



MEETING DATE: FEBRUARY 19, 2025

TO: BOARD OF SUPERVISORS

CASE NO.: **PZ-PA-014-24 (SAN TAN VALLEY URBAN CORE- SPECIAL DISTRICT)**

CASE COORDINATOR: SANGEETA DEOKAR, SENIOR PLANNER

Executive Summary:

The Pinal County Community Development Department, on behalf of the State Land Department, has submitted a request for approval of a non-major amendment to the San Tan Valley Special Area Plan to re-designate approximately 3238.7± acres of land from Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office to 'Special District' land-use classification to allow for the processing of zoning entitlements on State Trust land in the San Tan Valley area, in unincorporated Pinal County.

If this request is approved by the Board:

If this non-major amendment to the San Tan Valley Special Area Plan is approved, the action will allow the County, on behalf of the State Land Department, to begin the process of rezoning the property to Large Master Planned Community (L-MPC) zoning for the San Tan Valley Urban Core on 3238.7± acres.

Items for Board's Consideration:

- The vision for the San Tan Urban Core is to realize the potential of a centrally located undeveloped property, offering flexibility and develop a well-balanced master-planned community.
- A Non-Major Amendment application is accompanied by a rezone request to designate the area as a Large Scale Master Planned Community (L-MPC).
- Both applications align with the ongoing efforts for the incorporation of the San Tan Valley area.

Planning and Zoning Commission Recommendation:

January 16th 2025– Planning and Zoning Commission voted to recommend **approval** by a vote of 10-0 to the Board of Supervisors.

LEGAL DESCRIPTION: Sections 4, 8 and portions of Section 5, 7, 9, 16, 17 and 18, Township 03, South, Range 08 East, G&SRB&M.

TAX PARCEL: Tax Parcels (legal on file)

LANDOWNER/AGENT: Arizona State Land Department, Karen Dada landowner/representative/ Swaback PLLC, Jeffery M Denzak applicant/agent.

REQUESTED ACTION & PURPOSE: PZ-PA-014-24 – PUBLIC HEARING/ACTION: Swaback PLLC, Jeffery M. Denzak applicant/agent, on behalf of the Arizona State Land Department, Karen Dada, landowner/representative, is requesting, a Non-Major Comprehensive Plan Amendment to the San Tan Valley Special Area Plan to re-designate 3238.7± acres from Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office to ‘Special District’ land-use designation situated in Sections 4 and 8, and in portions of Section 5,7,9,16,17 and 18, Township 03, South, Range 08 East, G&SRB&M, Tax parcels (legal on file), generally located north of Bella Vista Road, south of Hash Knife Draw Road, and east of Hunt Highway in the San Tan Valley area, in unincorporated Pinal County

LOCATION: Generally located north of Bella Vista Road, south of Hash Knife Draw Road, east of Hunt Highway in San Tan Valley area, in unincorporated Pinal County.

SIZE: 3238.7± acres

STAFF FINDINGS-

To provide a common vision and framework for the San Tan Valley area, Pinal County adopted a Special Area Plan in 2018 with growth policies and guidelines specifically for the San Tan Valley area. The Special Area Plan expands on the elements of the County Comprehensive Plan. With the approximately 3238.7± acres of land owned by the Arizona State Land Department (ASLD) in the heart of the San Tan Valley, the Subject Property offers the County an opportunity to provide for balanced development, which will assist the San Tan Valley grow its economic base, diversify its housing stock, and provide additional retail and entertainment venues for the existing and future residents of the region.

The San Tan Valley Special Area Plan provided specific criteria for amending the Plan by listing changes that would constitute a Major Amendment. Other changes would be considered a Non-Major Amendment. Staff finds that the proposed designation of “special district”, which is contemplated for ASLD lands within the Special Area Plan, would be considered a “Non-Major Amendment”. The Amendment is supported by staff since it is compatible with the land use strategies and economic goals contained in the San Tan Valley Special Area Plan by preserving and enhancing existing neighborhood character; fostering more housing diversity; broadening economic opportunity; and improving transportation systems.

