Parking, lighting, noise, traffic generation, or hours of operation are located in the interior of the site avoiding any potential nuisance to the adjacent to single family residential neighborhoods.
- A landscape buffer is proposed along the eastern edge in compliance with the Pinal County Development Services Code.
- ~~The proposed Residential Density is between 8-16 DU/AC.~~

### 3. Proposed Zoning Layout and Development Standards

~~The Combs and Encanterra Senior Living Community This PAD Amendment~~ proposes to amend the current PAD ~~development standards to allow a two-story building and to maintain or improve all other approved development standards as outlined in Tables 4 and 5. and development standards to closely reflect the C-2-Community Commercial Zoning District. The purpose of this zoning district is to provide for a variety of commercial uses which enhance a community's livability and provide for employment opportunities.~~

#### 1. PERMITTED USES

~~No changes to the permitted uses are proposed as part of this rezoning.~~

~~The existing PAD permits an Assisted Living Facility and all accessory buildings and uses are permitted subject to all regulations of this title, including, but not limited to, Chapter 2.150 PCDSG; parking, signage, and lighting regulations; and the development standards of Table 4.~~

~~proposed PAD Amendment seeks to restrict all of the proposed uses within the C-2 Zoning District with the exception of the Assisted Living Facility. The following uses and their accessory buildings and uses are permitted subject to all regulations of this title, including, but not limited to, Chapter 2.150 PCDSG; parking, signage, and lighting regulations; and the development standards in this chapter:~~

~~A. — Assisted living facility~~

## NEW TABLE

**TABLE 4: EXISTING PAD + PROPOSED PAD COMPARISON**

STANDARD	EXISTING/APPROVED CONCEPTUAL PAD PLAN AND BUILDING DESIGN	PROPOSED CONCEPTUAL PAD PLAN AND BUILDING DESIGN	SUMMARY
Height	One-Story with embellishments up to 36'	One and Two Stories, with embellishments up to 36'	Changed to allow two-stories. No Change to max. 36' height.
Building Design	Four-Sided Architecture  Materials: Stucco and natural stone veneer with wood & wrought iron details  Pitched roof	Four-Sided Architecture  Materials: Stucco & natural stone veneer with wood & wrought iron details  Architectural parapet with pitched roof accents	Quality of architectural materials maintained.  Roof pitch revised
Yard Depth from Encanterra Road	81'	165'	Increased by 84'
Yard Depth from Combs Road	105'	122'	Increased by 17'
Yard Depth from North Property Line	45' and 129'	70' and 129'	Increased by 25'
Yard Depth from East Property Line	78'	78'	No Change.
Landscape Buffer	10' with landscape strip; trees 30' on center. 20' Perimeter setback with landscape buffer to residential to east.	10' with landscape strip; trees 30' on center. 20' Perimeter setback with landscape buffer to residential to east.	No Change.
Gross Site Acreage	5.93 Acres	5.93 Acres	No Change.
Min. Open Space	10%	20%	Amount of Open Space Doubled.
Proposed Density and Unit Count	(Max. 16 du/ac per General Plan) 90 Units, 15.2 du/ac	100 Units, (Staff determined density does not apply to this use)	Increased by +/- 10 units. (Staff determined density does not apply to this use)
Parking Provided	69	75	Increased by 6 spaces
Building Coverage	+/- 73,000 sq. ft.	+/- 53,000 sq. ft.	Building Coverage Reduced.
Lighting	Shielded parking lot lighting	Shielded parking lot lighting	No Change.
All other applicable development standards, site improvements, or stipulations.			No Change.

## NEW TABLE

**TABLE 5: PROPOSED PAD DEVELOPMENT STANDARDS**

STANDARD	APPROVED (C-2 PAD)	PROPOSED (C-2 PAD AMENDED)
Height	36' / Single story	36' / Partial 2-Story
Min. Lot Area	None	None
Min. Lot Width	None	None
Setbacks		
Front (From Encanterra Road)	20'	20'
Side (From Combs Road + East Property Line)	0' from Combs Road 15' from east property line	0' from Combs Road 15' from east property line
Rear (From North Property Line)	25'	25'
Landscape Buffer	10' with landscape strip; trees 30' on center	10' with landscape strip; trees 30' on center
Gross Site Acreage	5.93 Acres	5.93 Acres
Minimum Open Space	10%	20% - including landscape buffers, landscaped yards, retention areas, and amenitized courtyards

**TABLE 4: PAD DEVELOPMENT STANDARDS**

STANDARD	EXISTING (CI-B)	C-2 BASE ZONING DISTRICT	PROPOSED (C-2 PAD)
Height	35'	40'	36'/single story
Lot Area	10,000 sq. ft.	None	None
Lot Width	None	None	None
Setbacks			
Front	20'	20'	20'
Side	None	0'/15' abutting residential	0'/15' abutting residential
Rear	10'	25'	25'
Landscape Buffer	Same as provided in PCDSC 2.105.030	10' with landscape strip; trees 30' on center	10' with landscape strip; trees 30' on center
Gross Site Acreage	5.93 Acres		
Min. Open Space	10%		
Proposed Density	15.2 du/ac		
Building Sq. Ft.	73,000 sq.ft.		

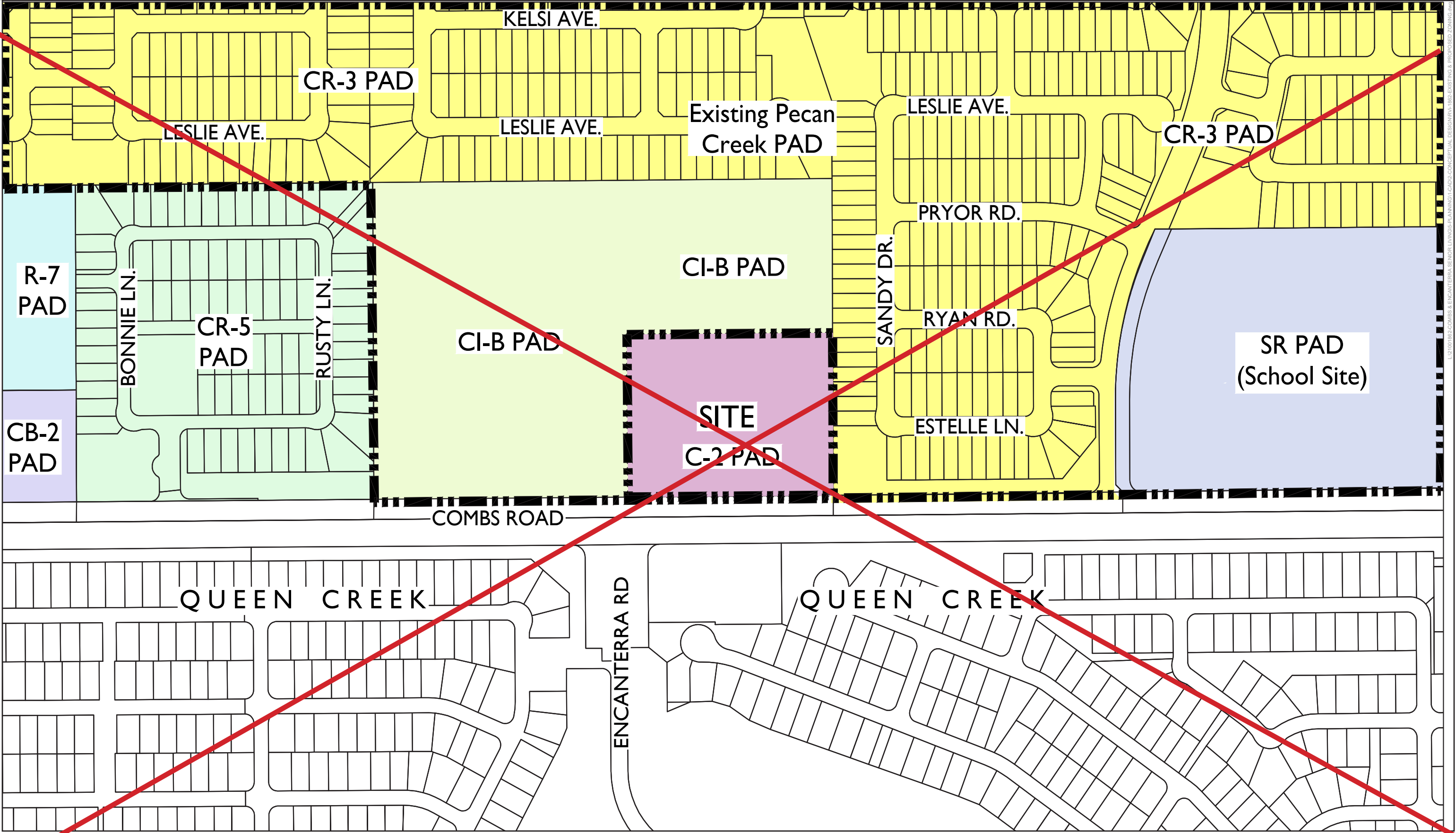


FIGURE 4: ~~EXISTING PROPOSED~~ ZONING MAP





FIGURE 4: PROPOSED CONCEPTUAL SITE PLAN

SITE DATA:

EXISTING ZONING:	C-2 PAD
PROPOSED ZONING:	C-2 PAD WITH AMENDED STIPULATIONS
SITE LOCATION:	NEC of COMBS AND ENCANTERRA
SITE SIZE:	5.93 GROSS ACRES
SENIOR UNITS:	APPROX. 100
MIN. PARKING REQUIREMENT:	1 SPACE PER 2 BEDROOMS PLUS 1 SPACE PER EMPLOYEE OF LARGEST WORKING SHIFT
REQUIRED PARKING:	66 SPACES
PARKING PROVIDED:	75 SPACES

	EXISTING MIN. C-2 (PAD) CRITERIA	PROPOSED MIN. C-2 (PAD) CRITERIA	PROPOSED YARDS
FRONT (COMBS ROAD)	20 FT	20 FT	122 FT
SIDE (ENCANTERRA DRIVE & EAST PL)	0' FROM COMBS RD. 15' FROM EAST PL	15' FROM COMBS RD, 15' FROM EAST PL	165 FT FROM ENCANTERRA DR. 82 FT FROM EAST PL
REAR (NORTH PL)	25 FT	25 FT	70 FT

	EXISTING C-2 (PAD)	PROPOSED C-2 (PAD AMENDED)
BUILDING HEIGHT	36' MAX.	36' MAX.
BUILDING FLOORS	1 MAX.	PARTIAL 2-STORY
MIN. OPEN SPACE	10%	20%

LANDSCAPING: NO CHANGES PROPOSED TO APPROVED LANDSCAPE REQUIREMENTS. RETENTION BASINS AND OTHER OPEN AREAS OR SETBACKS TO BE LANDSCAPED AS REQUIRED BY PAD OR BY PINAL COUNTY STANDARDS.WHICHEVER IS GREATER





FIGURE 5: PROPOSED CONCEPTUAL ARCHITECTURE



## 2. DEVELOPMENT STANDARDS

No deviations to development standards are proposed per the C-2 development standards per Chapter 2.320 of the Pinal County Zoning Ordinance. All other development standards shall comply with Chapter 2.150 General Provisions, Standards and Exceptions. No deviations are requested per this development application. ~~See Figure 4: Proposed Zoning Map. The following table Table 5~~ provides a breakdown of the PAD development standards.

### Parking

All parking requirements shall follow Chapter 2.140. - Off-Street Parking And Loading - Public Garages And Gas Stations, which includes a minimum 24' looped drive isle width throughout the project.

The proposed parking for this project in accordance with the Zoning Ordinance section 2.140.020 which classifies the proposed use as Assisted Living Facility. As such, the parking requirements are one per two bedrooms plus one per employee in the largest working shift. The project provides a total of ~~90~~ 100 bedrooms and 16 employees at the largest shift. This results in a required number of spaces of ~~61~~ 66. The proposed ~~layout includes project provides~~ 69 75 spaces which exceeds the requirements.

## 4. Conceptual Site Plan

The site plan includes an approximately ~~73,000~~ 53,000 sq. ft. building. ~~laid out in a hexagonal pattern across the site~~. The primary ~~building~~ entryway is proposed to face Combs Road and ~~vehicular~~ site access will be provided via two ingress/egress points from Encanterra Drive to the west of the site. The site includes multiple courtyards which are located on the interior of the site accessed by the buildings interior. These include one specific amenity space set aside for memory care patients, two other courtyards with various amenities including, golf putting greens, sitting area, BBQ grills, etc. for all residents, and another dog park area for family members and visitors to share the joy of dogs with residents.

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The development is anticipated to generate ~~234~~260 weekday trips, with ~~17~~ 18 trips occurring during the AM peak hour and ~~23~~ 24 trips occurring during the PM peak hour. The ~~234~~260 daily trips generated by the proposed development would represent an approximate ~~2.27~~ 2.16% increase in average weekday traffic along Combs Road.

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~~The roof is constructed of concrete tile and standing seam metal to contribute to the quality of the building. The building is primarily constructed of stucco and feature natural stone veneer treatments across the front elevation at the base of the building. Other embellishments include wall sconce lighting, ledgerstone caps, wood and wrought iron details.~~

A parapet roof is proposed to minimize the perceived mass of the building while pitched tiled roofs will be constructed to draw attention to the main building entrance. The building is primarily constructed of stucco and accented with timber and metal embellishments, projected molding around windows, and horizontal architectural banding. The main building entrance will be further accented with a porte-cochere with deep eaves, exposed brackets, the appearance of exposed timber beams, and intentional landscaping and outdoor seating. A tower feature is also proposed to call attention to the main entrance and break apart the building roofline. The building was carefully designed to reflect the architecture of the Encanterra neighborhood to create a cohesive and complementary appearance across Combs Road.

~~The front of the building will feature window dormers across the street side elevation along with a primary entryway tower feature. As a part of this entryway feature, a large entryway with stone column bases and wood finish help compliment the building and create a sense of place.~~





### 3. UTILITIES AND SERVICES

Water: Town of Queen Creek

Water Service for this project will be provided by Queen Creek Water. The Pecan Cove subdivision (to the west of our location) provided a stub out on their eastern boundary, for future development to connect to. Our development is proposed to connect to that stub out location, and also the existing water line in Combs Road. Based on our experience building similar facilities, our project is projected to use a 2" Sensus 'Omni' compound water meter, or equal and our estimated range of water demand will be determined at the Site Plan Application submittal.

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# PRELIMINARY CIVIL IMPROVEMENT PLANS

## FOR

# COMBS AND ENCANTERRA SENIOR LIVING II

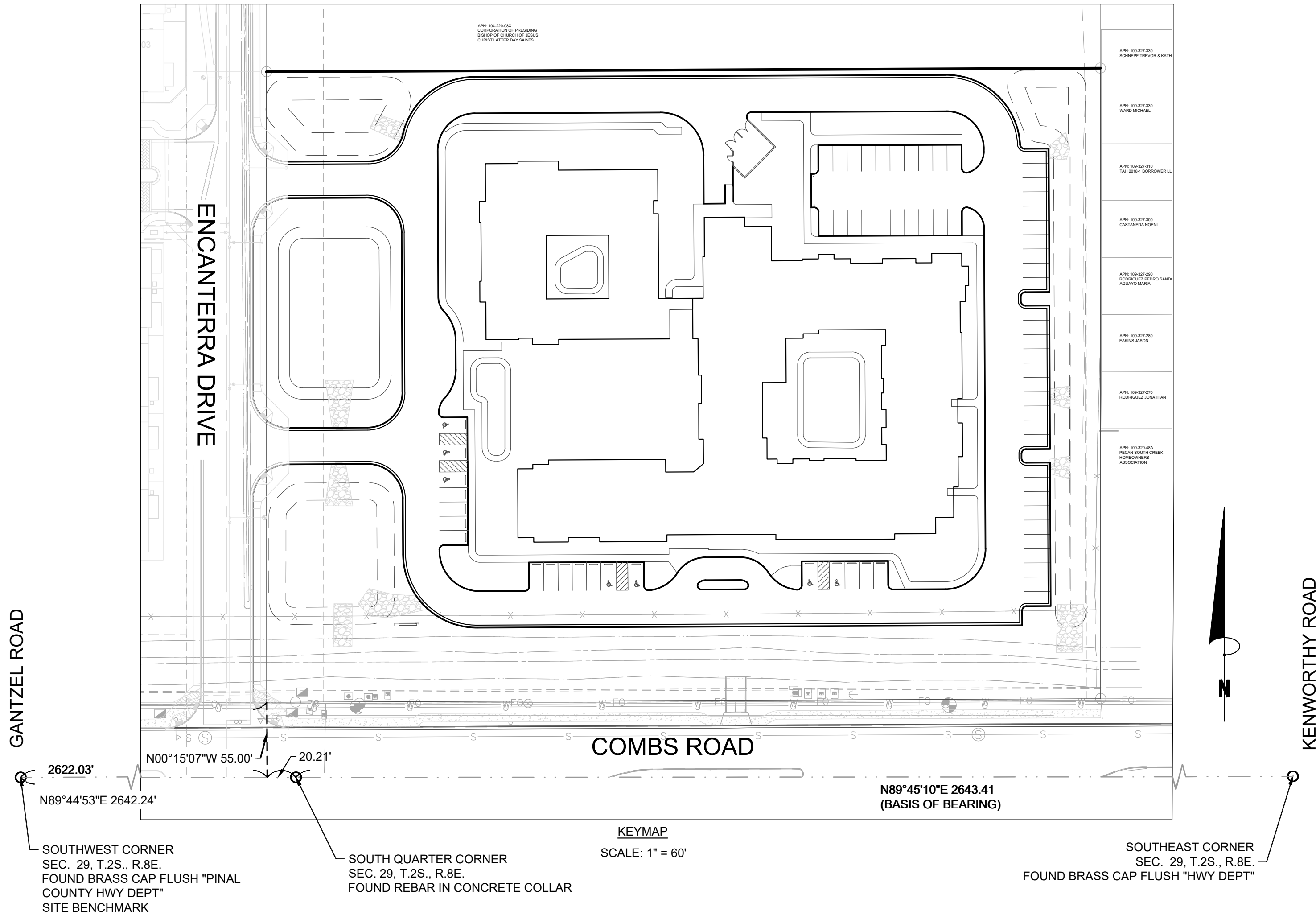
"PINAL COUNTY, ARIZONA"  
SOUTH HALF OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 8 EAST,  
OF THE GILA AND SALT RIVER MERIDIAN PINAL COUNTY, ARIZONA

### EXISTING LEGEND

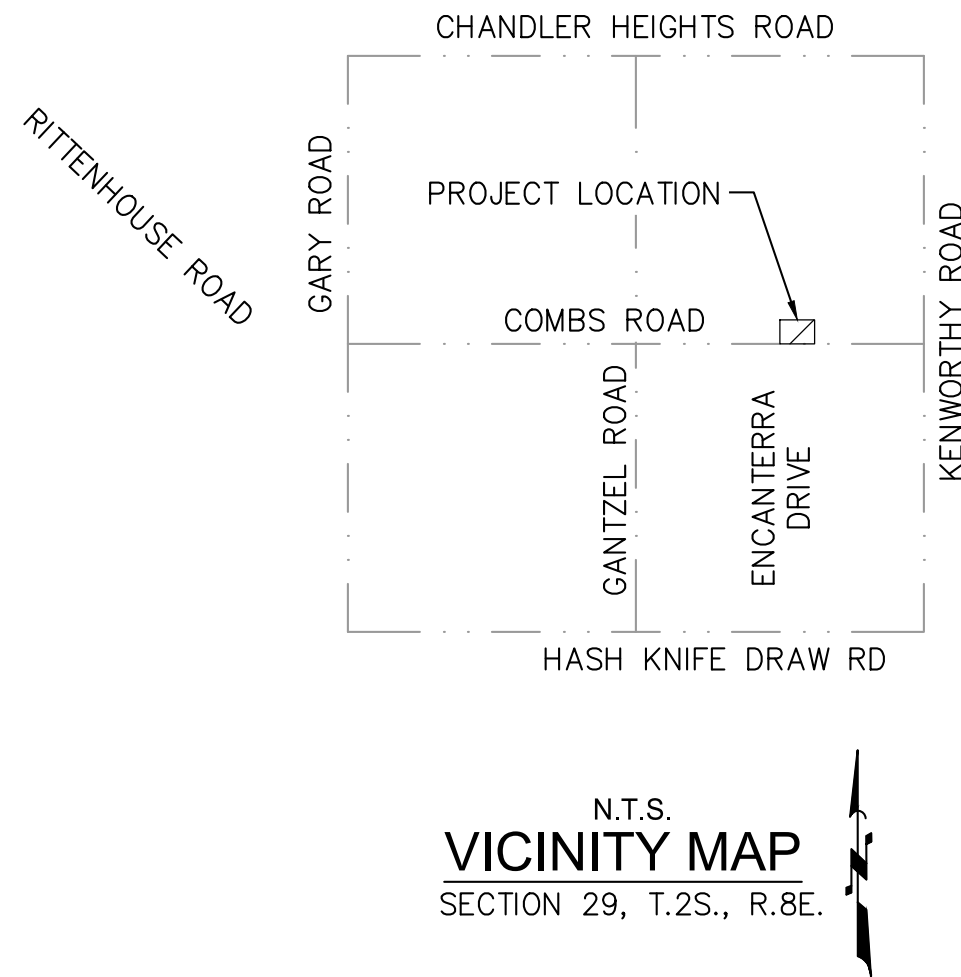
	SECTION LINE
	PROPERTY LINE
	PARCEL LINE
	EXISTING EASEMENT
	DECORATIVE RAIL FENCE
	BARBED WIRE FENCE
	OVERHEAD UTILITY LINE
	UNDERGROUND SEWER LINE
	MONUMENT AS NOTED
	POWER POLE
	GUY ANCHOR
	STREET LIGHT
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	SEWER MANHOLE
	TELEPHONE PEDESTAL
	SIGN
	MAILBOX
	CACTUS
	CONCRETE
	TOWNSHIP
	RANGE
	RECORD BEARING AND OR DISTANCE
	MEASURED BEARING AND OR DISTANCE
	CALCULATED BEARING AND OR DISTANCE
	PROFESSIONAL LAND SURVEYOR
	ASSESSOR PARCEL NUMBER
	WATER LINE

### PROPOSED LEGEND

	SEWER PLUG/ WATER CAP
	SEWER MANHOLE
	SEWER CLEANOUT
	WATER METER
	FIRE HYDRANT
	TAPPING SLEEVE AND VALVE
	VALVE
	STORM DRAIN HEADWALL
	DRYWELL
	SIGN
	CONC. SIDEWALK
	LIGHT POLE
	SURVEY MONUMENT
	ASPHALT PAVING
	8" S SEWER LINE
	8" W WATER LINE
	RETAINING WALL
	STORM DRAIN PIPE
	FLOWLINE



SHEET INDEX	
Sheet Number	Sheet Title
01	COVERSHEET
02	PRELIM. GRADING AND DRAINAGE
03	CROSS SECTION
04	UTILITY PLAN



### CIVIL ENGINEER

ATWELL  
4800 N. SCOTTSDALE RD STE. 1600  
SCOTTSDALE, AZ 85251  
PHONE: (480) 218-8831  
CONTACT: RAMZI GEORGES, P.E.