PUBLIC COMMENT:

To date, three letters in opposition and one in support has been received from property owners within the notification area.

PUBLIC PARTICIPATION:

Newspaper publication:	Week of 12/23/2024 & Week of 1/27/2025
Agency mail out:	Week of 12/23/2024
Neighborhood Meeting:	12/9/2024
Property mail out:	Week of 12/23/2024
Web posting:	Week of 12/23/2024 & Week of 1/27/2025
Site Posting:	Week of 12/22/2024 & Week of 1/27/2025

OTHER REVIEW AGENCY COMMENTS:

Other than ASLD, no other public agency comments have been received.

PLAN AMENDMENT DISCUSSION:

The request is to change land-use classification from Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office to 'Special District' land-use classification.

Project Proposal: The Non-Major Comprehensive Plan Amendment designation of "special district", in conjunction with the L-MPC zoning, allows ASLD to have the flexibility in the planning and development of the Property over the next decade. The land use and zoning proposals provide ASLD the ability to respond to market conditions as they change from time to time, while concurrently meeting the goals and objectives of the San Tan Valley Special Area Plan.

Location and Accessibility: Generally located north of Bella Vista Road, south of Hash Knife Draw Road, east of Hunt Highway in San Tan Valley area, in unincorporated Pinal County.

Site data: Subject property is vacant and primarily used for agricultural purposes.

Environmental Studies: Cultural and environmental studies will be completed prior to the release of property by the ASLD for private development.

STAFF ANALYSIS:**COMPREHENSIVE PLAN ANALYSIS:**

The San Tan Valley Land Use designation for approximately 3238.7 acres is Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office. The request is to re-designate the 3238.7 acres to a 'Special District' land-use classification. Following is the analysis for the requested land-use amendment:

1. **Vision:** A comprehensive and integrated planning and development approach is desired. This is best accomplished through a flexible and balanced land-use strategy which can be responsive to changes in market conditions over several years. "Special District" along with the approval of Master plan envisages opportunities for current and future residents offering services, businesses and employment opportunities, including high-tech employers. The creation of the Urban Core will be the new center and serve as a catalyst for economic development in the region. This vision spans multiple years, enabling a thoughtful integration of various uses that support both residential and non-residential growth
2. **Location:** Subject Property is a prime location for future development within the San Tan Valley area, and represents the "urban core" of San Tan Valley as it continues to grow and develop over the years to come. The property is surrounded by developed parcels on all sides and is owned by State land. This large area has remained vacant in a central location for a long time. The amendment would facilitate development projects and infrastructure improvements that go along with them and integrate with the surroundings.
3. **Comprehensive Plan:** The land use designation of "Special District" for ASLD land in San Tan Valley complies with the Special Area Plan. Land-use change would assist the following:
 - a. Unlock the development potential for land located centrally in the San Tan Valley and increase the economic value
 - b. Rezone the property to L-MPC (Large Master Plan Community)



MEETING DATE: FEBRUARY 19, 2025

TO: BOARD OF SUPERVISORS

CASE NO.: **PZ-028-24 (SAN TAN VALLEY URBAN CORE- L-MPC REZONE)**

CASE COORDINATOR: SANGEETA DEOKAR, SENIOR PLANNER

Executive Summary:

Swaback PLLC, Jeffery M. Denzak, applicant/agent, on behalf of the Arizona State Land Department (ASLD), Karen Dada, landowner/representative, has requested to rezone 3238.7+/- acres of land from General Rural (GR) zoning district and Local Business Zone (CB-1) to Large Master Plan Community Zoning (L-MPC), generally located north of Bella Vista Road, south of Hash Knife Draw Road, and east of Hunt Highway in the San Tan Valley area, in unincorporated Pinal County.

If this request is approved by the Board:

If this re-zone to L-MPC is approved, the action will allow the applicant to eventually auction the property in order for private developers to begin the process of platting and developing the property generally located in the central part of San Tan Valley, which is currently undeveloped.