### ARCHITECT

PI ARCHITECTS  
ADDRESS: 6010 BALCONES DR.  
STE 200  
AUSTIN, TX 78731  
PHONE: (512) 231-1910  
CONTACT: ERIC LINCON

### OWNER \ DEVELOPER

INVESTCOR DEVELOPMENT  
ADDRESS: 3001 RR 620 SOUTH,  
STE. 324  
AUSTIN, TX 78738  
PHONE: (702) 204-2420  
CONTACT: TYLERE BRENNAN

### BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF GANTZEL ROAD AND COMBS ROAD BEING THE SOUTHWEST CORNER OF SECTION 29, T.2S., R.8E.  
ELEV. = 1483.72 (PROJECT DATUM)

SAID BENCHMARK ELEVATION IS THE BASIS OF PLAN INFORMATION SHOWN HEREON.

### DATUM EQUATIONS:

NAVD88 ELEV. = PLAN INFORMATION + 1.196 FEET

VILLAGE OF PECAN GROVE PLANS (SPR-084-22) BY CVL CONSULTANTS ELEV. = PLAN INFORMATION + 1.196 FEET

### BASIS OF BEARING

BASIS OF BEARING IS ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29, T.2S., R.8E., BEING N89°45'10"E WITH A DISTANCE OF 2643.41 FEET.

### UTILITY LIST FOR CONFLICT

DESCRIPTION	DATE
SRP	-
CENTURY LINK	-
MESA GAS RESOURCES	-
MEDIACOM	-
COX COMMUNICATIONS	-
WANRACK	-
EPCOR SEWER	-
TOWN OF QUEEN CREEK WATER	-

\*CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORSEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.

### UNDERGROUND UTILITY NOTE

THE UTILITIES HEREON ARE BASED UPON THE FIELD SURVEY. CONTRACTOR TO CONTACT BLUE STAKE 48 HOURS PRIOR TO ANY ONSITE CONSTRUCTION AND VERIFY EXACT LOCATIONS OF ALL UTILITIES. IF DISCREPANCIES EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

### RECORD DRAWING CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

REGISTERED ENGINEER/LAND SURVEYOR

DATE

REGISTRATION NUMBER

### LEGAL DESCRIPTION

PARCEL NO. 3, OF RECORD OF SURVEY MINOR LAND DIVISION, ACCORDING TO THE SURVEY OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA RECORDED IN DOCUMENT NO. 2018-023566 OF SURVEYS, AND BEING LOCATED IN A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

### FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FLOOD ZONE	BASE FLOOD ELEVATION
04021	0475	E	12-04-2007	X	N/A

### SITE SUMMARY TABLE

ASSESSOR'S PARCEL NUMBER: 10422008Y  
GROSS SITE AREA: 5.93 AC.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



COVERSHEET  
PRELIM. CIVIL IMPROVEMENT PLAN  
COMBS AND ENCANTERRA SENIOR LIVING II  
PINAL COUNTY, ARIZONA



Know what's below.  
Call before you dig.

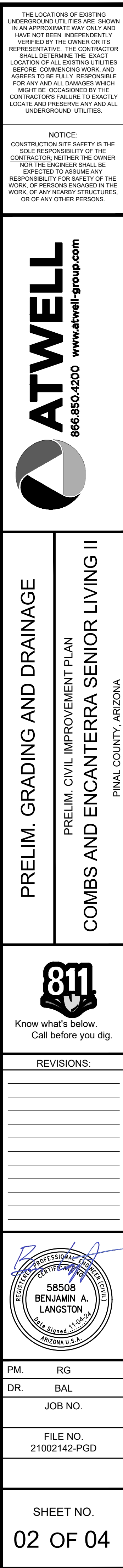
### REVISIONS:

NO.	DESCRIPTION



PM.	RG
DR.	BAL
JOB NO.	21002142
FILE NO.	21002142-PGD
CS01	
SHEET NO.	01 OF 04

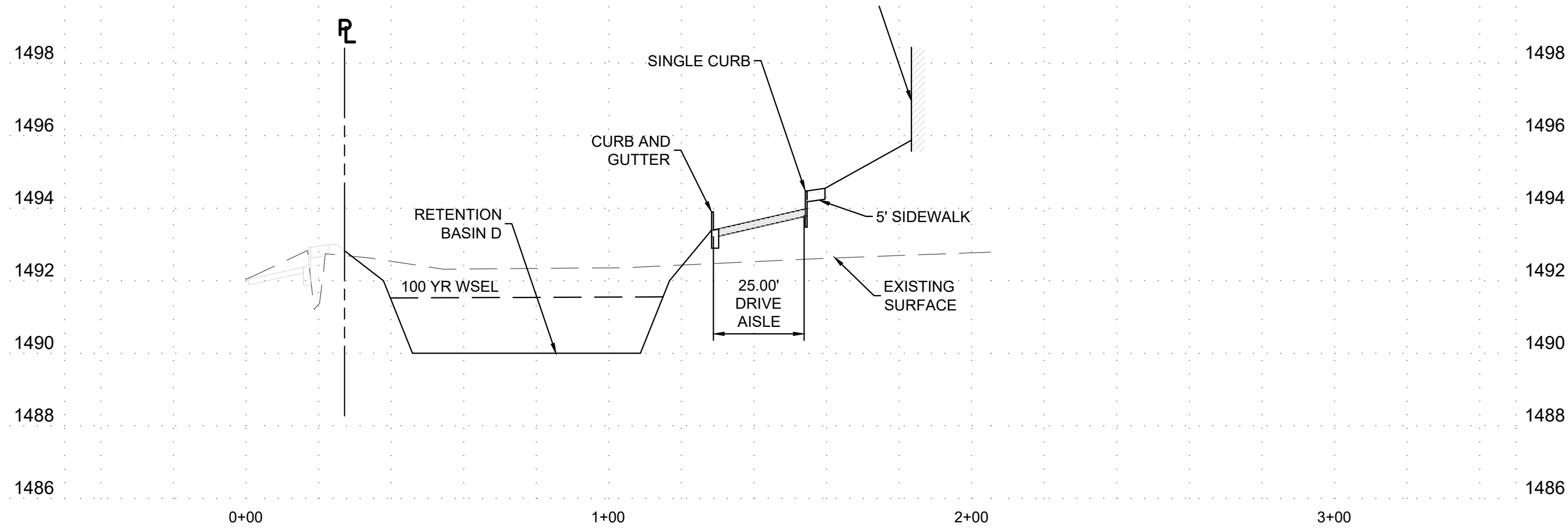




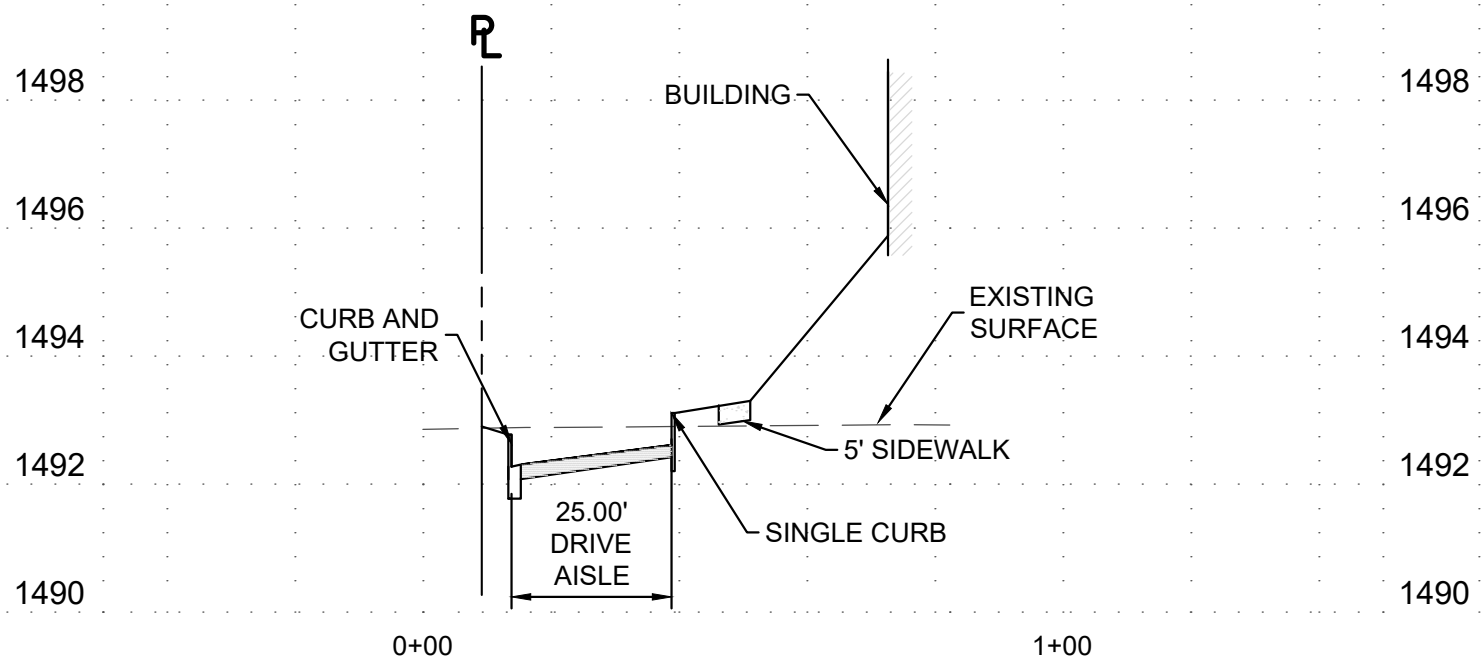


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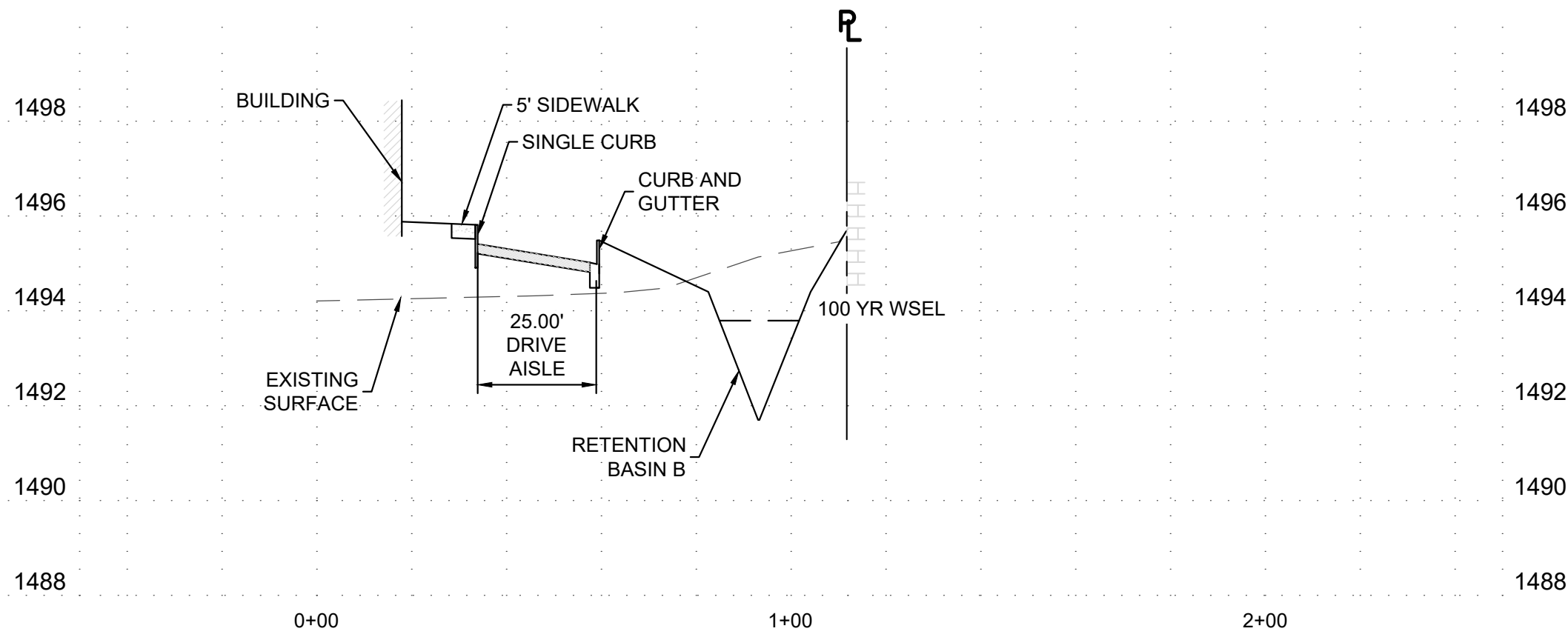
\\ah\project-data\shared-projects\21002142-combs & encanterra senior living\dwg\plan sets\site-preliminary\21002142-spt.dwg Pldate: 11/4/2024



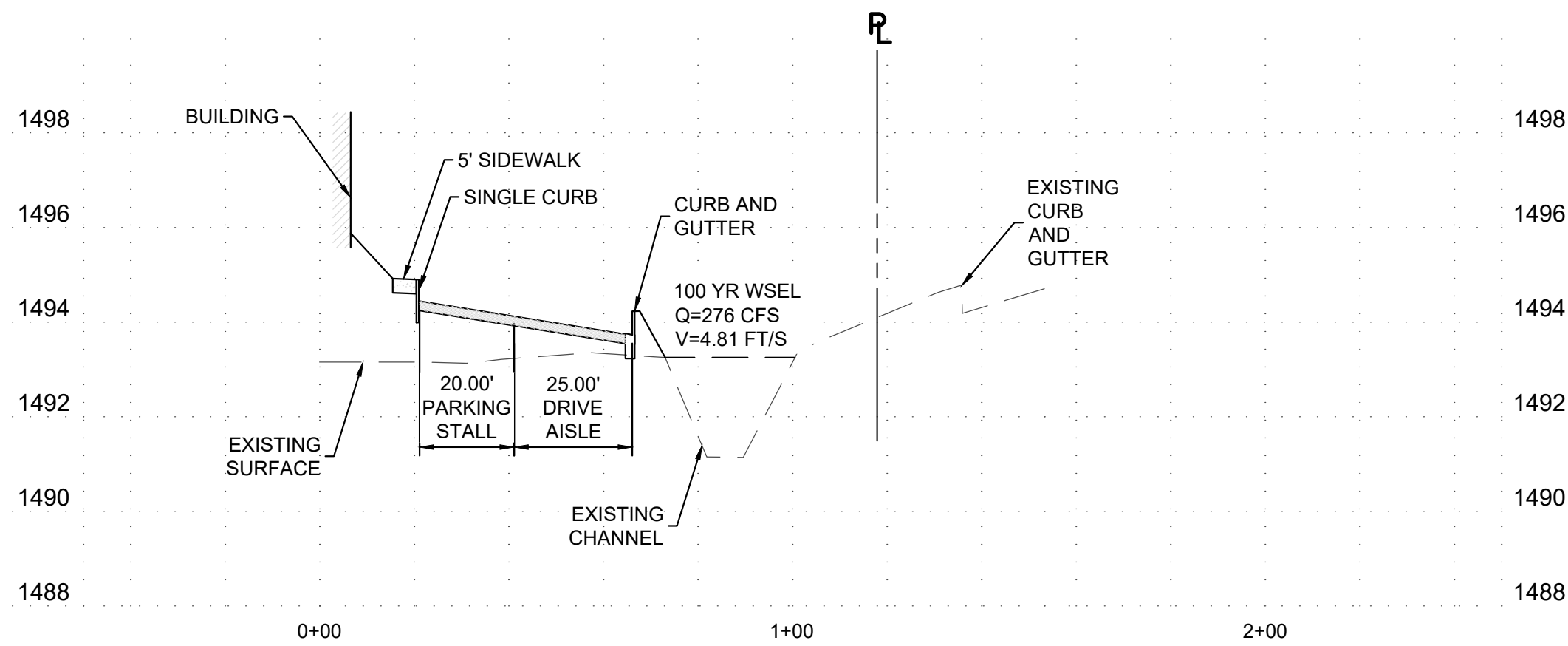
SECTION A PROFILE VIEW  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



SECTION B PROFILE VIEW  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



SECTION C PROFILE VIEW  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



SECTION D PROFILE VIEW  
HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
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CROSS SECTIONS  
PRELIM. CIVIL IMPROVEMENT PLAN  
COMBS AND ENCANTERRA SENIOR LIVING II  
PINAL COUNTY, ARIZONA



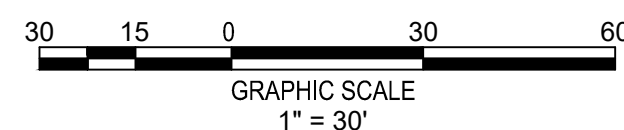
REVISIONS:	



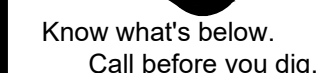
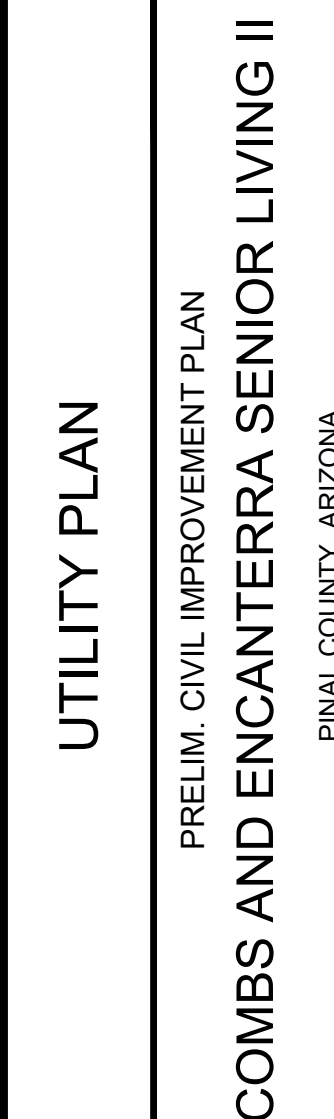
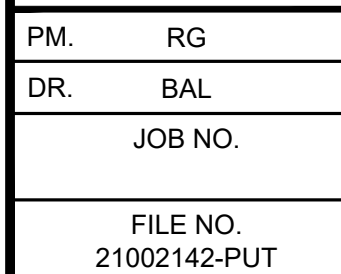
PM.	RG
DR.	BAL
JOB NO.	
FILE NO. 21002142-PGD	

SHEET NO.  
03 OF 04





**NOTICE:**  
CONSTRUCTION SITE SAFETY IS THE  
SOLE RESPONSIBILITY OF THE  
CONTRACTOR. NEITHER THE OWNER  
NOR THE ENGINEER SHALL BE  
EXPECTED TO ASSUME ANY  
RESPONSIBILITY FOR SAFETY OF THE  
WORK, OF PERSONS ENGAGED IN THE  
WORK, OF ANY NEARBY STRUCTURES,  
OR OF ANY OTHER PERSONS.

[illegible]

SHEET NO.  
04 OF 04





SITE DATA:

EXISTING ZONING: C-2 PAD  
PROPOSED ZONING: C-2 PAD WITH AMENDED STIPULATIONS  
SITE LOCATION: NEC of COMBS AND ENCANTERRA  
SITE SIZE: 5.93 GROSS ACRES  
SENIOR UNITS: UP TO 100  
MIN. PARKING REQUIREMENT: 1 SPACE PER 2 BEDROOMS PLUS 1 SPACE PER EMPLOYEE OF LARGEST WORKING SHIFT  
REQUIRED PARKING: 66 SPACES  
PARKING PROVIDED: 75 SPACES

	EXISTING MIN. C-2 (PAD) CRITERIA	PROPOSED MIN. C-2 (PAD) CRITERIA	PROPOSED YARDS
FRONT (COMBS ROAD)	20 FT	20 FT	122 FT
SIDE (ENCANTERRA DRIVE & EAST PL)	0' FROM COMBS RD. 15' FROM EAST PL	15' FROM COMBS RD. 15' FROM EAST PL	165 FT FROM ENCANTERRA DR. 82 FT FROM EAST PL
REAR (NORTH PL)	25 FT	25 FT	70 FT

	EXISTING C-2 (PAD)	PROPOSED C-2 (PAD AMENDED)
BUILDING HEIGHT	36' MAX.	36' MAX.
BUILDING FLOORS	1 MAX.	PARTIAL 2-STORY
MIN. OPEN SPACE	10%	20%

LANDSCAPING: NO CHANGES PROPOSED TO APPROVED LANDSCAPE REQUIREMENTS. RETENTION BASINS AND OTHER OPEN AREAS OR SETBACKS TO BE LANDSCAPED AS REQUIRED BY PAD OR BY PINAL COUNTY STANDARDS.WHICHEVER IS GREATER

FIGURE 4: PROPOSED CONCEPTUAL SITE PLAN

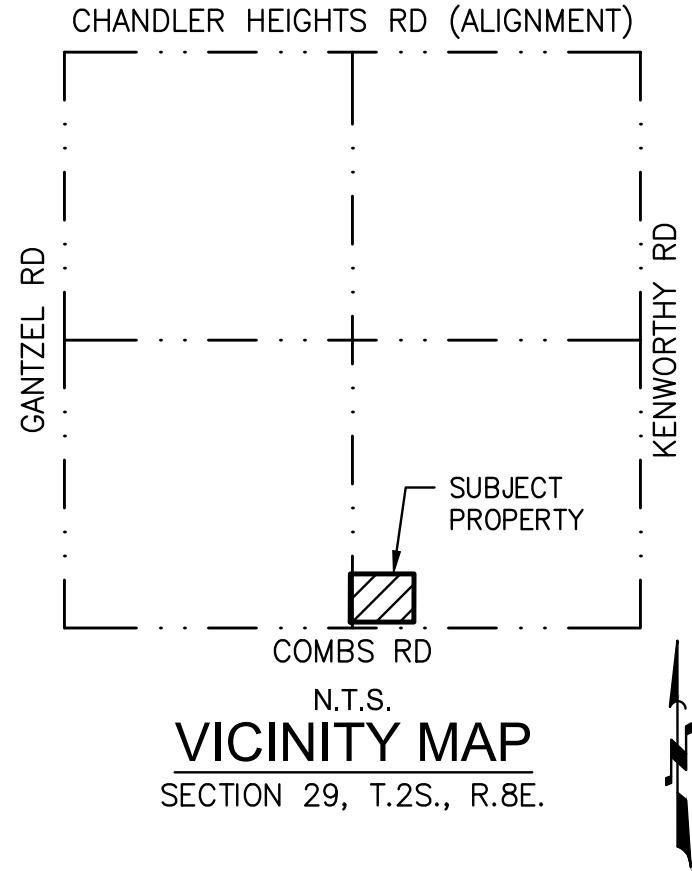




FIGURE 5: PROPOSED CONCEPTUAL ARCHITECTURE



ALTA/NSPS LAND TITLE SURVEY  
COMBS & ENCANTERRA SENIOR LIVING  
A PORTION OF THE SOUTH HALF OF  
SECTION 29, TOWNSHIP 2 SOUTH, RANGE 8 EAST, OF  
THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



TITLE REFERENCE

THIS SURVEY IS BASED UPON THE COMMITMENT FOR TITLE INSURANCE PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY ORDER NO. A-130433 DATED JUNE 17, 2021. ATWELL LLC HAS RELIED SOLELY UPON THE INFORMATION CONTAINED WITHIN SAID COMMITMENT AND SCHEDULE B DOCUMENTS PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AS LISTED HEREON. ATWELL LLC AND JESSE BOYD, RLS MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT COMMITMENT.

LEGAL DESCRIPTION

PARCEL NO. 3, OF RECORD OF SURVEY MINOR LAND DIVISION, ACCORDING TO THE SURVEY OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA RECORDED IN DOCUMENT NO. 2018-023566 OF SURVEYS, AND BEING LOCATED IN A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

SCHEDULE B DOCUMENTS

- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I - REQUIREMENTS ARE MET.  
NO PLOTTABLE ELEMENTS.
- RESERVATIONS OR EXCEPTIONS IN PATENT OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF.  
NO PLOTTABLE ELEMENTS.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, AND AGREEMENTS, COVENANTS, CONDITIONS OR RIGHTS INCIDENT THERETO, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.  
NO PLOTTABLE ELEMENTS.
- TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, A LIEN NOT YET DUE AND PAYABLE FOR THE YEAR 2021.  
NO PLOTTABLE ELEMENTS.
- EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS, SET BACK LINES AND ALL OTHER MATTERS AS SET FORTH ON THE PLAT RECORDED IN CABINET A OF MAPS, SLIDE 31, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN. THEREAFTER MAP OF ABANDONMENT RECORDED IN CABINET F, SLIDE 169.  
PLOTTED AND SHOWN HEREON.
- EASEMENT FOR SLOPE AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT RECORDED IN DOCUMENT NO. 2005-117728.  
PLOTTED AND SHOWN HEREON.
- TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN DOCUMENT NO. 2006-017404.  
LIES OUTSIDE SUBJECT PROPERTY.
- TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN DOCUMENT NO. 2006-017405.  
LIES OUTSIDE SUBJECT PROPERTY.
- EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT RECORDED IN DOCUMENT NO. 2007-042556.  
PLOTTED AND SHOWN HEREON.
- EASEMENT FOR ELECTRICAL FACILITIES AND APPURTENANCES AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT RECORDED IN DOCUMENT NO. 2008-018824.  
PLOTTED AND SHOWN HEREON.
- EASEMENT FOR TEMPORARY ACCESS AND UTILITIES AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT RECORDED IN DOCUMENT NO. 2017-037503.  
LIES OUTSIDE SUBJECT PROPERTY.
- EASEMENTS AND OTHER MATTERS AS SHOWN ON SURVEY RECORDED IN DOCUMENT NO. 2018-023566 OF SURVEYS.  
PLOTTED AND SHOWN HEREON.

GENERAL NOTES

- DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF SURVEY, AND TO THOSE PARTIES LISTED IN THE SURVEYOR'S CERTIFICATION.
- THIS SURVEY IS VALID ONLY WHEN BEARING THE SEAL AND SIGNATURE OF SURVEYOR.
- THIS SURVEY IS BASED ON FIELD WORK PERFORMED BY ATWELL DURING THE MONTH OF JULY 2021. SITE CONDITIONS THAT HAVE CHANGED SUBSEQUENT TO FIELD WORK WILL NOT BE REFLECTED HEREON.

BASIS OF BEARING

BASIS OF BEARING IS ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29, T.2S., R.8E., BEING N89°45'10"E WITH A DISTANCE OF 2643.41 FEET.

REFERENCE DOCUMENTS

2007-042553, PINAL COUNTY RECORDS

2021 ALTA/NSPS STANDARD TABLE "A" ITEMS

- ADDRESS OF THE SUBJECT PROPERTY IS UNKNOWN.
- SUBJECT PROPERTY LIES IN ZONE "X" (OTHER AREAS) PER FEMA FLOOD INSURANCE RATE MAP NUMBER 04021C0475E, EFFECTIVE DATE DECEMBER 4, 2007.
- TOTAL GROSS LAND AREA = 258,295 S.F. (5.930 AC), MORE OR LESS
- ONE-FOOT CONTOURS SHOWN HEREON ARE FROM GROUND SURVEY MEASUREMENTS BASED ON NAVD 88, AS MEASURED FROM THE FOLLOWING BENCHMARK:  
  
PINAL COUNTY CONTROL NETWORK POINT #208211  
THE SOUTHWEST CORNER OF SECTION 29, T2S, R8E, MARKED BY A BRASS CAP FLUSH "PINAL COUNTY HWY DEPT"  
NAVD 88 ELEVATION = 1483.72
- SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON.
- EXISTING FENCE AND WALL ALONG THE EAST BOUNDARY SHOWN HEREON.
- EVIDENCE OF EXISTING UTILITIES IS SHOWN HEREON.
- NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS ARE SHOWN HEREON.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED.
- SURVEYOR IS UNAWARE OF ANY PLOTTABLE OFFSITE EASEMENTS AFFECTING THE PROPERTY.

SURVEYOR'S CERTIFICATION:

TO:

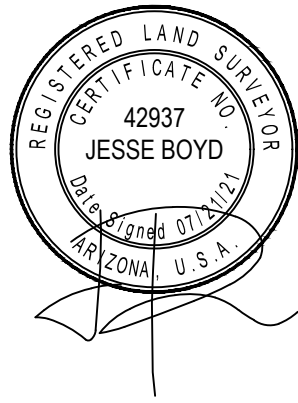
PEART 583, LLC, AN ARIZONA LIMITED LIABILITY COMPANY AND  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 8, 10, 11, 13, 16, AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 16, 2021.

DATE OF MAP: JULY 21, 2021

JESSE BOYD

RLS 42937



NOTE:

A.R.S. § 32-151 STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR FINDINGS THAT ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.

ATWELL  
866.850.4200  
www.atwell-group.com  
4700 E. SOUTHERN AVENUE  
MESA, AZ 85206  
480.216.6651

COUNTY: PINAL

SECTION: 29

TOWNSHIP: 2 SOUTH

RANGE: 8 EAST

ALTA/NSPS LAND TITLE SURVEY  
COMBS & ENCANTERRA  
SENIOR LIVING  
PINAL COUNTY, ARIZONA

JULY 2021

REVISIONS:

PM. J. BOYD

DR. J. BOYD

JOB NO. 21002142

N.T.S.

21002142 - COMBS & ENCANTERRA ALTA.DWG

SHEET NO.

1 OF 2





**Combs & Encanterra**  
**Senior Living II**  
**Preliminary Drainage Report**  
**Job No. 21002142**

Prepare For:

**Investcor Development**  
3001 RR 620 South, Ste. # 324  
Austin, TX 78738

Prepared By:

**Atwell, LLC**  
4900 N. Scottsdale Rd  
Scottsdale, Arizona 85251



November, 2024

**Combs & Encanterra Senior Living II  
Preliminary Drainage Report****TABLE OF CONTENTS**

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1.3	PURPOSE.....	1
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## **APPENDICES**

### **EXHIBITS**

- EXHIBIT 1 – VICINITY MAP
- EXHIBIT 2 – FEMA FIRM
- EXHIBIT 3 – ONSITE DRAINAGE MAP

### **APPENDIX A**

- NOAA ATLAS 14

### **APPENDIX B**

- RETENTION VOLUME CALCULATIONS
- ADDITIONAL COURTYARD CALCULATIONS
- DRYWELL CALCULATIONS

### **APPENDIX C**

- COMBS ROAD CHANNEL HYDRAULIC FLOWMASTER CALCULATIONS
- RATIONAL 100-YEAR PEAK FLOW CALCULATIONS

### **APPENDIX D**

- EXCERPTS FROM VILLAGE AT PECAN GROVE FINAL DRAINAGE REPORT

### **APPENDIX E**

- COMBS & ENCANTERRA GRADING AND DRAINAGE PLAN



## **1.0 PROJECT DESCRIPTION AND LOCATION**

### **1.1 PROJECT DESCRIPTION**

Combs & Encanterra Senior Living II (the Site) is a proposed approximately 5.93-acre assisted living development located within the south half of Section 29, Township 2 South, Range 8 East, of the Gila and Salt River Meridian, Pinal County, Arizona. Zoning and Land Use will be C1-B PAD zoning.

The Site is bounded on the north by the Pecan Creek South Unit 3 subdivision, to the west by an existing vacant farmland lot owned by Peart 583 LLC, and to the east by the Pecan Creek South Unit 4 subdivision, and south E. Combs Road and the Encanterra Community Association. The site was a part of a recent lot split and assigned the APN 104-22-683. See Exhibit 1 - Vicinity Map for the location of this project.

The Combs & Encanterra Senior Living II development proposes one elderly care and assisted living building, a drive aisle that loops around the building, two driveway entrances, parking stalls, ADA walkways, and open space/landscaping.

### **1.2 LOCATION AND TOPOGRAPHY**

The Site is located northeast of the intersection of E. Combs Road and N. Encanterra Drive. The Site is vacant farmland sloping to the west at an average slope of 0.5 percent.

### **1.3 PURPOSE**

The purpose of this Preliminary Drainage Report is to describe and analyze on-site and offsite drainage and retention for the Site. This report presents a plan to direct on-site storm water runoff to retention basins via surface drainage and storm drain.

## **2.0 FEMA FIRM**

The Site is located on Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map (FIRM), Number 04021C0475E. See Exhibit 2 for the FEMA FIRMette map. The Site is located in Flood Hazard Zones "X." Flood Hazard Zone "X" is defined as

"Area of Minimal Flood Hazard."





### **3.0 OFFSITE DRAINAGE**

#### **3.1 OFFSITE HYDROLOGY**

There is an offsite flow entering the site from the southeast via the Combs Road Channel. This existing channel was originally designed to capture 276 CFS originating from the intersection of Combs & Kenworthy Roads. However, as a part of the Wales Ranches development in this area, this contributing area was developed and its generated flow was effectively removed. Only runoff from Combs Road currently enters this channel currently. The Pecan Grove Drainage report by Coe & Van Loo Consultants, Inc, (CVL) describes a total of 47 CFS of offsite flows within the Combs Road Channel.

With the development of the Combs & Encanterra Senior Living II project, the existing channel will be maintained along the project frontage. The extension of Encanterra Drive as well as two 36" RCP culverts designed by CVL as a part of the Village at Pecan Grove project to the west of the Site. This culvert will connect to the existing channel at the intersection of Encanterra Drive and Combs Road to convey the 47 CFS past the Combs & Encanterra Senior Living II project Site. This study mentioned above have been reviewed and accepted for reference for the project's design. The channel and the culverts have the capacity to take on the 47 CFS without overtopping and therefore there are no offsite flows directly impacting the site. A water surface elevation of the channel of 1493.73 is reported in the CVL report. Due to a benchmark difference between the project surveys of -1.196, the critical WSE for the channel adjacent to our project will be 1494.54. Refer to Appendix D for excerpts from the Pecan Grove drainage report by CVL, and for the Final Drainage Map provided by CVL for these offsite improvements and WSE.

### **4.0 PROPOSED DRAINAGE INFRASTRUCTURE**

#### **4.1 GUIDELINES**

This Report is based on the Pinal County Drainage Manual (PCDM) of August 2004, Pinal County Drainage Ordinance of 1998, and the Pinal County Floodplain Ordinance. Structures will be specified Per Maricopa County Association of Government (MAG) standards details and specifications.

#### **4.2 ONSITE RETENTION REQUIREMENTS**

The Site is designed to retain the onsite runoff from a single 100-year, 2-hour storm event. The NOAA Atlas 14 has been used to determine the precipitation depth for the Site. The Precipitation for the Site for a 100-year, 2-hour storm is 2.25 inches. (See the Appendix B for NOAA 14 information).

#### **4.3 METHODOLOGY AND CRITERIA**

The Rational Method was used to calculate 100-yr onsite peak flows for pavement drainage design. The onsite system will be designed to convey the peak 100-year flows within the site, while providing 1' min. freeboard to the finished floor. See the Onsite Drainage Map - Exhibit 3 in the Appendix for drainage areas, retention basins, and drywells. The basins will be constructed with a minimum of 4:1 side slopes adjacent to sidewalk/right-of-way. All basins have a maximum storage depth of 2.5 feet with 6" freeboard or 3 feet with 1 ft freeboard that ultimately outfall via spillways. All surface retention systems are designed to dissipate retained storm water within a 36-hour period. A maximum design percolation rate of 0.1 cubic feet per second (cfs) per drywell will be used in calculating the number of drywells required. See Appendix B for calculations. On-site peak flows from roof runoff and onsite sheet flows will be routed through drive aisle curb, valley gutters, and storm drain systems to retention basins. Riprap aprons will be placed downstream of all storm drain outlets and scuppers to protect against scour and erosion within the retention basins. All the onsite drainage infrastructure including catch basins, storm drain, drywells etc. will be designed per Pinal County Drainage Design Manual and Pinal County Standards.

Catch basins, storm drains, and other conveyance structures should be inspected and cleaned as frequently as needed to meet the standard of Pinal County Standards. The proposed drainage infrastructures may last up to 75 to 100 years before replacement.

#### **4.4 CONVEYANCE OF RUNOFF THROUGH THE SITE**

Catch basins and/or scuppers with spillways are designed to collect the 100-year peak flow and convey runoff directly into onsite retention Basins A, B, and C. There are two courtyards interior to the main Combs & Encanterra Senior Living II building, which have drain inlets and storm drains that outfall directly to into the surface retention Basin D. The above-ground retention area collection points will be designed to provide a minimum 1' freeboard to the finished floor from the maximum ponding depth. Riprap size and apron dimensions at curb openings have been sized per the Drainage Design Manual for Maricopa County, Hydraulics, August 2013 and supporting calculations can be found in Appendix C.

#### 4.5 REQUIRED RETENTION VOLUME

Weighted runoff coefficient calculations for the corresponding drainage areas are included in Appendix B. The retention volume required is calculated using the following equation according to the methodology presented in the Pinal County Drainage Design Manual:

$$V = C \times \left( \frac{P}{12} \right) \times A$$

Where:

V = Total runoff volume (cubic foot)  
C = Runoff coefficient  
P = 100-year 2-hour precipitation (inches)  
A = Drainage area (square feet)

#### 4.6 PROVIDED RETENTION VOLUME

The surface retention volume provided is calculated as the cumulative volume in one-foot increments and up to 2.5 feet of retention depth with 6" of freeboard or 3 feet of retention depth with 1 ft of freeboard using the following equation:

$$V_P = \sum \frac{D}{3} [A_T + A_B + \sqrt{A_T + A_B}]$$

Where:

V<sub>p</sub> = Total provided retention volume (cubic ft.)  
A<sub>T</sub> = Basin top area (square feet)  
A<sub>B</sub> = Basin Bottom area (square feet)  
D = Depth increment (typically 1 foot) (feet)

See Appendix B for Provided Retention Volume calculations as well as for the proposed underground retention system module specifications.

In addition to the provided retention volume, an average of 6 inches minimum retention is also provided within the courtyard areas and can contain the 100 year storm event volume before backing into the building in the event the provided area drains are blocked. Courtyard volume calculations can be found in Appendix B.

#### 4.7 BASIN DRAIN TIME

Per Pinal County Ordinance, the maximum disposal time for a retention basin is 36-hours. Drywells will be utilized for some retention basins that will not be able to percolate through the surface. The number of required drywells is calculated based on 0.1 cubic feet per second dissipation rate per Pinal County and Flood Control District of Pinal County's requirements to drain the retention volume within 36-hours. To ensure the proper number of drywells is constructed, the contractor is to build one drywell per basin (where indicated) and test the percolation rate to

ensure a 36-hour drain time. The results from the test are to be de-rated by a factor of 2 to establish the as-built percolation rate. The percolation rate to be used is the tested de-rated design percolation rate. The number of drywells may be increased or decreased to meet storm water drain time requirements. All drywells shall be registered and meet all provisions of Arizona Department of Environmental Quality (ADEQ).

#### **4.8 ULTIMATE OUTFALL**

The Site is designed to accommodate the 100-year, 2-hour storm event. During extreme or back to back storm events, the excess storm water will pond until it overflows into an adjacent drainage boundary or into the adjacent basins/channels until ultimately reaching the Site's Ultimate Outfall. The Site has 3 Ultimate Outfall locations for each Basin A, B and C. Basin D will overflow into Basin C and share its ultimate outfall. Ultimate Outfall A is located at the northwest driveway entrance of the site and will enter future Encanterra Drive at 1491.51. Ultimate Outfall B is located on the southeast corner of the Site at an approximate finished grade elevation of 1494.4, where flows will overtop Basin B and enter the existing roadside channel and Ultimate Outfall C is located at the southwest corner of the Site at an approximate finished grade elevation of 1492.55, where flows will overtop Basin C and enter the existing roadside channel. The Site will utilize this outfall elevation when setting the adjacent finished floor elevations. The site ultimate outfall and Drainage boundaries are shown on the Onsite Drainage Map, Exhibit 3 in the Appendix.

#### **4.9 FINISH FLOOR ELEVATIONS**

Internal outfalls will be analyzed for each drainage boundary to ensure no ponding depth in extreme storms will be greater than 6" in depth before outfalling. The finished floor elevation will be set a minimum of 12" above any surface basin's 100 year water surface elevation, and minimum 2' above the Combs Road side channel's 100-year surface elevation.

#### **5.0 SUGGESTED MAINTENANCE PROGRAM**

Maintenance of the proposed onsite drainage infrastructure will be the responsibility of the Owner. Inspections should take place after significant rainfall events. Debris that collects on the grates shall be removed. Any indication of erosion should be evaluated by a professional engineer, qualified to provide recommendations and evaluation of drainage systems. Operation and maintenance for the offsite Combs Road side-channel and proposed culvert shall be performed by Pinal County.