Items for Board's Consideration:

- Rezone requested from General Rural (GR) to Large Master Planned Community (L-MPC) for 3238.7± acres.
- Three letters received in opposition and one in favor received for the Rezone with concerns of loss of rural lifestyle and increasing traffic concerns.
- No comments received from any outside agencies.
- No comments received from the Town of Queen Creek and Town of Florence.
- Rezone application is a companion application with the Non-Major Comprehensive Plan application to change land use.

Planning and Zoning Commission Recommendation:

January 16th 2025– Planning and Zoning Commission voted to recommend **approval** (10-0) to the Board of Supervisors with 26 Stipulations

LEGAL DESCRIPTION: Sections 4, 8 and portions of Section 5, 7, 9, 16, 17 and 18, Township 03, South, Range 08 East, G&SRB&M.

TAX PARCEL: Tax Parcels (legal on file)

LANDOWNER/AGENT: Arizona State Land Department, Karen Dada landowner/representative, Swaback PLLC, Jeffery M Denzak applicant/agent.

REQUESTED ACTION & PURPOSE: **PZ-028-24 – PUBLIC HEARING/ACTION:** Swaback PLLC, Jeffery M. Denzak applicant/agent, on behalf of the Arizona State Land Department, Karen Dada, landowner/representative, is requesting a rezone from **General Rural (GR)** and Local Business Zone (CB-1) to **Large Master Plan Community (L-MPC) Zoning District** on 3238.7+/- acres of State Trust lands situated in Sections 4 and 8, and in portions of Section 5,7,9,16,17 and 18, Township 03, South, Range 08 East, G&SRB&M, Tax parcels (legal on file), which is generally located north of Bella Vista Road, south of Hash Knife Draw Road, and east of Hunt Highway in the San Tan Valley area, in the unincorporated Pinal County, for the purpose of future sale of State Trust land through auction to a private developer.

LOCATION: Generally located north of Bella Vista Road, south of Hash Knife Draw Road, east of Hunt Highway in San Tan Valley area, in unincorporated Pinal County.

SIZE: 3238.7± acres

COMPREHENSIVE PLAN:

The San Tan Valley Land Use designation for the approximately 3238.7 acres is currently Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office. Concurrent with this rezone request, the applicant has requested that the property be re-designated to a 'Special District' land-use classification.

EXISTING ZONING:

The San Tan Valley property is currently zoned General Rural (GR).

PUBLIC PARTICIPATION:

Newspaper publication:	Week of 12/23/2024 & Week of 1/27/2025
Agency mail out:	Week of 12/23/2024
Neighborhood Meeting:	12/9/2024
Property mail out:	Week of 12/23/2024
Web posting:	Week of 12/23/2024 & Week of 1/27/2025
Site Posting:	Week of 12/22/2024 & Week of 1/27/2025

PUBLIC COMMENT:

A Neighborhood Meeting on this rezone proposal to L-MPC was held on December 9, 2024, at the San Tan Campus of Arizona Central Community College. Approximately 40 residents of San Tan Valley attended. Resident concerns regarding the rezone proposal were primarily related to existing traffic issues, and that the proposed development would exacerbate the current traffic congestion.

OTHER REVIEW AGENCY COMMENTS:

The consultant team and Pinal County staff have worked closely with representatives of ASLD in the development of the L-MPC rezone proposal. No other outside agencies provided comments.

To date, three letters in opposition and one in support has been received from property owners within the notification area.

The **Pinal County Public Works** Department has reviewed the proposal with a focus on traffic, drainage, and engineering aspects. Both the Traffic and Drainage reports are subject to ongoing refinement and updates at each stage of the area's development. Stipulations have been included to outline the key requirements that the applicants/developers must adhere to during each phase of the development process.

As of the writing of this report, the **Town of Queen Creek** has not commented on the case.

FINDINGS/SITE DATA:

HISTORY:

The applicant is seeking to rezone the property from General Rural (GR) and Local Business Zone (CB-1) to Large Master Plan Community (L-MPC) zoning district. The L-MPC District zoning was established by Pinal County with approval of Case # PZ-C-002-21. The purpose of this zoning was to support the development of large master-planned areas that will be built out over numerous years. The L-MPC zoning also provides flexibility to the developer who must adapt to varying market conditions and shifting consumer demands over time. The L-MPC zoning designation is ideal for the ASLD land since this zoning approach ensures flexibility and adaptability, allowing the ASLD to effectively respond to future development needs and opportunities.

LOCATION AND ACCESSIBILITY:

Geographically, the State Trust lands are located in proximity to the Town of Queen and approximately 6 miles north of the Town of Florence. The Gila River Indian Community, which encompasses over 580 square miles across Pinal and Maricopa Counties, is located approximately 2 miles to the south and 7 miles to the west of the State Trust lands proposed for rezoning. Gantzel Road, which connects to Hunt Highway, is a key transportation corridor, and the Union Pacific Railroad alignment, approximately splits the property in half and runs diagonally through the State Trust lands from the northwest to the southeast. Other major arterials impacting the State Trust lands include Hunt Highway on the western edge of the property; Bella Vista Road on the southern edge of the property; and Skyline Drive, which bisects the northern portion of the property.

OWNERSHIP AND CURRENT SITE USE:

Subject property is owned by the ASLD and is primarily being used for agriculture. Situated in the heart of the San Tan Valley Area, the site has remained vacant with no structures on the property.

ENVIRONMENTAL STUDIES:

Environmental and cultural surveys, as required by the L-MPC or Development Services Code, will be conducted after the property is auctioned and private ownership of any portion of the property is secured for development.

STAFF ANALYSIS:

REZONE PROPOSAL:

The proposal to rezone the property to L-MPC will update the existing planned uses to include a diverse array of residential uses with varying densities and product types, along with non-residential uses. This approach will allow ASLD to effectively respond to future development opportunities and needs as they arise from time to time. By establishing the land use and zoning entitlements in place at this time will position the State Trust land for market and auction in a timelier manner.

With the approximately 3238.7± acres of land owned by the Arizona State Land Department (ASLD) in the heart of the San Tan Valley, the Subject Property offers the County an opportunity to provide for balanced development, which will assist the San Tan Valley grow its economic base, diversify its housing stock, and provide additional retail and entertainment venues for the existing and future residents of the region. The L-MPC zoning proposal, in conjunction with the Non-Major Comprehensive Plan Amendment re-designation to “Special District”, will establish the necessary land use and zoning entitlements on the State Trust lands which will allow the ASLD to respond to future development needs and opportunities. Further, the L-MPC zoning provides flexibility and adaptability for the ASLD to more effectively respond to market conditions as they change over time.

Moreover, a San Tan Incorporation Committee was formed in 2024, which has been authorized by the Pinal County Board of Supervisors to circulate a petition seeking sufficient support to conduct an incorporation vote of San Tan Valley registered voters in August 2025. Since the ASLD property encompasses approximately 3,238.7± acres within the heart of the San Tan Valley, the incorporation committee wishes to include these significant State holdings within the boundaries of the incorporation petition. The ASLD requires that the property obtain zoning entitlements if it is to be included in the incorporation petition. Thus, this is the appropriate time to consider the L-MPC zoning entitlement for future planning and development purposes, as well as to facilitate effective land use and transportation for the San Tan Valley area especially in light of the current incorporation effort.

COMPREHENSIVE PLAN:

The San Tan Valley Land Use designation for approximately 3238.7 acres is Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office. Accompanying the rezone request is a Non-Major Comprehensive Amendment to re-designate the 3238.7 acres to a ‘Special District’ land-use classification, which will allow for the L-MPC zoning.

DEVELOPMENT STANDARDS:

The L-MPC zoning provides for new zoning districts focused on employment and creative design standards, and any private development will be required to adhere to the County’s most current standards and the L-MPC standards, unless a private developer wishes to propose different standards at the time of development.

OPEN SPACE:

Development will be required to meet the County’s current standard of 18% open space for residential land uses, and 10% for commercial parcels.

UTILITIES AND SERVICES:

Private developer(s), working in conjunction with other stakeholders in the area, will extend water and sewer services, additional roadways, and other public facilities to accommodate future development.