Drywells are to be maintained by the Owner. Any loss of efficiency due to screen





clogging and accumulation of silt shall be remedied by jetting with water and compressed air. The interception chamber of the drywells traps heavy sediment and trash. They shall be cleaned periodically as described below. The construction and maintenance of a sediment trap around the inlet can reduce the sediment in the chamber.

Inspections shall be performed annually or when ponding remains longer than 36 hours after a storm. Inspections shall be documented using the ADEQ inspection checklist form and retained on file by the Owner.

Maintenance shall occur:

- For drywells in paved areas – when 10% of capacity of the interception chamber is filled with sediment and debris.
- For drywells in landscape areas – when 20% capacity of the interception chamber is filled with sediment and debris.
- When drainage time exceeds 36 hours.
- Non-storm water discharge has entered the drywell.
- Upon change of ownership.

Maintenance items include the following:

- Dirt and debris removal.
- Replacement of petrochemical absorbent and any filter fabrics.
- Cleaning of the screens.
- Opening of liner weep holes.
- Purging of silt accumulated in aggregate by jetting, surging, or pumping.

## **6.0 SUMMARY AND CONCLUSIONS**

In conclusion, this Drainage Report for Combs & Encanterra Senior Living II was prepared in accordance with the Pinal County Drainage Ordinance, and the Pinal County Drainage Design Manual. The design of Combs & Encanterra Senior Living II is in conformance with the approved Master Drainage Report and will not cause any adverse drainage impacts or increased drainage problems for adjacent properties. The following items are noted:

- Streets will be designed to convey the onsite 10-year peak flow between curbs without overtopping curb and the 100-year peak flow within the right-of-way.
- Flow path are designed to convey runoff generated within the Site to



retention basins via street flow, catch basins and storm drain pipes. Riprap aprons will be placed downstream of all storm pipe outlets to protect against the scour within the retention basins.

- Onsite retention basins provide sufficient capacity to retain the 100-year, 2-hour storm.
- Retention basins will drain within 36-hours. The dewatering of the retention basins will be accomplished by drywells.
- All finished floor elevations will be set to a minimum of 12-inches above the site outfall, adjacent 100-year water surface elevation or the drainage basins internal outfall elevation.
- The offsite channel will be maintained in its existing condition. Improvements for roadway crossings where necessary will be provided.
- There is no offsite flow directly impacting the site.

## **7.0 REFERENCES**

1. Pinal County Subdivision & Infrastructure Design Manual,
2. Flood Control District of Pinal County, Arizona. (August 2004). Pinal County Drainage Manual, Volume I & II.
3. Pecan Grove Final Drainage Report, July, 2022.

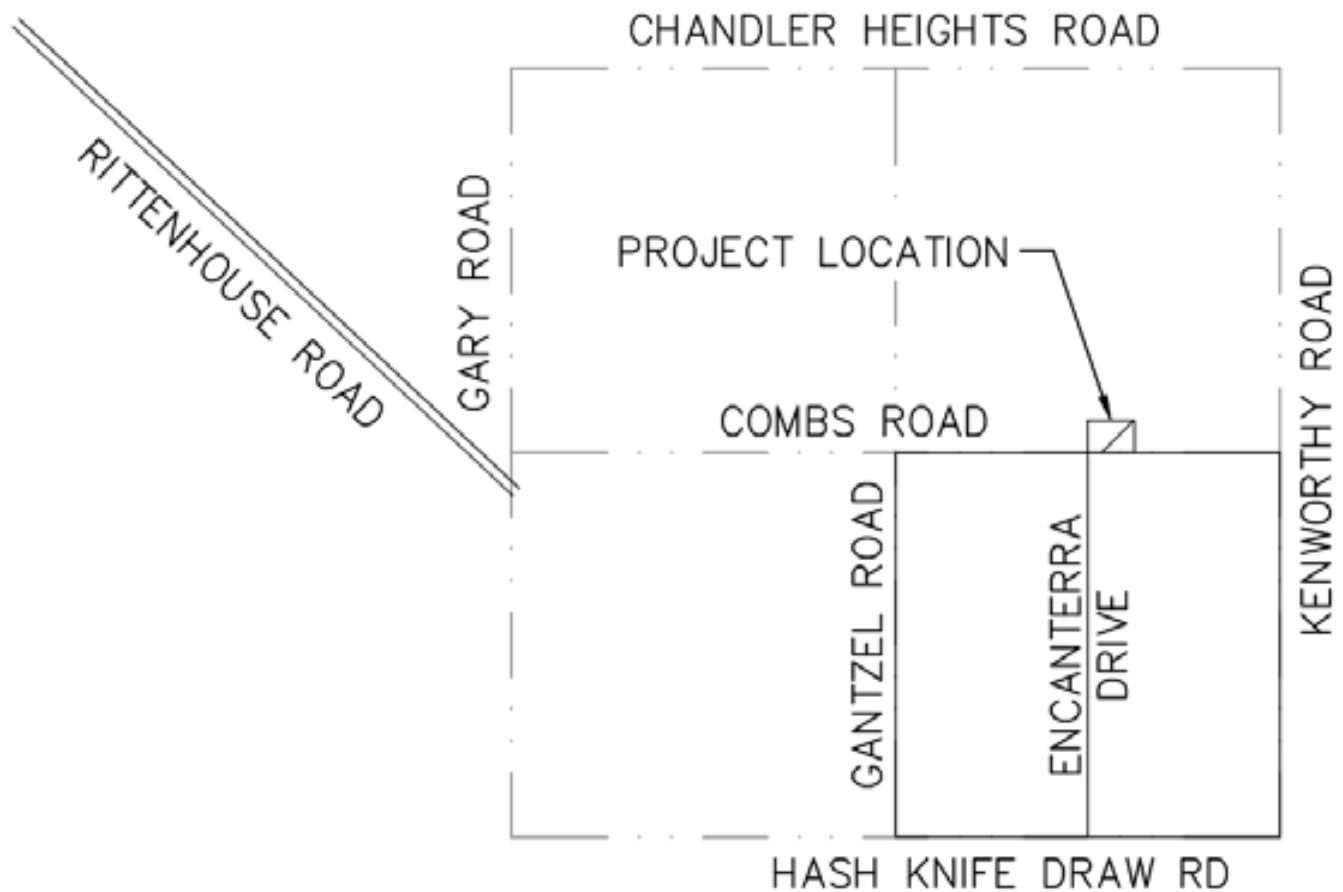
## **EXHIBITS**

EXHIBIT 1 – VICINITY MAP

EXHIBIT 2 – FEMA FIRM MAP

EXHIBIT 3 – ONSITE DRAINAGE MAP

## Exhibit 1 - Vicinity Map



N.T.S.  
**VICINITY MAP**  
SECTION 29, T.2S., R.8E.

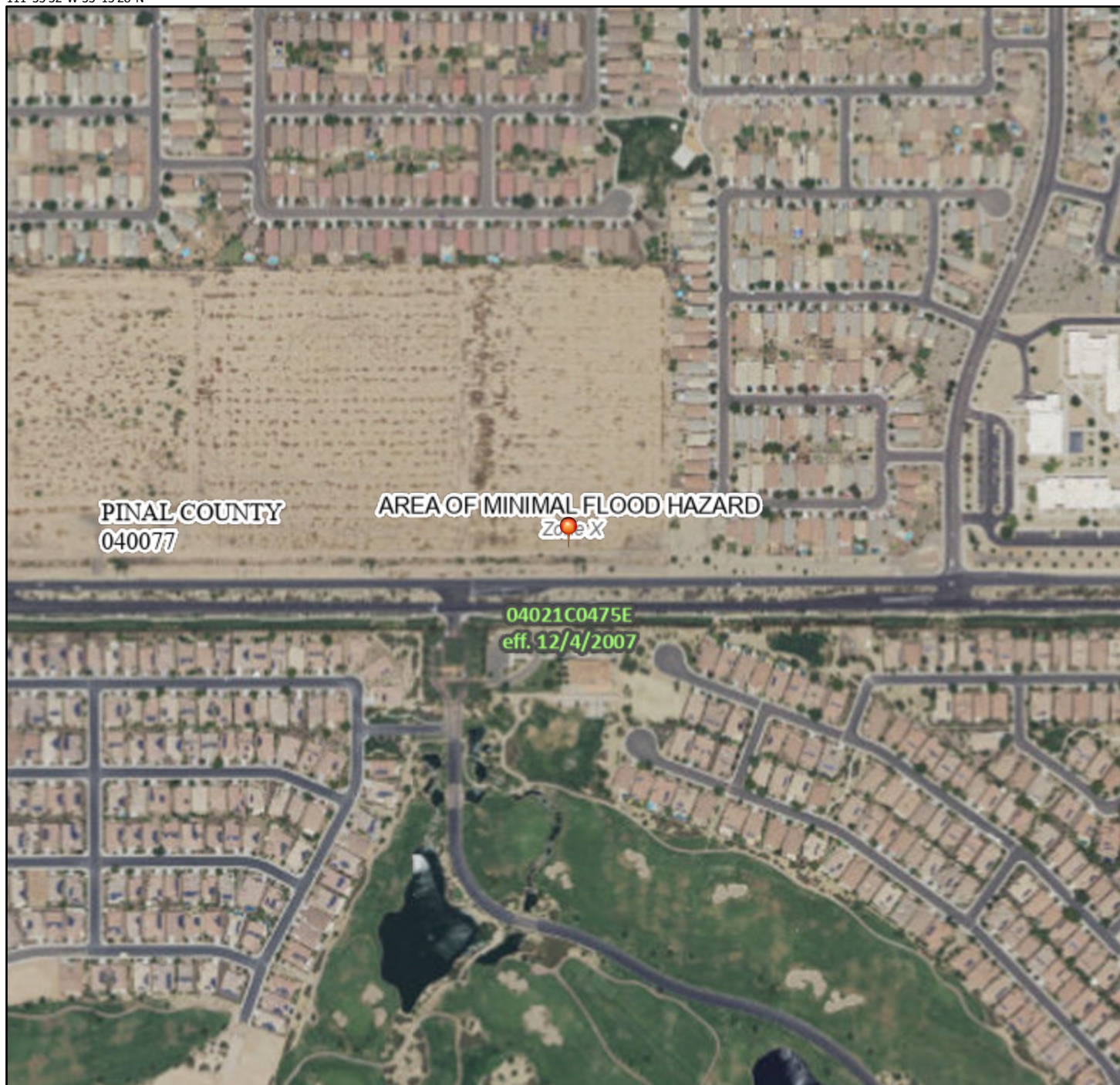




# Exhibit 2 - FEMA FIRMMette



111°33'32"W 33°13'28"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

111°32'55"W 33°12'58"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

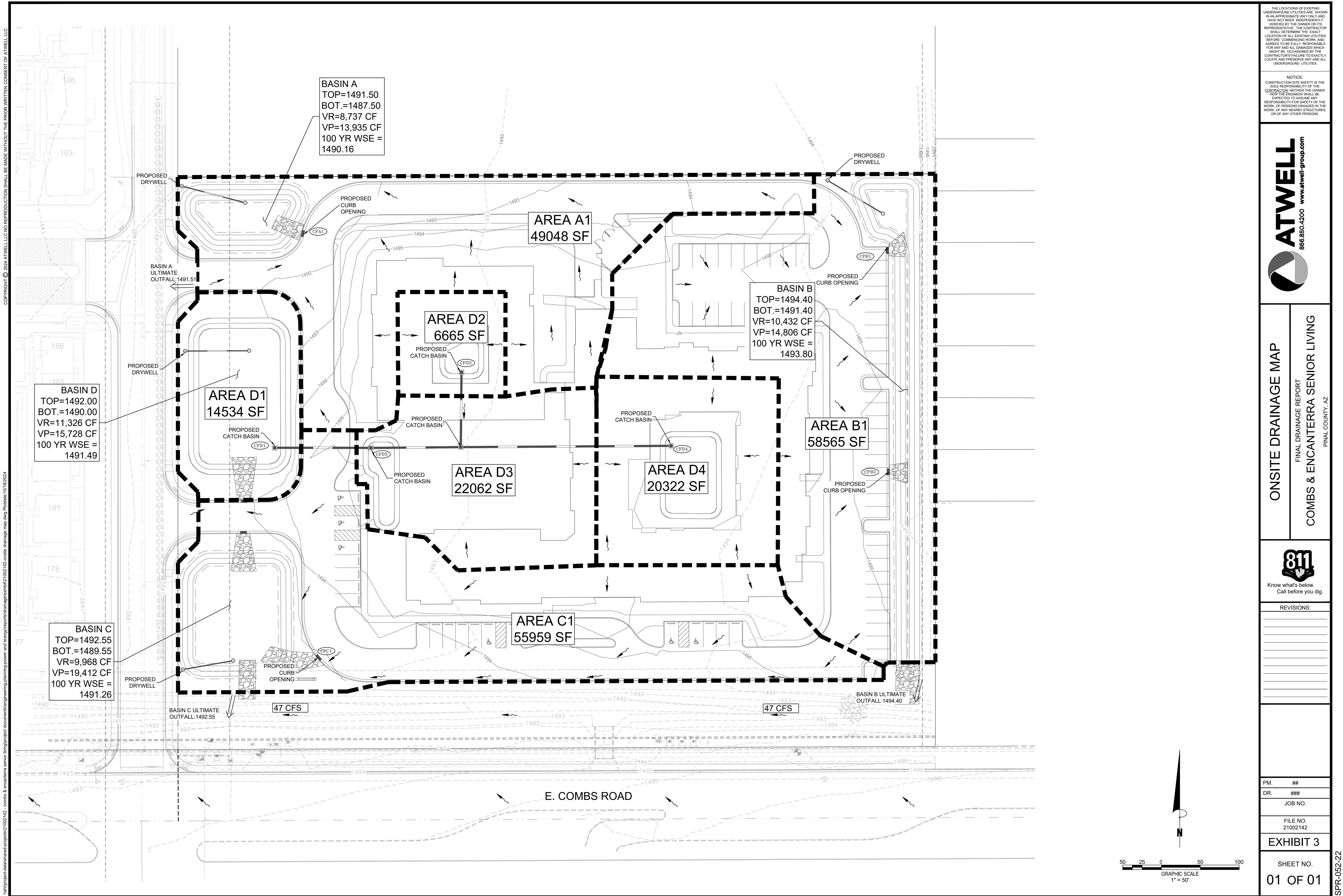


This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **8/25/2021 at 11:19 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.





\\ah\project-data\shared-projects\21002142 - combs & encanterra senior living\project documents\engineering-planning-power and energy\reports\drainage\exhibit\21002142-onsite drainage map.dwg Plotdate: 10/18/2024

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE DEEMED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**ATWELL**  
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**ONSITE DRAINAGE MAP**

FINAL DRAINAGE REPORT

**COMBS & ENCANTERRA SENIOR LIVING**

PINAL COUNTY, AZ

Know what's below.  
Call before you dig.

REVISIONS:


PM.	##
DR.	###
JOB NO.	
FILE NO. 21002142	
<b>EXHIBIT 3</b>	
SHEET NO. <b>01 OF 01</b>	

SPR-052-22

# **APPENDIX A**

NOAA ATLAS 14



**NOAA Atlas 14, Volume 1, Version 5**  
**Location name: San Tan Valley, Arizona, USA\***  
**Latitude: 33.2206°, Longitude: -111.5534°**  
**Elevation: 1498.22 ft\*\***

\* source: ESRI Maps  
 \*\* source: USGS



### POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps\\_&\\_aerials](#)

### PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) <sup>1</sup>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.195 (0.165-0.237)	0.255 (0.217-0.310)	0.345 (0.290-0.418)	0.414 (0.346-0.499)	0.508 (0.417-0.609)	0.580 (0.471-0.694)	0.654 (0.521-0.781)	0.729 (0.571-0.869)	0.829 (0.633-0.990)	0.906 (0.677-1.09)
10-min	0.297 (0.251-0.361)	0.388 (0.330-0.472)	0.526 (0.441-0.636)	0.630 (0.526-0.760)	0.772 (0.635-0.927)	0.883 (0.717-1.06)	0.996 (0.793-1.19)	1.11 (0.869-1.32)	1.26 (0.963-1.51)	1.38 (1.03-1.65)
15-min	0.368 (0.311-0.447)	0.481 (0.409-0.585)	0.652 (0.547-0.788)	0.781 (0.652-0.942)	0.958 (0.787-1.15)	1.10 (0.888-1.31)	1.23 (0.983-1.47)	1.38 (1.08-1.64)	1.56 (1.19-1.87)	1.71 (1.28-2.05)
30-min	0.495 (0.419-0.602)	0.648 (0.550-0.788)	0.877 (0.737-1.06)	1.05 (0.878-1.27)	1.29 (1.06-1.55)	1.47 (1.20-1.76)	1.66 (1.32-1.98)	1.85 (1.45-2.21)	2.11 (1.61-2.52)	2.30 (1.72-2.76)
60-min	0.613 (0.518-0.745)	0.802 (0.681-0.975)	1.09 (0.912-1.31)	1.30 (1.09-1.57)	1.60 (1.31-1.92)	1.83 (1.48-2.18)	2.06 (1.64-2.46)	2.29 (1.80-2.73)	2.61 (1.99-3.11)	2.85 (2.13-3.41)
2-hr	0.703 (0.596-0.840)	0.911 (0.775-1.09)	1.21 (1.02-1.45)	1.44 (1.21-1.73)	1.76 (1.46-2.09)	2.00 (1.64-2.38)	2.25 (1.81-2.67)	2.51 (1.98-2.96)	2.85 (2.19-3.36)	3.11 (2.34-3.70)
3-hr	0.748 (0.635-0.904)	0.957 (0.815-1.16)	1.26 (1.07-1.52)	1.49 (1.26-1.80)	1.82 (1.51-2.18)	2.08 (1.70-2.49)	2.36 (1.89-2.81)	2.64 (2.08-3.15)	3.04 (2.32-3.62)	3.36 (2.50-4.01)
6-hr	0.906 (0.783-1.07)	1.15 (0.991-1.35)	1.46 (1.26-1.72)	1.72 (1.47-2.01)	2.06 (1.74-2.40)	2.34 (1.94-2.71)	2.62 (2.14-3.04)	2.91 (2.34-3.38)	3.31 (2.58-3.84)	3.63 (2.77-4.22)
12-hr	1.03 (0.908-1.19)	1.30 (1.15-1.50)	1.65 (1.44-1.88)	1.91 (1.66-2.18)	2.28 (1.96-2.59)	2.56 (2.18-2.90)	2.84 (2.38-3.23)	3.13 (2.59-3.56)	3.53 (2.84-4.03)	3.83 (3.03-4.40)
24-hr	1.25 (1.12-1.41)	1.58 (1.42-1.78)	2.03 (1.82-2.28)	2.39 (2.13-2.68)	2.89 (2.55-3.23)	3.28 (2.87-3.66)	3.69 (3.20-4.12)	4.11 (3.52-4.59)	4.69 (3.95-5.26)	5.15 (4.28-5.80)
2-day	1.31 (1.18-1.47)	1.67 (1.50-1.88)	2.17 (1.95-2.44)	2.57 (2.30-2.88)	3.12 (2.77-3.48)	3.56 (3.12-3.96)	4.01 (3.48-4.47)	4.48 (3.85-5.00)	5.13 (4.33-5.75)	5.64 (4.69-6.36)
3-day	1.41 (1.28-1.56)	1.79 (1.63-1.99)	2.35 (2.12-2.60)	2.79 (2.52-3.09)	3.41 (3.06-3.77)	3.91 (3.48-4.32)	4.43 (3.91-4.90)	4.99 (4.35-5.52)	5.76 (4.95-6.39)	6.38 (5.41-7.11)
4-day	1.50 (1.37-1.65)	1.92 (1.75-2.11)	2.52 (2.30-2.77)	3.01 (2.74-3.30)	3.70 (3.35-4.06)	4.26 (3.83-4.67)	4.86 (4.34-5.33)	5.49 (4.85-6.03)	6.39 (5.56-7.04)	7.12 (6.14-7.87)
7-day	1.67 (1.53-1.83)	2.13 (1.94-2.33)	2.80 (2.55-3.07)	3.35 (3.04-3.67)	4.12 (3.72-4.51)	4.75 (4.26-5.19)	5.42 (4.83-5.93)	6.13 (5.41-6.71)	7.13 (6.21-7.85)	7.94 (6.83-8.77)
10-day	1.81 (1.66-1.98)	2.31 (2.11-2.53)	3.04 (2.77-3.33)	3.62 (3.30-3.96)	4.45 (4.03-4.86)	5.11 (4.60-5.59)	5.81 (5.20-6.36)	6.55 (5.81-7.17)	7.59 (6.64-8.35)	8.43 (7.30-9.29)
20-day	2.24 (2.05-2.46)	2.88 (2.63-3.16)	3.79 (3.45-4.15)	4.48 (4.07-4.90)	5.42 (4.91-5.92)	6.13 (5.53-6.71)	6.87 (6.16-7.52)	7.61 (6.79-8.35)	8.62 (7.61-9.49)	9.39 (8.23-10.4)
30-day	2.62 (2.40-2.87)	3.37 (3.09-3.68)	4.43 (4.05-4.82)	5.23 (4.78-5.70)	6.32 (5.74-6.88)	7.16 (6.47-7.80)	8.01 (7.21-8.74)	8.88 (7.95-9.71)	10.1 (8.90-11.0)	11.0 (9.63-12.1)
45-day	3.07 (2.81-3.37)	3.96 (3.62-4.33)	5.20 (4.74-5.68)	6.12 (5.57-6.68)	7.33 (6.65-8.00)	8.24 (7.44-9.01)	9.17 (8.24-10.0)	10.1 (9.01-11.0)	11.3 (10.0-12.4)	12.2 (10.8-13.5)
60-day	3.44 (3.15-3.76)	4.43 (4.06-4.84)	5.80 (5.31-6.34)	6.80 (6.21-7.43)	8.10 (7.37-8.84)	9.07 (8.22-9.90)	10.0 (9.05-11.0)	11.0 (9.86-12.0)	12.2 (10.9-13.4)	13.2 (11.6-14.5)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

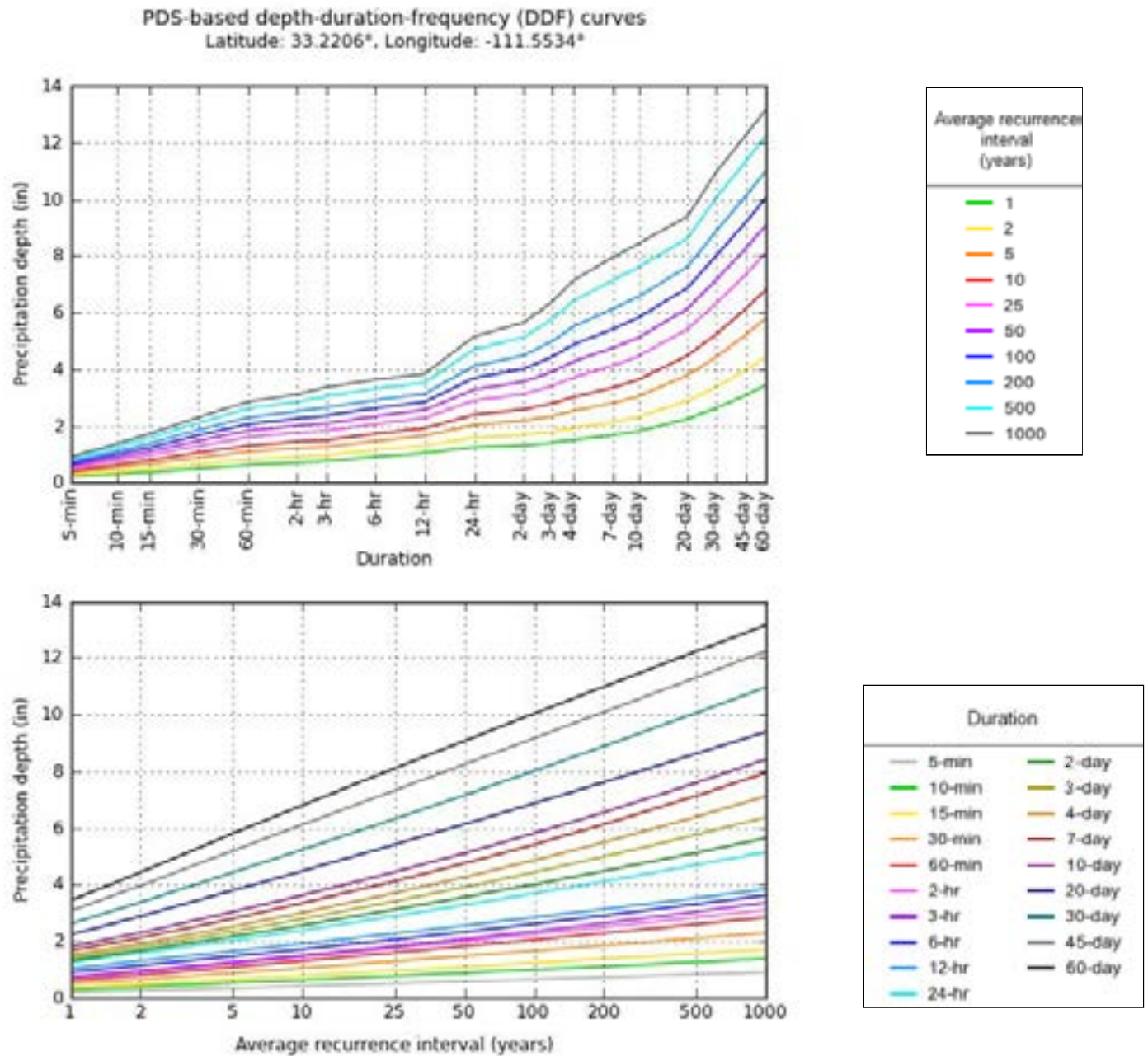
Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

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### PF graphical





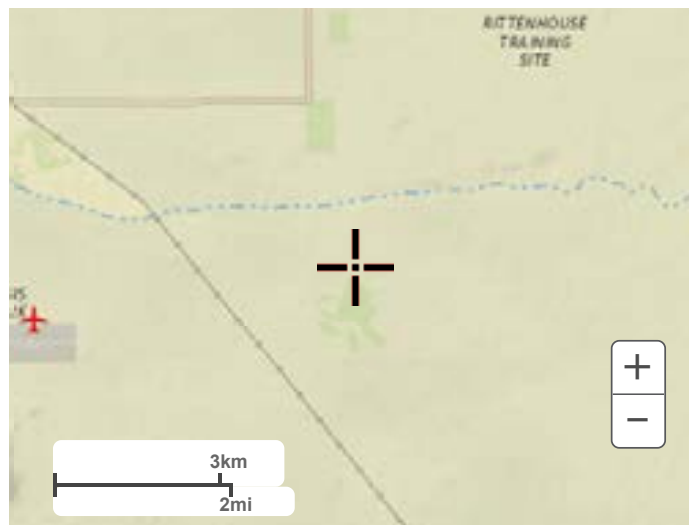
NOAA Atlas 14, Volume 1, Version 5

Created (GMT): Thu Aug 26 21:32:49 2021

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## Maps & aerials

Small scale terrain



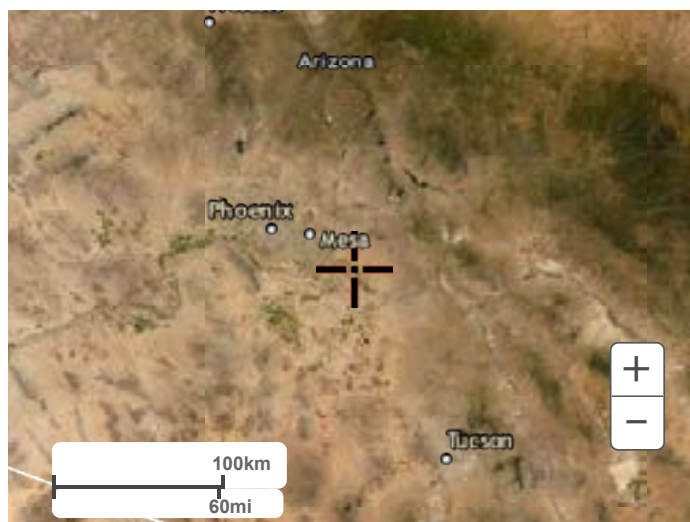
Large scale terrain



Large scale map



Large scale aerial



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## **APPENDIX B**

ONSITE RETENTION VOLUME CALCULATIONS

ADDITIONAL COURTYARD RETENTION CALCULATIONS

DRYWELL CALCULATIONS



Combs & Encanterra Senior Living - Proposed Retention Calculations

Contributing Drainage Areas:		A1				
Retention Basin(s):		BASIN A				
Volume Required:		8,737 CF				
Type	Area		'C' Coefficient C	Precipitation (Inches)	Retention Required	
	(ft <sup>2</sup> )	(Ac)			(ft <sup>3</sup> )	(Ac-ft)
Pavement/Roofs/Courtyards	49,048	1.13	0.95	2.25	8,737	0.20
Retention Required Total					8,737	0.20
RETENTION BASIN CALCULATIONS						
Elevation	Delta Depth (ft)	Surface Area (ft <sup>2</sup> )		Volume Provided		
				(ft <sup>3</sup> )	Σ (ft <sup>3</sup> )	(Ac-ft)    Σ (Ac-ft)
1487.5		1,347			0	0.00    0.00
1488.0	0.5	2,459		938	938	0.02    0.02
1489.0	1.0	3,325		2,881	3,819	0.07    0.09
1491.5	2.5	4,814		10,117	13,935	0.23    0.32
Retention Basin Total					13,935	0.32
				Provided	13,935	0.32
				Required	8,737	0.20
				Balance	5,199	0.12
Basin HWE	Basin Depth					
1490.16	2.66					

Contributing Drainage Areas:		B1				
Retention Basin(s):		BASIN B				
Volume Required:		10,432 CF				
Type	Area		'C' Coefficient C	Precipitation (Inches)	Retention Required	
	(ft <sup>2</sup> )	(Ac)			(ft <sup>3</sup> )	(Ac-ft)
Pavement/Roofs/Courtyards	58,565	1.34	0.95	2.25	10,432	0.24
Retention Required Total					10,432	0.24
RETENTION BASIN CALCULATIONS						
Elevation	Delta Depth (ft)	Surface Area (ft <sup>2</sup> )		Volume Provided		
				(ft <sup>3</sup> )	Σ (ft <sup>3</sup> )	(Ac-ft)    Σ (Ac-ft)
1491.4		1,041			0	0.00    0.00
1493.0	1.6	5,131		4,524	4,524	0.10    0.10
1494.4	1.4	9,807		10,281	14,806	0.24    0.34
Retention Basin Total					14,806	0.34
				Provided	14,806	0.34
				Required	10,432	0.24
				Balance	4,374	0.10
Basin HWE	Basin Depth					
1493.80	2.40					

Combs & Encanterra Senior Living - Proposed Retention Calculations

Contributing Drainage Areas:		C1				
Retention Basin(s):		BASIN C				
Volume Required:		9,968 CF				
Type	Area		'C' Coefficient	Precipitation (Inches)	Retention Required	
	(ft <sup>2</sup> )	(Ac)			(ft <sup>3</sup> )	(Ac-ft)
Pavement/Roofs/Courtyards	55,959	1.28	0.95	2.25	9,968	0.23
Retention Required Total					9,968	0.23
RETENTION BASIN CALCULATIONS						
Elevation	Delta Depth (ft)	Surface Area (ft <sup>2</sup> )		Volume Provided		
				(ft <sup>3</sup> )	Σ (ft <sup>3</sup> )	(Ac-ft)      Σ (Ac-ft)
1489.6		4,729			0	0.00      0.00
1491.0	1.5	6,436		8,063	8,063	0.19      0.19
1492.6	1.5	8,368		11,440	19,503	0.26      0.45
Retention Basin Total					19,503	0.45
				Provided	19,503	0.45
				Required	9,968	0.23
Basin HWE				Balance	9,536	0.22
1491.26	Basin Depth	1.71				

Contributing Drainage Areas:		D1-D4					
Retention Basin(s):		BASIN D					
Volume Required:		11,326 CF					
Type	Area		'C' Coefficient	Precipitation (Inches)	Retention Required		
	(ft <sup>2</sup> )	(Ac)			(ft <sup>3</sup> )	(Ac-ft)	
Pavement/Roofs/Courtyards	63,583	1.46	0.95	2.25	11,326	0.26	
Retention Required Total					11,326	0.26	
RETENTION BASIN CALCULATIONS							
Elevation	Delta Depth (ft)	Surface Area (ft <sup>2</sup> )		Volume Provided			
				(ft <sup>3</sup> )	Σ (ft <sup>3</sup> )	(Ac-ft)	Σ (Ac-ft)
1490.0		6,519		0	0.00	0.00	
1491.0	1.0	7,849		7,174	7,174	0.16	0.16
1492.0	1.0	9,279		8,554	15,728	0.20	0.36
Retention Basin Total				15,728		0.36	
				Provided	15,728		0.36
				Required	11,326		0.26
Basin HWE	Basin Depth		Balance		4,402		0.10
1491.49	1.49						

Prepared By: BL

Date:

10/16/2024

## Combs & Encanterra Senior Living - Courtyard Retention Calculations

Courtyard Basin	Courtyard Area (ft <sup>2</sup> )	Retention Volume (CY)	Average Retention Depth (Inches)
D2	989	16.22	5.31
D4	3,110	53.70	5.59

## DRYWELL ESTIMATE

Project: ATWELL  
Prepared By: BL  
Date: 10/18/2024

### Combs & Encanterra Senior Living

#### DRYWELL CALCULATIONS

Required Drain Time = 36 hours  
Maximum Drywell Dissipation Rate= 0.1 cfs  
Maximum Percolation Rate = 0.00 cm/hr *from perc test*  
50% percolation Rate= 0 cm/hr (not tested or considered)  
Conversion 0.00 in/hr  
0.1 cfs x 36 hours = 12,960 cf =  
Drywells required =  $(v - a * (p / 2) * 36) / 12,960$

Where : a is the average area in ft<sup>2</sup>  
d is the depth of retention in feet  
p is the percolation rate in cf/hr/sf  
v is the basin volume in ft<sup>3</sup>

Retention Basin	Basin Vol Required (cf)	Top Area (sf)	Bottom Area (sf)	Depth (ft)	Surface Percolation Rate (cf/hr/sf)	Drywells Required	Drain Time (hr)
A	8,737	4,814	1,347	2.66	0.000	1	24.3
B	10,432	9,807	1,041	2.40	0.000	1	29.0
C	9,968	8,368	4,729	1.71	0.000	1	27.7
D	11,326	9,279	6,519	1.49	0.000	1	31.5

Total Number of Drywells Required: 4



## **APPENDIX C**

### **RATIONAL 100-YEAR PEAK FLOW CALCULATIONS**



## **APPENDIX D**

EXCERPTS FROM PECAN GROVE FINAL DRAINAGE REPORT

July 12, 2022

# Village at Pecan Grove

Pinal County, Arizona

## Final Drainage Report

Prepared for:

**EMC Management**

6617 N. Scottsdale Road  
Scottsdale, AZ 85253  
602-264-6831

Prepared by:

**Coe & Van Loo Consultants, Inc.**

4550 N 12th Street  
Phoenix, AZ 85014  
602.264.6831

Job #1.01.0368401



# Final Drainage Report



**Final Drainage Report for  
Village at Pecan Grove**

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**Appendices**

Appendix A	Vicinity Map
Appendix B	Pecan Cove Drainage Report Excepts
Appendix C	Irrigation Design Report for Wales Ranches – Phase 1 Excepts
Appendix D	Wales Ranches – Phase 1 Drainage Report Excepts
Appendix E	Combs Road Drainage Report Excepts
Appendix F	Combs Channel Road Flow Calculations
Appendix G	Drainage Map
Appendix H	FEMA Floodplains Map
Appendix I	Rainfall Depth and Intensity Data
Appendix J	StormCAD Calculations
Appendix K	Retention, Volume, Drywell and Inlet Capacity Calculations
Appendix L	Combs Road Channel HEC-RAS Results

## **1.0 INTRODUCTION**

### **1.1 PROJECT NAME/LOCATION**

This project is named Village at Pecan Grove (Project) and it is located north of Combs Road between Gantzel Road and Kenworthy Road (Site). The Site is bounded by a channel on the south, a residential subdivision on the west and north, and undeveloped land to the east. A vicinity map has been provided as Appendix A. The Site is in the southwest quarter of Section 29, Township 2 South, Range 8 East.

### **1.2 TYPE OF REPORT**

This is a Final Drainage Report which is intended to supplement a Final Grading and Drainage Plan submittal.

### **1.3 PROJECT DESCRIPTION**

The Project consists of approximately 150 one to three bedroom detached and duplex single level multi-family units. The project entails the installation of a private road to the east of the site that is to be shared with future development on the east side. There are no street widening improvements proposed to existing roads.

### **1.4 REFERENCED DRAINAGE REPORTS**

This report references the Pecan Cove Drainage Report prepared by Bowman Consulting Group, dated March 8<sup>th</sup>, 2018. This report is referenced to determine the previous flow entering the site. This is included as Appendix B to this report.

In order to prove how the Combs Road Channel flow has decreased. This Report references the Irrigation Design Report for Wales Ranches – Phase 1 dated August 5, 2021 and the Wales Ranches – Phase 1 Drainage Report dated May 24, 2021. Excerpts from both of these reports can be found as Appendices C and D. In addition excerpts from the Drainage Report for Combs Road from June 2006 were also utilized to calculate the new flow and are included as Appendix E.

### **1.5 PURPOSE AND OBJECTIVES**

The purpose of this drainage report is to show this Project has been designed to accommodate the 100 year, 2 hour storm while meeting other county requirements per the Pinal County Drainage Design Manual.

## **2.0 ON-SITE DRAINAGE CONDITIONS**

### **2.1 EXISTING CONDITIONS**

The existing site is undeveloped land. Combs Road Channel runs parallel alongside the south bound of the site. It was determined by the Pecan Cove Drainage Report dated March 8<sup>th</sup>, 2018 that the Combs Road Channel has a design flow of 276 cfs as shown in Appendix B. However, upon further investigation, the Irrigation Design Report for Wales Ranches – Phase 1 and the Wales Ranches – Phase 1 Drainage Reports, attached as Appendices C and D, show flows were cut off to the Combs Road Channel. Since the development of Wales Ranches and the construction of the pipe which replaced an irrigation channel alongside the intersection of Kentworthy Road and Combs

Road, part of the 276 cfs was cut off to the Combs Road Channel. Wales Ranches was designed to retain the 100 year storm event and the irrigation pipe now diverts flow south of combs channel. Excepts found in Appendices C and D. As seen in Appendices E and F, it is determined that the Combs Road Channel now only carries 26 cfs after the previous developments mentioned above cut off flow to the Combs Road Channel. The neighboring undeveloped land add 21 cfs to the flow of the channel.

The site currently drains to the southwest. There is temporary channel that conveys a design flow of 25 cfs into the Combs Road Channel on the southwestern boundary of the site. The small channel was installed by the Pecan Cove Development in order to convey the subject site's stormwater to the Combs Road Channel.

## **2.2 PROPOSED DRAINAGE NETWORK**

The site drainage network consists of sub basins that collect storm water in inlets within the drive aisles. The onsite stormwater is then conveyed via underground conduit into 10' diameter underground retention tanks. The tanks drain to drywells, which are provided in the amount required to drain the site within 36 hours. Drywells have an assumed percolation rate of 0.1 cfs. Drywells will be registered with ADEQ.

A Drainage Map has been attached as Appendix G. This map shows the watershed to each inlet. Retention, and drywell calculations are attached as Appendix K.

The Combs Road channel will include one foot of free board and finish floors will be an at least one foot above the water surface elevation. The temporary channel on the west will removed.

## **2.3 DRAINAGE NETWORK MAINTENANCE**

The property owner is responsible for the maintenance of the site drainage network. The system shall be maintained in compliance with all Pinal County Drainage Criteria. These include but are not limited to, the draining of all retained stormwater within 36 hours.

# **3.0 OFFSITE WATERSHED CONDITIONS**

## **3.1 COMBS ROAD**

Combs Road has already been constructed to full width and no widening is proposed. Stormwater generated by Combs Road is conveyed via curb and gutter. The existing scuppers will remain in place, with the exception of a minor modification to match channel grading.

## **3.2 COMBS ROAD CHANNEL OFFSITE FLOW**

An offsite flow enters the site through the southeast via the Combs Road Channel. During a 100-year storm event, the design flow is estimated to at 47 cfs, per the attached Irrigation Design Report for Wales Ranches – Phase 1 and the Wales Ranches – Phase 1 Drainage Report in Appendices C and D. Calculations can be found in Appendices E and F.

A proposed design has been established for the Combs Road Channel. The proposed design, along with the cross sections and water surface elevations, as produced by HEC-RAS software are



attached as Appendix L. The channel design includes one foot of free board. All finished floors onsite will be established at least one foot above the channel water surface elevation.

## **4.0 FLOODPLAIN DESIGNATION**

The Site is shown on FEMA map number 04021C0475E, which has been attached as Appendix H. The Site is shown in Zone X and is said to be outside the 0.2% annual flood. It is an area of minimal flood hazard. The FEMA floodplain map has been attached as Appendix H.

## **5.0 SPECIAL CONDITIONS**

There are no abnormal conditions affecting this site.

## **6.0 DATA ANALYSIS METHODS**

Stormwater storage volumes have been calculated according to methods outlined in the Pinal County Drainage Manual. Volume is determined by the equation:

$$V_{REQ} = C * \frac{P}{12} * A$$

The “P” value is the 100 year, 2 hour rainfall depth according to NOAA Atlas 14. Rainfall data for this project has been included as Appendix I.

The “C” value for this project was determined to be 0.76 based on computation of a weighted “C” value using coefficients determined by the Pinal County Drainage Design Manual, Weighted “C” Calculations.

Pipes are sized using StormCAD software attached as Appendix J. Pipes are sized in order to keep the hydraulic grade line one foot below ground at all points. Flow rates are based on the peak intensity as published in the NOAA Atlas 14 charts for the 100 year, 5 minute storm. The minimum time of concentration is 5 minutes.

Inlets are sized to not allow more than six inches of ponding based on the common orifice equation:  $Q = CA(2gd)^{0.5}$ . When conducting these calculations, it is assumed that half the inlet openings are blocked by debris, thereby providing an extra factor of safety.

Tailwater conditions are set to the water surface elevation inside the retention tanks. The water surface elevation inside the retention tanks is equal to the top of the retention tank.