STAFF SUMMARY: Swaback PLLC, Jeffery M. Denzak, applicant/agent, on behalf of the Arizona State Land Department (ASLD), Karen Dada, landowner/representative, have submitted the proper application and required documents for a rezone. Staff provides the following findings together with the information provided in this staff report:

1. The proposal is for an approval of a **Rezone** from GR to L-MPC for 3238.7± acres.
2. The rezone application has a companion application for **Non-Major Comprehensive Plan** land use change from Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office to 'Special District' land-use designation for 3238.7± acres.
3. To date, three letters in opposition and one in support have been received.
4. The property has legal access.
5. Granting of the zone change will require, at the time of development that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals.

PZ-028-24- STIPULATIONS OF APPROVAL

1. Approval of this L-MPC rezone request will require, at time of application for development, that the applicant/owner/developer submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals.
2. Where there is conflict between the approved L-MPC zoning proposal and these stipulations, these stipulations shall govern.
3. Enforcement of these provisions/stipulations or uses and requirements of the L-MPC zoning shall be made pursuant to Section 2.160 of the PCDSC.
4. No building permits shall be issued based on this rezoning until all requisite zoning stipulations, County requirements, and development standards are satisfied pursuant to the requirements of the Pinal County Development Services Code and other applicable standards and requirements of Pinal County.
5. Developer/applicant/landowner shall provide for the dedication of any necessary easements, roadway tracts, and/or rights-of-way, in form and substance acceptable to the Pinal County as necessary to serve any subject parcel or parcels to be developed, prior to issuance of any construction permits within any phase of development within the rezoned property.
6. All rights-of-way dedication to Pinal County shall be free and unencumbered, except as excluded by the County Engineer, or his designee.
7. Prior to the approval of any subdivision plat or site plan, the applicant/developer/owner for each phase of development shall submit a Cultural Evaluation prepared by an independent, qualified professional that will prepare an assessment of the nature and impacts of the development proposal on all Federal and State lands for any identified sensitive species and/or critical habitat per Arizona Game and Fish Department – ERT Report on the rezoned property, and the report shall include, at a minimum, the following:
 1. Mitigation measures to avoid the likelihood of negatively impacting one or more target species and habitats as identified in the report.
 2. A discussion devoted to the migration of the Sonoran Desert Tortoise caused by construction activities, and a strategy on the proper removal and/or protection of Tortoises.

8. Prior to approval of subdivision plat or site plan, the applicant/developer/owner for each phase of development shall identify any existing/planned, proposed, adopted regional trails per Open Space and Trails Master plan and develop these as specified in the Open Space and Recreation Area Guideline Manual (OSRAM). Applicant to adhere to the strategies and guidelines on parks, open space and trails contained in the 2018 San Tan Valley Special Area Plan.
9. Developer/applicant/landowner shall provide a record check through Arizona State Museum (ASM) for archeological sites and identification of any sites or surveys prior to each phase of development.
10. Construction plans for grading, drainage improvements, roadway improvements, and utility plans comply with applicable standards and guidelines required by Pinal County and applicable utility service provider in the case of water and sewer services and dry utilities, and construction plans are subject to approval by the County Engineer prior to approval of any final plat or site plan within the rezoned property.
11. Applicant to follow landscaping standards for future development for each phase of development as provided in the L-MPC zoning or as required by the Pinal County Development Services Code, as amended from time to time.
12. Selection of all plant material to be selected from Arizona Department of Water Resources, Low water Use/Drought Tolerant Plant list for the PINAL Active Management Area.
13. The applicant/ owner/developer shall meet the prevailing requirements of the International Building and Fire Codes, as adopted by Pinal County and administered by the Pinal County Building Safety Department.
14. An air quality dust registration permit from the Pinal County Air Quality Control District shall be obtained prior to the disturbance of 0.1 acres or more.
15. All construction activity must conform to the Earthmoving Activity requirements of the Pinal County Air Quality Control District.
16. All public infrastructure improvements installed by the developer/builder of each phase of the project shall comply with applicable standards and guidelines required by the Americans with Disabilities Act of 1990.
17. Prior to site plan application, owner/applicant/developer shall submit a “Phase 1” ESA, prepared by an independent qualified site assessment professional following all applicable ATSM standards, the Community Development Director at their discretion may order a “Phase Two” ESA, based on the results or recommendations from the report.
18. All peripheral and internal roads and infrastructure improvements that will support development in the rezoned property shall be per the approved Traffic Impact Analysis (TIA) submitted with this application, and with each phase of development, or as otherwise agreed by the County, to mitigate traffic impacts on all existing and planned roadways. These may include construction of

acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIA shall be updated in accordance with Pinal County TIA Guidelines and Procedures, as amended from time to time, and subject to County approval in connection with each final plat submission.

19. All roadway and infrastructure improvements shall be in accordance with Pinal County Subdivision Standards, as amended from time to time, or as approved by the County Engineer.
20. Any roadway sections, alignments, access locations and access movements shown in the San Tan Valley L-MPC Document dated January 2025 are conceptual only, and are subject to the approval of the Pinal County Engineer.
21. A drainage report shall be submitted to the County Engineer at the time of subdivision plat or site plan submittal for review and approval and the drainage report shall comply with the Pinal County Drainage Manual, as amended from time to time, and shall be approved prior to subdivision plat or site plan approval.
22. The Master Drainage Plan shall be in accordance with the Pinal County Drainage Manual, as amended from time to time, and the approved Master Drainage Plan shall provide retention for storm waters in an on-site retention area(s), or as approved by the County Engineer.
23. No construction of any flood control infrastructure shall be commenced prior to the issuance of a Floodplain Use Permit by the Pinal County Flood Control District (PCFCD).
24. No building permits may be issued for any areas in the project mapped by FEMA as special flood areas until the Letter of Map Revision (LOMR) for the project is approved by FEMA and the resulting change in the Flood Insurance Rate Maps (FIRMs) is made effective.
25. No tentative or preliminary plats shall be approved by Pinal County until the Master Drainage Report for the project is approved by Pinal County Engineer.
26. Given auction allocations imposed by the ASLD on development areas under Section 5.2 of the LMPC, the County waives any development agreement requirement under Section 2.365.020 of the Pinal County Development Services Code. This waiver does not preclude a subsequent patent holder and the County from entering into a development agreement.

PINAL COUNTY PLANNING AND ZONING COMMISSION
(PO NUMBER 252269)

Regular Meeting
9:00 a.m.
Thursday, January 16, 2025

Pinal County Administrative Complex
Emergency Operations Center
85 North Florence Street, Florence, Arizona

D R A F T

INDEX:

DRAFT OF CASES PZ-PA-014-24 & PZ-028-24 - pp. 1-64

CALL TO THE COMMISSION - pp. 65-67

ADJOURNMENT: pp. 67

TRANSCRIPTION PROVIDED BY

Julie A. Fish
Quick Response Transcription Services
829 East Windsor Avenue
Phoenix, Arizona 85006
602-561-2283

ORIGINAL PREPARED FOR:
PINAL COUNTY, ARIZONA

1 MENNENGA: Let's move on to the next case, PZ-PA-
2 014-24. I will make a quick put comment. I was a little
3 surprised when I opened up our packet and saw this thing, and
4 I had to go back a couple times and look at it. I'm like holy
5 cow, that's a massive project, and I was a little surprised to
6 see it in the - well, somewhat in the middle of San Tan and
7 Johnson Ranch, which I'm sure we're gonna hear about here in a
8 little bit, you know, so but then it's State Land. State
9 never (inaudible). So okay, Sangeeta please proceed.