## **7.0 CONCLUSIONS**

This site will comply with all regulations set forth in the Pinal County Drainage Manual. This project will present no adverse effects on adjacent properties or other storm drain systems. All weather access to site retention tanks and main storm drain line has been provided since the site will be paved.



OFFSITE FLOW  
VILLAGE AT PECAN GROVE  
SAN TAN VALLEY, ARIZONA



CVL

CONSULTANTS

CELEBRATING 60 YEARS

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REVISION		DATE
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COE & VAN LOO CONSULTANTS, INC.

OFFSITE FLOWS

VILLAGE AT PECAN GROVE  
SAN TAN VALLEY, ARIZONA

Professional Engineer

66379

NICHOLAS A. MAXWELL

Arizona State Seal

ARIZONA U.S.A.

01 SHEET OF 01

CVL Contact: N. MAXWELL  
CVL Project #: 1.01.03684.01

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Call at least two full working days before you begin excavation.

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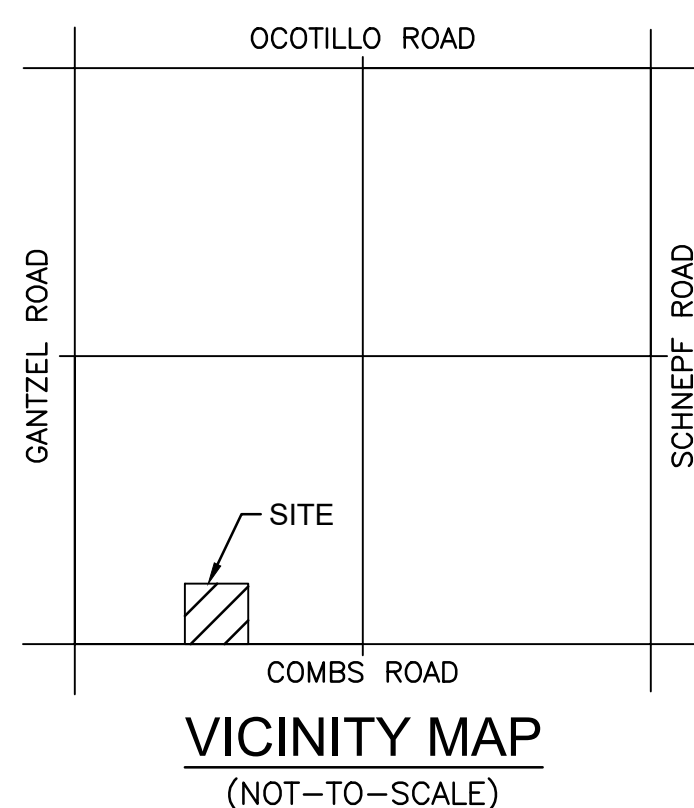


APPENDIX - G

DRAINAGE MAP  
VILLAGE AT PECAN GROVE

SAN TAN VALLEY, ARIZONA

BEING A PORTION OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 8 EAST, OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA



OWNER

PEART 583 LLC  
23808 SOUTH 150TH STREET  
CHANDLER, ARIZONA 85249

DEVELOPER/APPLICANT

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DRAINAGE CALCULATIONS

(100 YEAR, 2-HOUR)											
DRAINAGE CALCULATIONS											
Major Basin	Sub Basin	"C" Coefficient	Area (Ac)	Rainfall Depth (In)	Volume (100yr, 2hr)	Tank Length Req'd (100yr, 2hr)	Volume Provided (Ac)	CF per AC (100yr, 2hr)	Drainage Area (100yr, 2hr)	Flow (100yr, 2hr)	Q (CFS)
A	A1	0.6	0.48	2.75	3.84	48	7.82	2.82	2.82	2.82	2.82
	A2	0.6	0.81	2.75	6.062	81	7.82	2.82	2.82	2.82	2.82
	A3	0.6	0.94	2.75	7.44	94	7.82	2.82	2.82	2.82	2.82
	A4	0.6	1.27	2.75	10.06	127	7.82	2.82	2.82	2.82	2.82
Total A		1.64	3.49	2.75	21.569	274	21.50				
B	B1	0.6	1.47	2.75	10.15	147	7.82	2.82	2.82	2.82	2.82
	B2	0.6	1.54	2.75	10.15	154	7.82	2.82	2.82	2.82	2.82
	B3	0.6	1.54	2.75	10.152	154	19.99				
	B4	0.6	1.54	2.75	10.152	154					
C	C1	0.6	0.42	2.75	3.362	42	7.82	2.82	2.82	2.82	2.82
	C2	0.6	0.42	2.75	3.36	42	7.82	2.82	2.82	2.82	2.82
	C3	0.6	0.42	2.75	3.36	42	7.82	2.82	2.82	2.82	2.82
	C4	0.6	0.42	2.75	3.36	42	7.82	2.82	2.82	2.82	2.82
D	D1	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
	D2	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
	D3	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
	D4	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
Total C		1.54	3.36	2.75	17.006	215	21.50				
E	E1	0.6	0.42	2.75	3.362	42	7.82	2.82	2.82	2.82	2.82
	E2	0.6	0.42	2.75	3.36	42	7.82	2.82	2.82	2.82	2.82
	E3	0.6	0.42	2.75	3.36	42	7.82	2.82	2.82	2.82	2.82
	E4	0.6	0.42	2.75	3.36	42	7.82	2.82	2.82	2.82	2.82
Total E		1.54	3.36	2.75	17.006	215	21.50				
Total C+E		3.08	6.72	2.75	34.012	430	32.99				
D	D1	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
	D2	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
	D3	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
	D4	0.6	0.48	2.75	4.442	48	7.82	2.82	2.82	2.82	2.82
Total D		1.92	1.92	2.75	17.752	224	21.50				
Total D+E		3.00	3.00	2.75	34.764	434	32.99				
Total C+D+E		6.08	12.72	2.75	68.776	864	65.98				
Total C+D+E+D		7.96	16.64	2.75	103.532	1288	87.97				
Total C+D+E+D+D		9.84	20.56	2.75	138.288	1732	109.96				
Total C+D+E+D+D+D		11.72	24.48	2.75	173.044	2176	131.95				
Total C+D+E+D+D+D+D		13.60	28.40	2.75	207.800	2620	153.94				
Total C+D+E+D+D+D+D+D		15.48	32.32	2.75	242.556	3064	175.93				
Total C+D+E+D+D+D+D+D+D		17.36	36.24	2.75	277.312	3508	197.92				
Total C+D+E+D+D+D+D+D+D+D		19.24	40.16	2.75	312.068	3952	219.91				
Total C+D+E+D+D+D+D+D+D+D+D		21.12	44.08	2.75	346.824	4396	241.90				
Total C+D+E+D+D+D+D+D+D+D+D+D		23.00	48.00	2.75	381.580	4840	263.89				
Total C+D+E+D+D+D+D+D+D+D+D+D+D		24.88	51.92	2.75	416.336	5284	285.88				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D		26.76	55.84	2.75	451.092	5728	307.87				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D		28.64	59.76	2.75	485.848	6172	329.86				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D+D		30.52	63.68	2.75	520.604	6616	351.85				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D+D+D		32.40	67.60	2.75	555.360	7060	373.84				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D		34.28	71.52	2.75	590.116	7504	395.83				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D		36.16	75.44	2.75	624.872	7948	417.82				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D		38.04	79.36	2.75	659.628	8392	439.81				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D		39.92	83.28	2.75	694.384	8836	461.80				
Total C+D+E+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D+D		41.80	87.20	2.75	729.140	9280	483.79				
Total C+D+E+D		43.68	91.12	2.75	763.896	9724	505.78				
Total C+D+E+D		45.56	95.04	2.75	798.652	10168	527.77				
Total C+D+E+D		47.44	98.96	2.75	833.408	10612	549.76				
Total C+D+E+D		49.32	102.88	2.75	868.164	11056	571.75				
Total C+D+E+D		51.20	106.80	2.75	902.920	11500	593.74				
Total C+D+E+D		53.08	110.72	2.75	937.676	11944	615.73				
Total C+D+E+D		54.96	114.64	2.75	972.432	12388	637.72				
Total C+D+E+D		56.84	118.56	2.75	1007.188	12832	659.71				
Total C+D+E+D		58.72	122.48	2.75	1041.944	13276	681.70				
Total C+D+E+D		60.60	126.40	2.75	1076.700	13720	703.69				
Total C+D+E+D		62.48	130.32	2.75	1111.456	14164	725.68				
Total C+D+E+D		64.36	134.24	2.75	1146.212	14608	747.67				
Total C+D+E+D		66.24	138.16	2.75	1180.968	15052	769.66				
Total C+D+E+D		68.12	142.08	2.75	1215.724	15496	791.65				
Total C+D+E+D		70.00	146.00	2.75	1250.480	15940	813.64				
Total C+D+E+D		71.88	150.92	2.75	1285.236	16384	835.63				
Total C+D+E+D+											





**To:** Tyler Brennan  
Investcor Development

**Date:** September 21, 2024

**From:** Marina Stender, PE, PTOE

**Job Number:** 21.5231.001

**RE:** Queen Creek Assisted Living & Memory Care  
Traffic Impact Statement



## INTRODUCTION

Lōkahi, LLC (Lōkahi) has prepared a Traffic Impact Statement for the proposed Queen Creek Assisted Living & Memory Care development, located on the Northeast Corner (NEC) of Combs Road and Encanterra Drive, in Pinal County, Arizona. See **Figure 1** for the vicinity map.

The proposed site will be comprised of a total of 100 Assisted Living and Memory Care units. Additionally, recreational amenities will be exclusively provided for resident use. The proposed development will contain a two-story assisted living building totaling approximately 76,000 square feet (SF) of residential use. Additionally, recreational amenities will be exclusively provided for resident use. See **Attachment A** and **Figure 2** for the site plan.



**Figure 1 - Vicinity Map**

The objective of this Traffic Impact Statement is to analyze the proposed development's traffic related impacts to the adjacent roadway network.







## EXISTING CONDITIONS

The proposed development is bordered by the Combs Road alignment to the south, single-family homes to the north and the east and vacant land to the west. The proposed site occupies parcel APN 104-22-6830 zoned Community Commercial Zoning District (C-2). The approximate 5.93-acre site is currently vacant land. See **Attachment B** for Pinal County Assessor's parcel information.



Figure 2 – Site Plan

**Combs Road** is an east-west roadway that provides two (2) through lanes in each direction of travel, separated by a raised landscaped median. According to the Town of Queen Creek *Multimodal Transportation Master Plan*, Combs Road is classified as an arterial. According to Arizona Department of Transportation (ADOT) *Transportation Data Management System*, a 2023 annual average daily traffic (AADT) volume of 12,052 vehicles per day (vpd) was on Combs Road, just west of Encanterra Drive. There is a posted speed limit of 45 miles per hour (mph).

**Encanterra Drive** is a north-south roadway that provides one (1) through lane in each direction of travel. This roadway currently exists south of Combs Road and provides access to a gated Encanterra residential subdivision. As part of this project, Encanterra Drive will be extended to the north to provide access for the three proposed developments.

## PROPOSED DEVELOPMENT

The proposed Queen Creek Assisted Living & Memory Care development will be comprised of a total of 100 Assisted Living and Memory Care units. Additionally, recreational amenities will be exclusively provided for resident use.

Vehicular access to the site will be provided with two (2) driveways located along Encanterra Drive. The first access point is located approximately 240' north of Combs Road. The second



access point is located approximately 425' north of Combs Road. Both driveways will be full access driveways, allowing right and left turn movements into and out of the site.

## TRIP GENERATION

The trip generation was calculated utilizing the Institute of Transportation Engineers (ITE) publication entitled *Trip Generation, 11<sup>th</sup> Edition*. The ITE rates are based on studies that measure the trip generation characteristics for various types of land uses. The rates are expressed in terms of trips per unit of land use type. This publication is the standard for estimating trips in the transportation engineering profession.

The trip generation for the proposed Queen Creek Assisted Living & Memory Care development was calculated utilizing the ITE Land Use 254 – Assisted Living. The total trip generation for the proposed development is shown in **Table 1**. See **Attachment C** for detailed trip generation calculations.

**Table 1 – Trip Generation (Proposed Development)**

Land Use	ITE Code	Qty	Unit	Weekday	AM Peak Hour			PM Peak Hour		
				Total	Total	In	Out	Total	In	Out
Assisted Living	254	100	Beds	260	18	11	7	24	9	15

The proposed Queen Creek Assisted Living & Memory Care development is anticipated to generate 260 weekday trips, with 18 trips occurring during the AM peak hour and 24 trips occurring during the PM peak hour.

## ADJACENT DEVELOPMENTS

Directly north of the proposed Queen Creek Assisted Living & Memory Care development is proposed to be a church building for The Church of Jesus Christ of Latter-day Saints. The building is proposed to be 38,000 SF. The only access for this development will be off of the extension of Encanterra Drive to the north.

Directly west of the proposed Queen Creek Assisted Living & Memory Care development is the proposed Village at Pecan Grove residential development. The proposed multifamily development will consist of 147 multifamily units. The primary access for this development will be off of the extension of Encanterra Drive to the north, with a secondary access along Combs Road.

The trip generation of these adjacent developments was completed as part of the Village at Pecan Grove Traffic Impact Analysis prepared in November 2021. See **Attachment D** for the portions of the traffic study. The trips generated by these two adjacent properties are shown in **Table 2** below.



**Table 2 – Trip Generation (Adjacent Properties)**

Land Use	ITE Code	Qty	Unit	Weekday	AM Peak Hour			PM Peak Hour		
				Total	Total	In	Out	Total	In	Out
Multifamily Housing (Low Rise)	220	147	Dwelling Units	1,070	69	16	53	83	52	31
Church	560	38	1000 Sq Ft GFA	250	13	8	5	18	8	10
Total				1,320	82	24	58	101	60	41

### TOTAL TRIP GENERATION

The total new trips generated by all three of the proposed developments that will have access to the extension of Encanterra Drive are shown in **Table 3** below.

**Table 3 – Trip Generation (All Three Proposed Developments)**

Land Use	ITE Code	Qty	Unit	Weekday	AM Peak Hour			PM Peak Hour		
				Total	Total	In	Out	Total	In	Out
Assisted Living	254	100	Beds	260	18	11	7	24	9	15
Multifamily Housing (Low Rise)	220	147	Dwelling Units	1,070	69	16	53	83	52	31
Church	560	38	1000 Sq Ft GFA	250	13	8	5	18	8	10

### DISTRIBUTION AND ASSIGNMENT

Using the distribution from the Village at Pecan Grove Traffic Impact Analysis completed in November 2021, it was assumed that 85 percent of the new trips generated would come to/from the west and 15 percent to/from the east.

Assuming that 85 percent of the new trips generated are entering the area from the west and would be making a left turn at the intersection of Combs Road and Encanterra Drive. This would result in 30 vehicles during the AM peak hour and 59 vehicles during the PM peak hour.

### TURN LANE

This study evaluates the need for a left turn lane at the intersection of Combs Road and Encanterra Drive. The warrant criteria is provided in the *2007 Pinal County Traffic Impact Assessment Guidelines*. Based on the assumed left turn volumes of 30 vehicles and 59 vehicles during the AM and PM peak hours, respectively, an eastbound left turn lane would be warranted at the intersection of Combs Road and Encanterra Drive.

The *2007 Pinal County Traffic Impact Assessment Guidelines* recommends that the storage length of a signalized intersection be calculated as follows:



$$2 \times (\text{vehicles/hour})/(\text{cycles/hour}) \times 25 \text{ ft}$$

\*Rounded up to the nearest 25-foot interval, the minimum turn lane queue length shall be 100 feet.

For the intersection of Combs Road and Encanterra Drive, it is assumed that the signal cycle is 90 seconds. Therefore, the calculated storage length would be 75 feet, but recommended storage length would be at minimum 100 feet.

## SUMMARY

The proposed Queen Creek Assisted Living & Memory Care development is located on the NEC of Combs Road and Encanterra Drive and is comprised of a total of 100 Assisted Living and Memory Care units. Additionally, recreational amenities will be exclusively provided for resident use.

The development is anticipated to generate 260 weekday trips, with 18 trips occurring during the AM peak hour and 24 trips occurring during the PM peak hour.

The Arizona Department of Transportation (ADOT) Transportation Data Management System indicated a 2023 AADT of 12,052 vpd along Combs Road, west of Encanterra Drive. The 260 daily trips generated by the proposed development would represent an approximate 2.16% increase in average weekday traffic along Combs Road.

With the construction of the proposed developments which utilize Encanterra Drive for access, an eastbound left turn lane is warranted at the intersection of Combs Road and Encanterra Drive. A minimum of 100 feet of storage is recommended.

**In conclusion, the additional traffic generated by the proposed Queen Creek Assisted Living & Memory Care development is anticipated to result in minimal traffic related impacts to the existing roadway network and the surrounding area.**



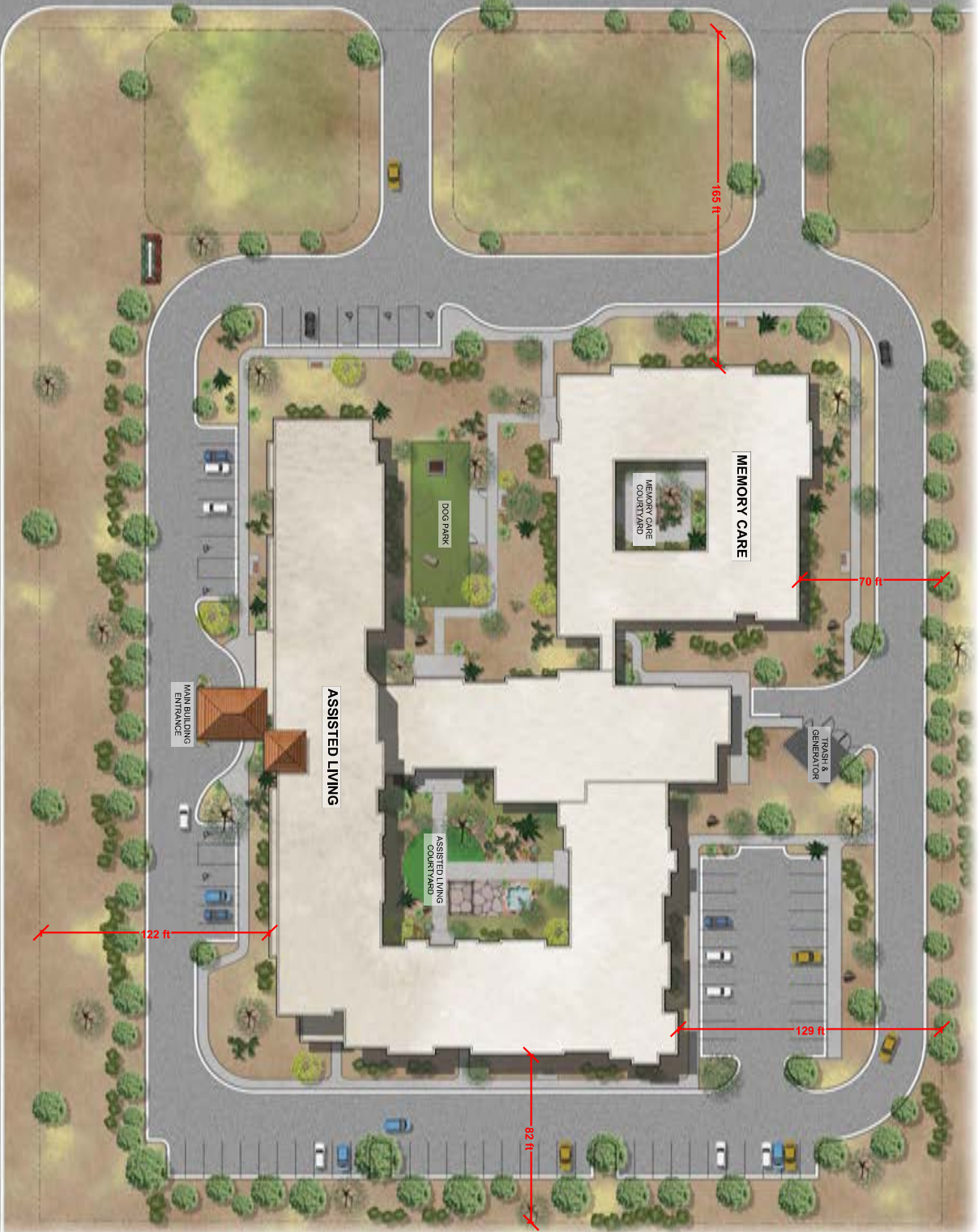


## ATTACHMENT A – PROPOSED SITE PLAN



EAST COMBES ROAD

ENCANTERRA DRIVE ALIGNMENT















## ATTACHMENT B – PINAL COUNTY ASSESSOR



# PINAL COUNTY

ASSESSOR

## PARCEL SEARCH

[NEW SEARCH](#)

### PARCEL DETAILS

[Comparable properties](#)

[Tax Information](#)

[Parcel Map Viewer](#)

[Tax Year Chart](#)

[Property Address Location](#)

[Share this parcel](#)

[Print Details](#)

### PROPERTY INFORMATION

**PARCEL NUMBER**

104-22-6830

**S/T/R**

29/02S/08E

**PROPERTY DESCRIPTION**

PARCEL NO. 3, OF RECORD OF SURVEY MINOR LAND DIVISION, ACCORDING TO THE SURVEY OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA RECORDED IN DOCUMENT NO. 2018-023566 OF SURVEYS, AND BEING LOCATED IN A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 02 SOUTH, RANGE 08 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY ARIZONA. 258,294 SQUARE FEET, 5.93 ACRES

**SUBDIVISION**

N/A

**UNIT**

N/A

**BLOCK**

N/A

**LOT**

N/A

**PHASE**

N/A

**CABINET**

N/A

**SLIDE**

N/A

### OWNER INFORMATION

**PRIMARY OWNER**

QUEEN CREEK SENIOR LIVING LLC

**NAME 2**

N/A

**IN C/O**

N/A

**TAX BILL MAILING ADDRESS**

3001 RANCH ROAD 620 S, STE 324 AUSTIN, TX 78738

**PROPERTY ADDRESS(LOCATION)**

37587 N ENCANTERRA DR SAN TAN VALLEY, AZ 85140

---

**DATE OF RECORDING**

12/22/2021

**SALE AMOUNT**

\$2,443,376.00

---

**DOCUMENT(S)**

2021-162184

VALUATION INFORMATION

Previous year valuations are subject to change as prescribed in the Arizona Revised Statutes. All changes in value may not be reflected in this data. For updated/correct figures, please refer to the [Treasurer's Office website](#).

**Tax Year:** 2025 ▼

**TAX AREA CODE:**

4401

**USE CODE:**

0032

**PARCEL SIZE**

5.93

**SIZE INDICATOR**

Acres

**FULL CASH VALUE**

\$1,077,522.00

**LIMITED VALUE(LVP)**

\$745,339.00

**ASSESSED FCV**

\$161,628.00

**ASSESSED LPV**

\$111,800.90

**LAND LEGAL CLASS**

02RL-Vacant Land / Non-Profit Imp





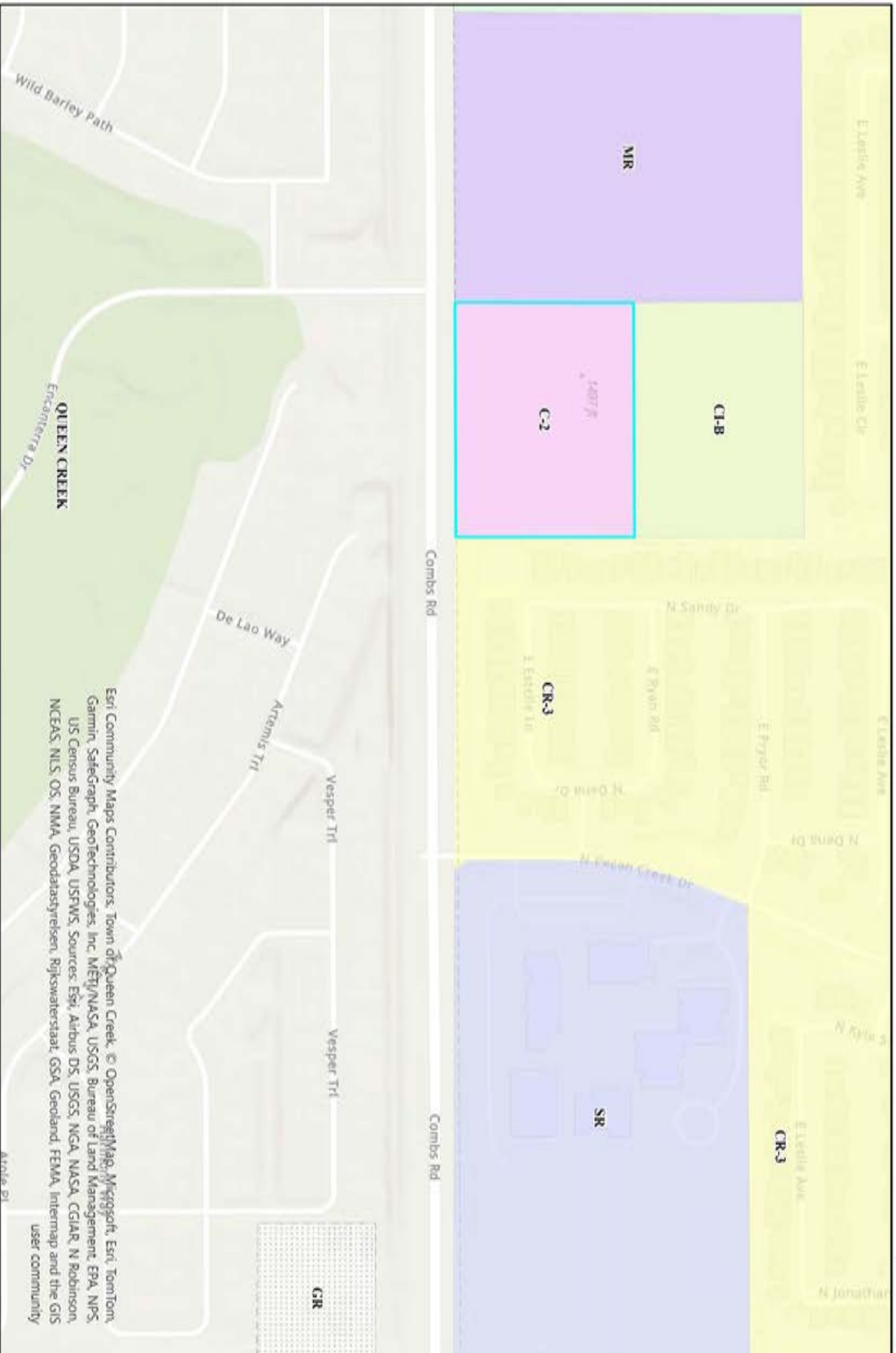
## Development Services

Pinal County Development Services

P.O. Box 749

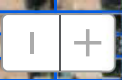
Florence, AZ 85132

Office: 520-866-3555 Fax: 520-866-6530



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▼

104226830

X

Q

Show search results for 10422...



(1 of 4)

Parcels:

Assessor Parcel Number	104226830
First Owner Name	QUEEN CREEK SENIOR LIVING LLC
Second Owner Name	
Property Address	37587 N ENCANTERRA DR SAN TAN VALLEY, AZ 85140
Mailing Address	3001 RANCH ROAD 620 S, STE 324
City	AUSTIN
State	TX
Zip	78738
Sub or Condo Name	
Property Description	
Zoom to	





## ATTACHMENT C – TRIP GENERATION



Queen Creek Assisted Living and Memory Care

Confidential MS 9/20/2024

Trip Generation Calculations  
11 Edition

254 Assisted Living																					
Land Use	ITE Code	Qty	Unit	Weekday			AM Peak Hour			PM Peak Hour			Weekday		AM Peak Hour		PM Peak Hour				
				Rate	% In	% Out	Rate	% In	% Out	Rate	% In	% Out	Total	In	Out	Total	In	Out			
Assisted Living	254	100	Beds	2.60	50%	50%	0.18	60%	40%	0.24	39%	61%	260	130	130	18	11	7	24	9	15
Assisted Living	254	100	Beds	1.86	50%	50%	0.08	60%	40%	0.11	39%	61%	186	93	93	8	5	3	11	4	7
Assisted Living	254	100	Beds	4.14	50%	50%	0.29	60%	40%	0.34	39%	61%	414	207	207	29	17	12	34	13	21
Land Use	ITE Code	Qty	Unit	Weekday			AM Peak Hour			PM Peak Hour			Weekday		AM Peak Hour		PM Peak Hour				
				Equation	% In	% Out	Equation	% In	% Out	Equation	% In	% Out	Total	In	Out	Total	In	Out			
Assisted Living	254	100	Beds	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Assisted living	Standard Deviation	N/A		0.08		0.07	
	Number of Studies	2		14		14	
	Average Size	135		106		106	
	R <sup>2</sup>	N/A		N/A		N/A	





## ATTACHMENT D – VILLAGE AT PECAN GROVE TIA





# Village at Pecan Grove Residential

## Northwest Corner of Combs Road and Encanterra Drive

### Traffic Impact Analysis

PINAL COUNTY CASE #PZ-039-21: 2ND SUBMITTAL

**Pinal County, Arizona**

November, 2021

APPROVED BY:

PINAL COUNTY ENGINEER  
PINAL COUNTY PUBLIC WORKS DEPARTMENT

DATE

**PREPARED FOR:**

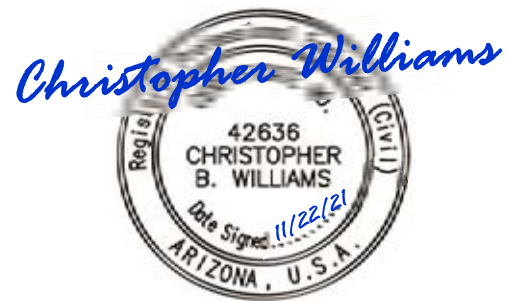
EMC Management, LLC  
6617 N. Scottsdale Road, Suite 101, Scottsdale, AZ, 85250

**PREPARED BY:**

Y2K Engineering, LLC.

Project No. 21-067

Contact: Chris Williams, PE; cwilliams@y2keng.com



Expires 6/30/2023



1921 S. Alma School Rd, Ste 204, Mesa, AZ 85210



480.696.1701



info@y2keng.com

**PZ-039-21**

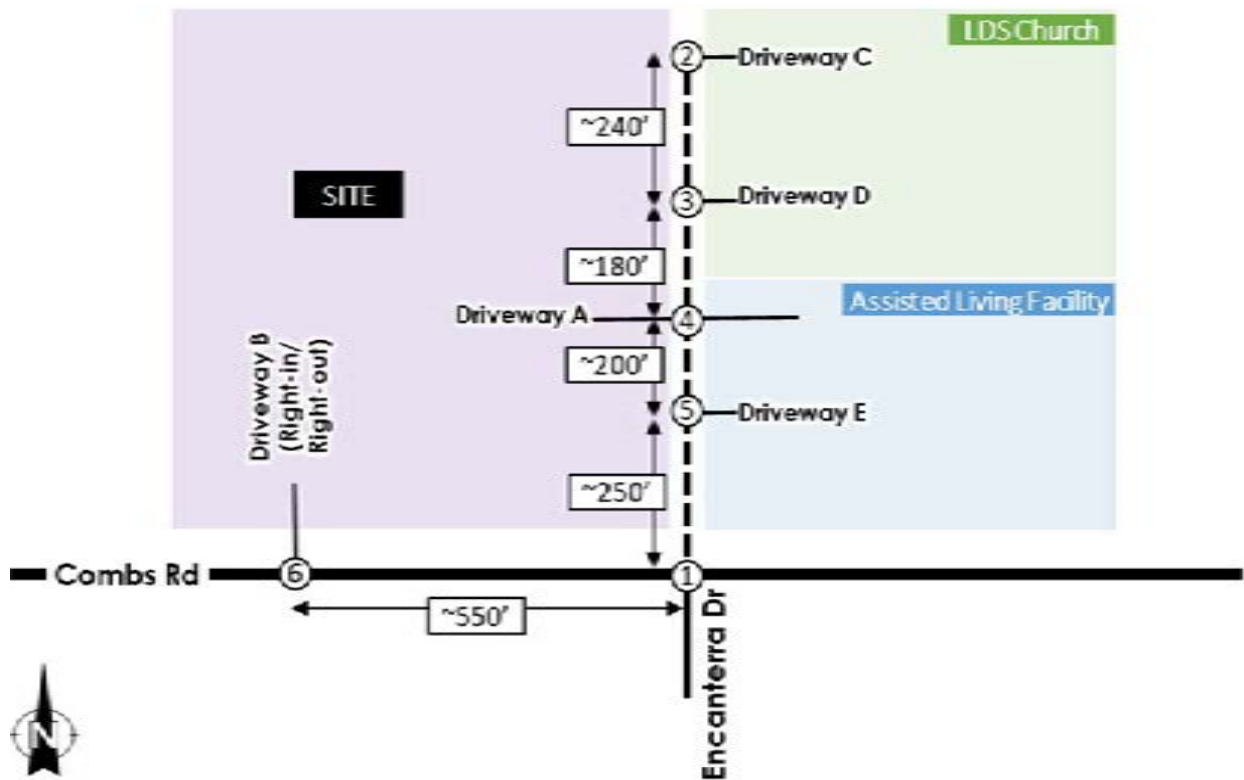


Figure 8: Access Spacing Proposed on Combs Road and Encanterra Drive

## TRIP GENERATION

The trip generation for the project was estimated using the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10<sup>th</sup> Edition. ITE's Trip Generation Manual contains data collected by various transportation professionals for a wide range of different land uses. The data summarized in the manual include average rates and equations that have been established correlating the relationship between an independent variable that describes the development size and generated trips for each categorized land use. ITE's Land Use Code "220 Multi-family Housing (Low-Rise)" was used to estimate the traffic associated with the proposed development. All the trip generation worksheets can be seen in **Appendix E**.

Table 5: Trip Generation – Weekday

DESCRIPTION OF LAND USE				VEHICLE GENERATED TRIPS						
Land Use	ITE LUC	Size		Daily Total	AM Peak Hour		PM Peak Hour			
					Enter	Exit	Total	Enter	Exit	Total
Multifamily Housing (Low Rise)	220	147	DU	1,070	16	53	69	52	31	83
<b>Total</b>				<b>1,070</b>	<b>16</b>	<b>53</b>	<b>69</b>	<b>52</b>	<b>31</b>	<b>83</b>

As summarized in **Table 5**, the project is anticipated to generate a total of 69 trips (entering and exiting) during the AM peak hour and 83 trips during the PM peak hour. The greatest hourly entering volume occurs during the PM peak hour, when 52 entering trips are anticipated.

## TRIP DISTRIBUTION AND ASSIGNMENT

The generated trips for the proposed development were distributed and assigned to the surrounding street system based on existing traffic patterns and volumes. Eastbound and westbound distribution on Combs

Road was determined based on the assumption that most trip attractors, such as major schools and employment centers, are located west of the site. Thus, it is assumed that 85% of the site traffic will come to/from the west and 15% to/from the east.

The distribution and assignment percentages used in the analysis are depicted in **Figure 9**. Using the trip generation estimates and the site distribution assumptions, the hourly volumes were assigned to the study network as shown in **Figure 10**.

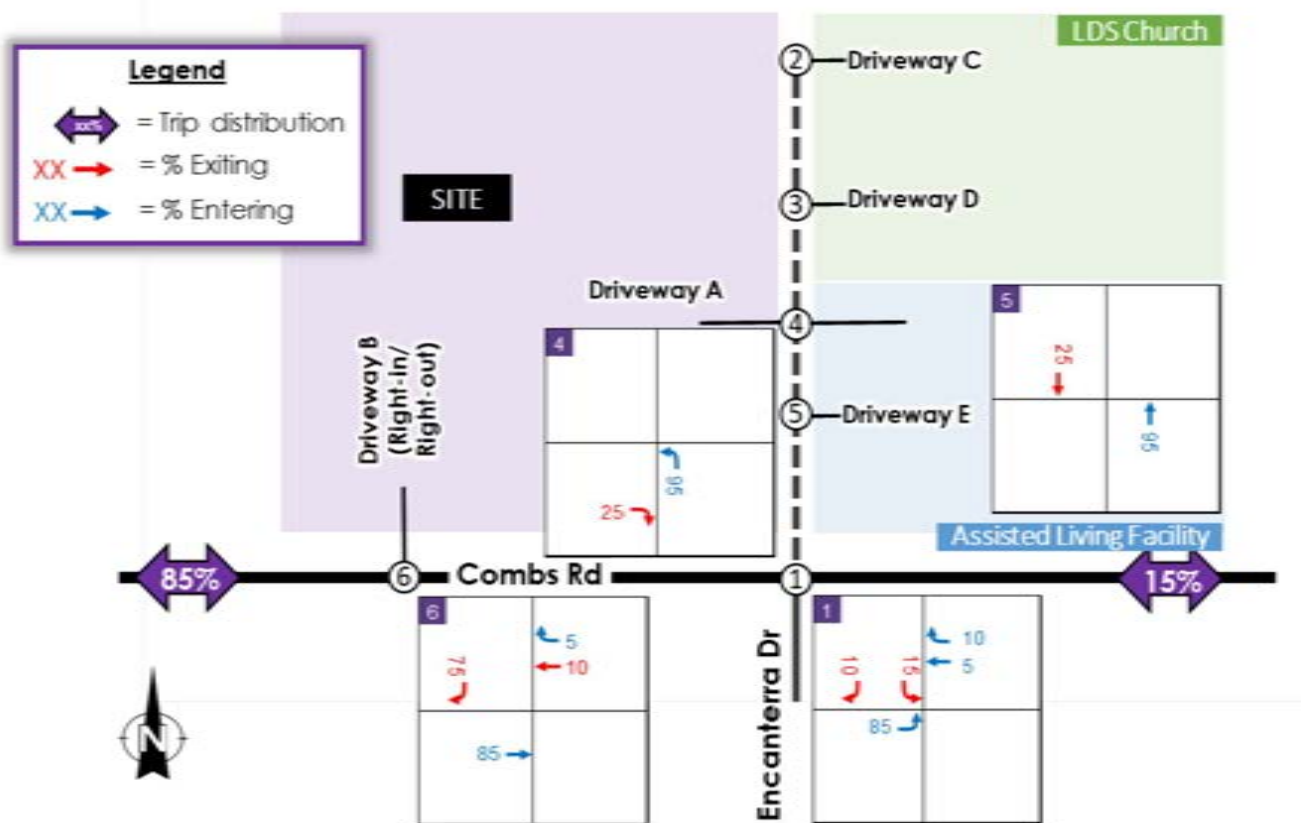


Figure 9: Trip Assignment



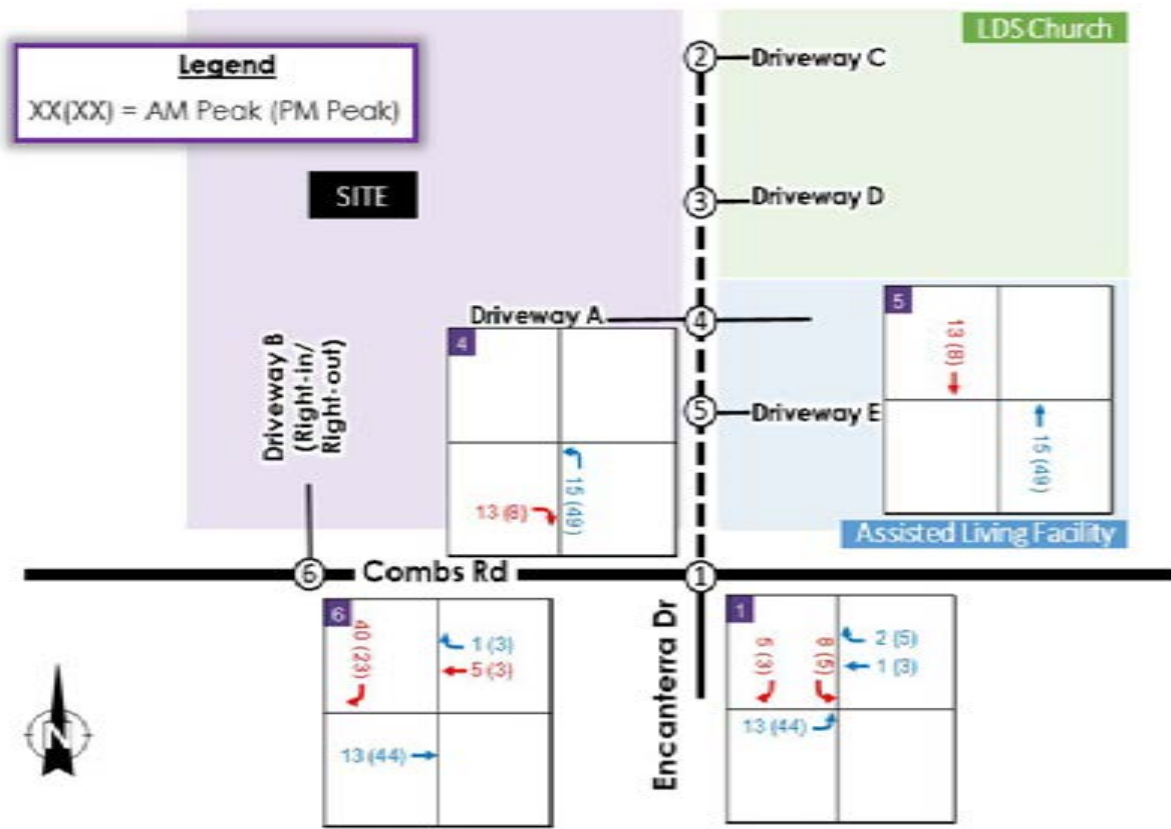


Figure 10: Site Volumes

## BACKGROUND TRAFFIC

### FUTURE TRAFFIC AND ANNUAL GROWTH RATE

A compound annual growth rate of 2% was applied to the 2021 existing traffic volume data (shown in **Figure 6**) to estimate traffic volumes for the opening year 2023. The 2023 projected traffic volumes are shown in **Figure 11**.

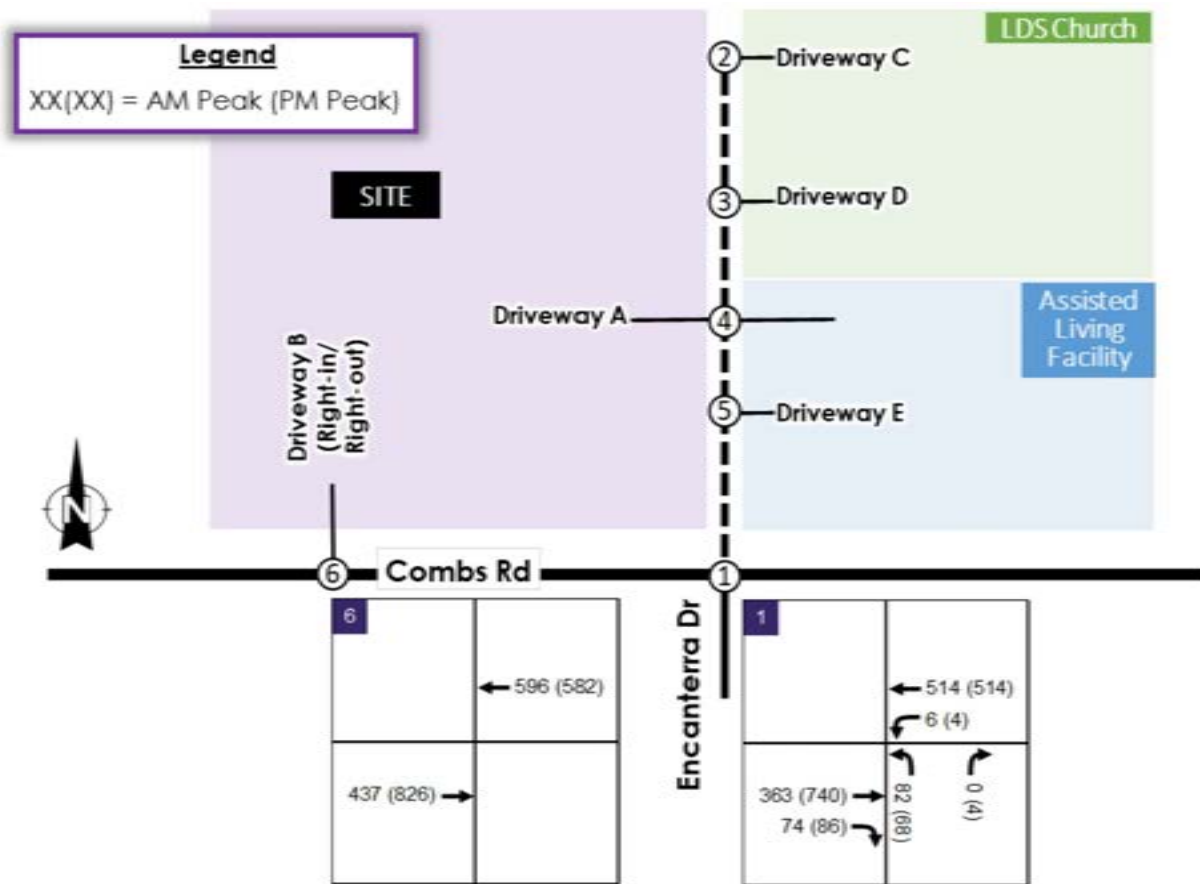


Figure 11: 2023 Projected Traffic Volumes in the Site's Vicinity

## ADJACENT DEVELOPMENTS TRAFFIC

Similar to the trip generation estimated for the residential development, the trip generation for the adjacent projects was estimated using the Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10<sup>th</sup> Edition. ITE's Land Use Code (LUC) "560 Church" fitted curve values were used to estimate traffic to and from the LDS Church. LUC 254 "Assisted Living" average values were used to understand the trips associated with the Assisted Living Facility expected to be developed adjacent to the proposed residential site. All the trip generation worksheets can be seen in **Appendix E. Table 6** summarizes the trip generation at the adjacent developments.

Table 6: Adjacent Developments Trip Generation – Weekday

DESCRIPTION OF LAND USE					VEHICLE GENERATED TRIPS						
ID	Land Use	ITE LUC	Size		Daily Total	AM Peak Hour		PM Peak Hour			
						Enter	Exit	Total	Enter	Exit	Total
1	Assisted Living	254	40	KSF	168	12	4	16	6	13	19
2	Church	560	38	KSF	250	8	5	13	8	10	18
<b>Total</b>					<b>418</b>	<b>20</b>	<b>9</b>	<b>29</b>	<b>14</b>	<b>23</b>	<b>37</b>

Similar to the assumption made for the residential development, the traffic associated with the adjacent developments is considered coming 85% to/from the west and 15% to/from the east.

The distribution and assignment percentages used in the analysis are depicted in **Figure 12** for the assisted living facility and in **Figure 13** for the LDS church. Using the trip generation estimates and the site distribution assumptions, the hourly volumes associated with the adjacent development traffic were assigned to the study network as shown in **Figure 14**. Therefore, the total background traffic (a combination of the projected 2023 opening year existing traffic and the adjacent development traffic) is shown in **Figure 15**.

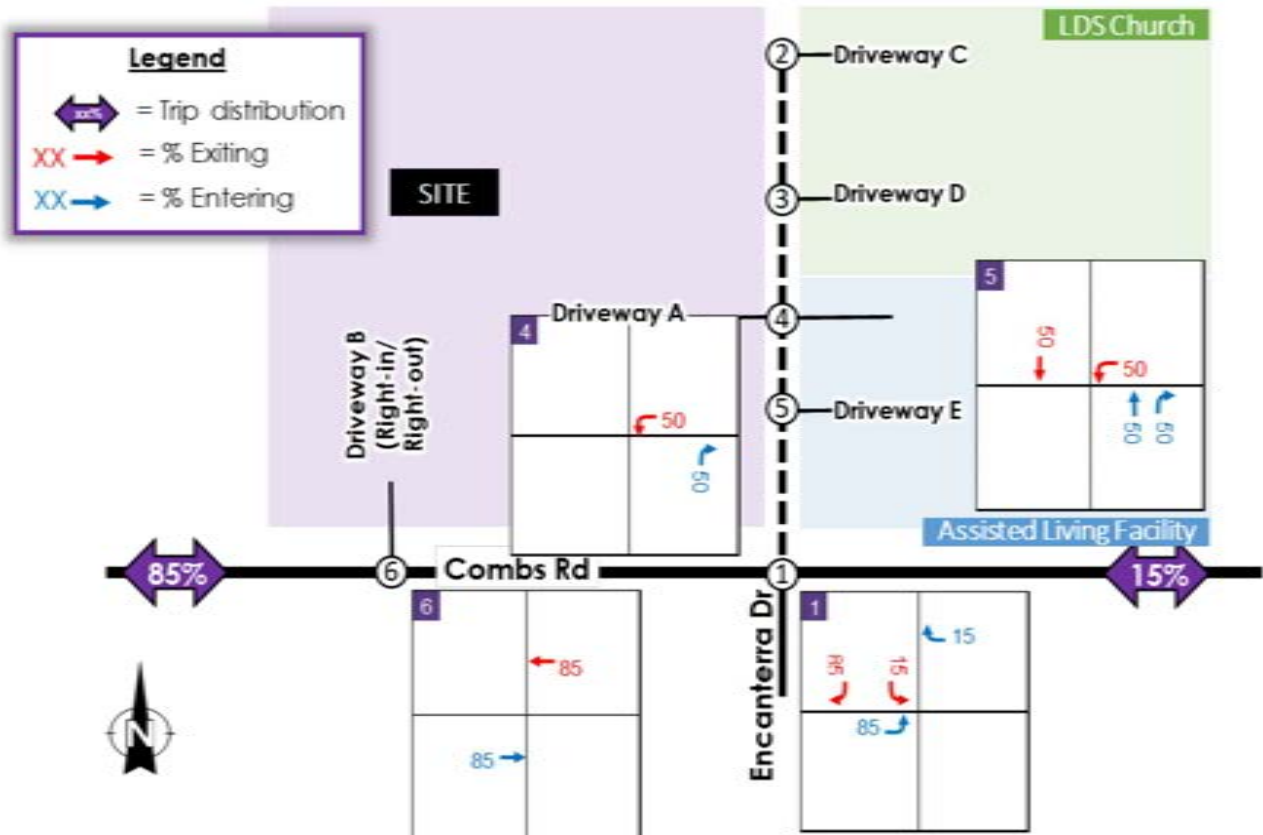


Figure 12: Trip Assignment for the Assisted Living Development

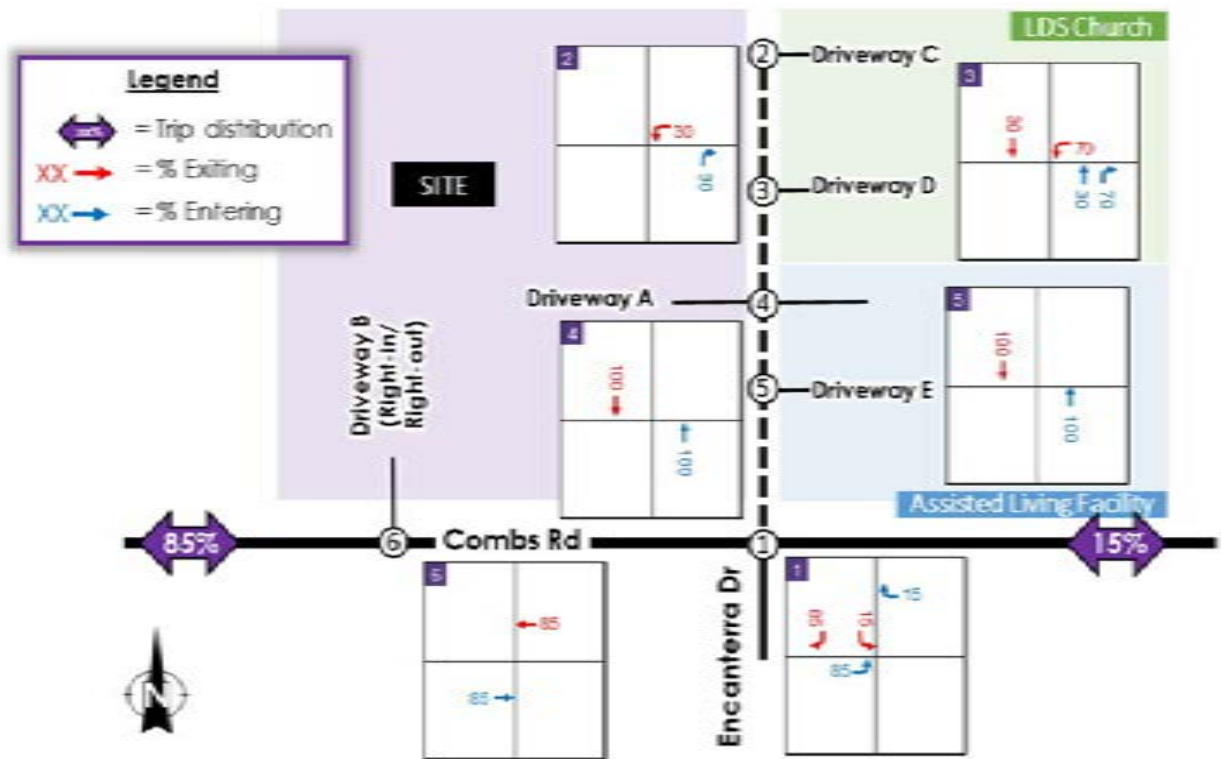


Figure 13: Trip Assignment for the Adjacent LDS Church

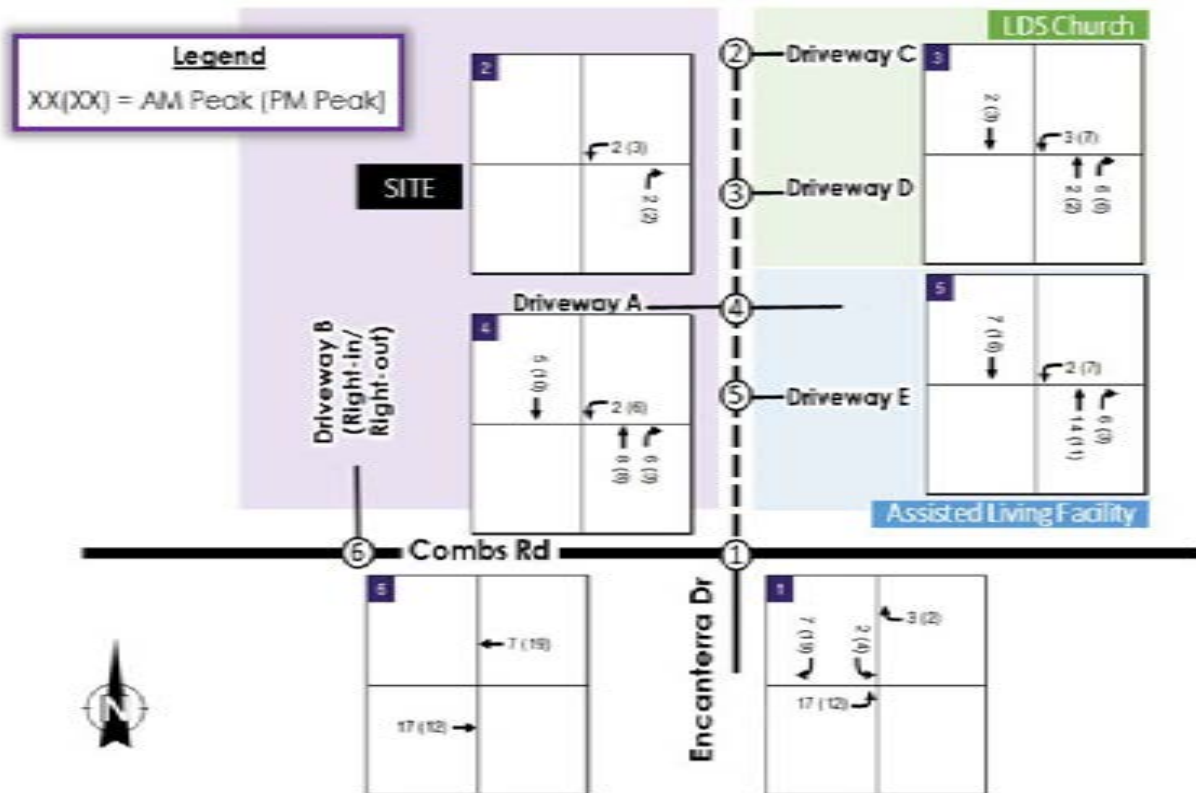


Figure 14: Adjacent Development Volumes



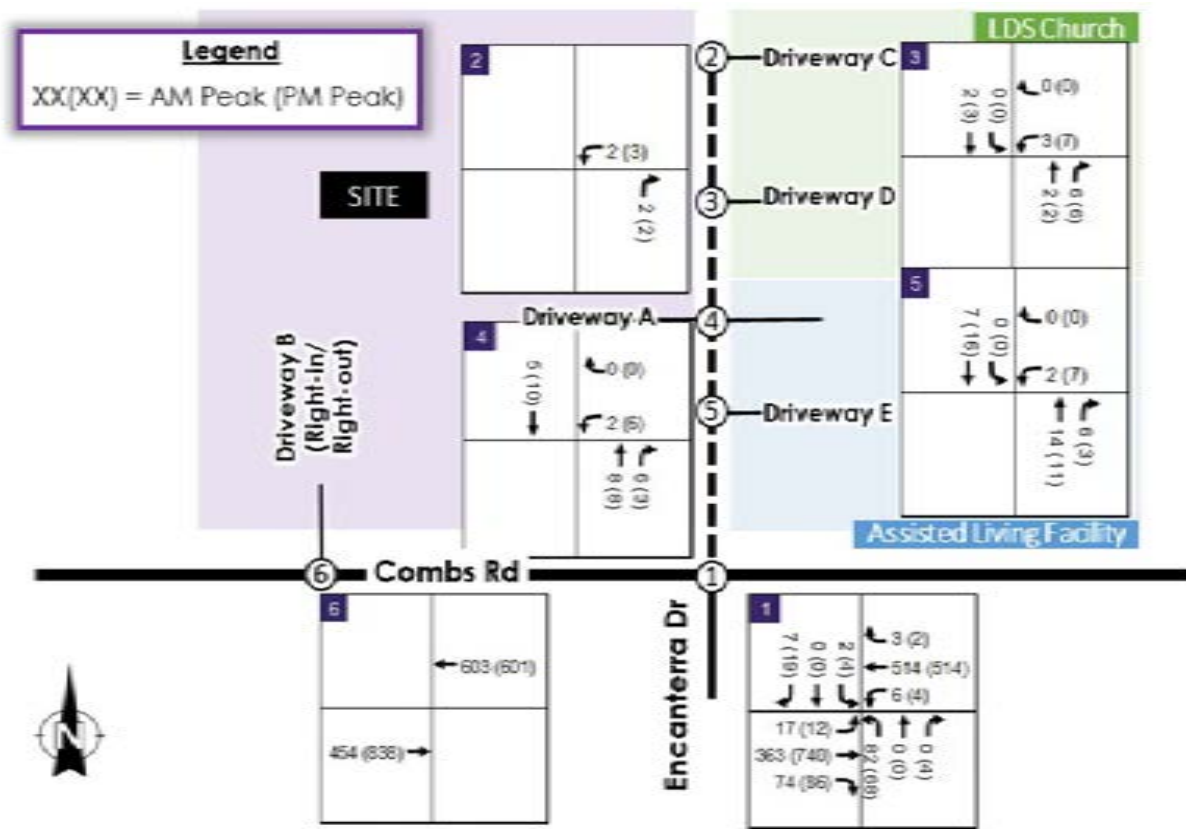


Figure 15: Total Background Volume

## TOTAL TRAFFIC VOLUMES

The total traffic volumes represent the site volumes shown in **Figure 10**, plus the 2023 projected traffic volumes in the site's vicinity shown in **Figure 11**, and the sum of the adjacent development volumes shown in **Figure 14**. The total traffic volumes estimated in 2023 are shown in **Figure 16**.

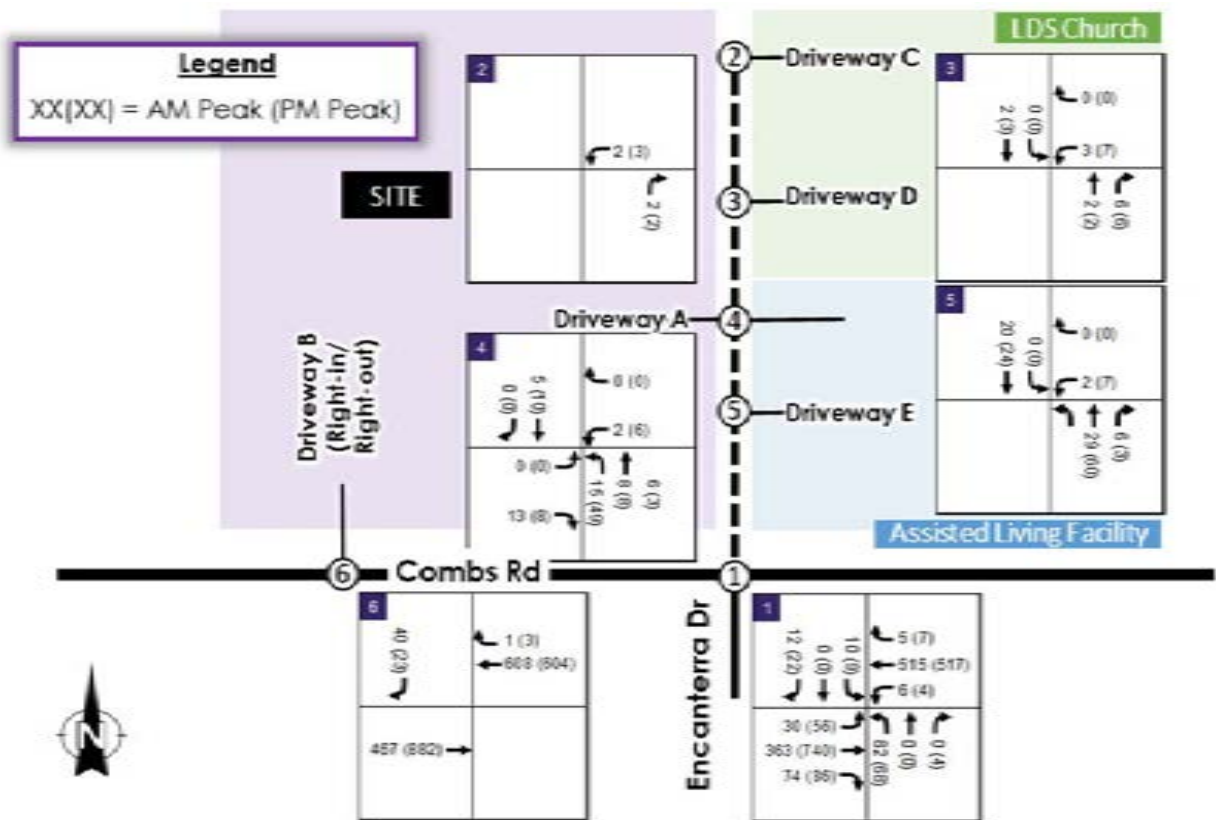


Figure 16: 2023 Total Traffic Volumes

## TURN LANES

This study evaluates the need for turn lanes at Driveway A (Main Entrance) and Driveway B based on the Pinal County left-turn and right-turn warrant criteria are provided in **Figure 17**, as shown in the 2017 Pinal County Traffic Impact Assessment Guidelines.

Based on the criteria provided, a left turn lane is not warranted at Driveway A to accommodate northbound traffic entering the site and a right turn lane is not warranted at Driveway B to accommodate westbound traffic entering the site.