10 DEOKAR: Good morning Chairman, Vice Chair and
11 Commission Members, Sangeeta Deokar, Senior Planner with
12 Planning Division, presenting the project, San Tan Urban Core
13 and -

14 BILLINGSLEY: Sangeeta, I don't know that your mic's
15 on. There you go. Start over.

16 DEOKAR: I'm sorry. Once again, Sangeeta Deokar,
17 Senior Planner with Planning Division, presenting the case.
18 Two cases, it's a Non-Major Comprehensive Plan Amendment and a
19 re-zone for the San Tan Urban Core. Just to give you a
20 background, first off, this project, this is a joint planning
21 effort by the Arizona State Land and Pinal County allowing a
22 diverse mix of land uses, respond to diverse market conditions
23 and develop the land that is uniquely located in the San Tan
24 Valley area. There's a parallel process, the incorporation of
25 the San Tan Valley. October 30, 2024 Pinal County Board of

1 Supervisors, they authorized the circulation of requiring
2 petitions seeking 10 percent of signatures of qualified
3 electors within the proposed town boundaries within 180 days,
4 and the deadline for that is April 28, 2025. So looking at
5 these two aspects, basically this is the timing for the San
6 Tan Valley Urban Core proposal encompassing over 3,200 acres
7 within the heart of San Tan Valley area, you know, would be
8 included as part of the incorporated boundaries, if approved.
9 And this is just a background. Moving forward, I'm going to
10 talk about the two proposals, the Non-Major Comprehensive Plan
11 Amendment to the San Tan Valley Special Area Plan, which is a
12 redesignating specifically 3,238.7 acres from Suburban
13 Neighborhood, Urban Transition, Urban Center and Suburban
14 Office to a special classification called the Special
15 District. The rezone is for the same acreage and it is from
16 General Rural and CB-1 to the L-MPC, which is the Large Scale
17 Masterplan Community zoning district. As stated, the acreage
18 is 3,238.7 acres. The location is north of Bella Vista Road,
19 south of Hash Kinfé Draw Road, and east of Hunt Highway and
20 San Tan Valley area. Owner representative we have Arizona
21 State Land, and Karen Dada is the representative for them. We
22 have various consultants who have been working on this large
23 project. We have Wood-Patel, Swaback PLLC, traffic engineer,
24 Lokahi Group, and the market study. ESI Corporation, you
25 know, presented by Nicholas Brown, Jeffrey Denzak, Shelly

1 Sorensen, and (inaudible). This is the location map showing
2 the two projects, the two proposals, basically the rezone and
3 the non-major comprehensive plan. It is, you can see that it
4 is in the Queen Creek area and it is in the north (inaudible)
5 of Pinal County. This is the vicinity map showing the
6 surrounding areas and a large portion being held currently by
7 Arizona State Land. One can see that the development around
8 this area is, it is very much happening, it is almost built to
9 the edge on certain edges. And moving into the next map, the
10 aerial map that shows the area, the project boundary, and
11 being used currently for agriculture and remaining vacant, and
12 again, surrounded by the gray area which is completely built
13 out. The San Tan Valley Urban Core land use designations for
14 the San Tan Special Area Plan, one can see that the existing
15 land use classifications are four classifications, which is
16 Suburban Neighborhood, Urban Transitional, Urban Center and
17 Suburban Office which have been indicated by yellow, brown,
18 the hatched lines and the dark brown. The proposed land use
19 classification would be a Special District and it changes from
20 the four to a single Special District land use classification.
21 One can see that, and just showing you a perspective of the
22 site surrounding some images to really show the central
23 location of this area, the San Tan Valley urban area remaining
24 vacant. Images that is showing to the right, the south view
25 which is from North Schnepf Road - no, I'm sorry. No, go

1 back. Basically, the images are trying to show the built out
2 edges on one side, and if you see on the horizon, it is vacant
3 land. Surrounding areas, one is the San Tan Valley Library to
4 the south, the Poston Butte High School, again showing in the
5 bottom of this image. You have the Hunt Highway to the west
6 of this project area, and then to the north is the south view
7 on Gantzel Road, and the north is, on this image is taken from
8 the Kenworthy Road, looking south into the open land from the
9 Encanterra area. And to the right top east is the south
10 (inaudible) Schnepf Road. This is the San Tan Valley Urban
11 Core zoning map which shows the surrounding zoning and the
12 built out edges. Multiple zones existing, CR-1, CB-2, and you
13 can see that it is built to the edge on all three sides,
14 except on the right side of the north, which is open, but it's
15 pretty much built to the edge. Proposal, as stated, is the
16 non-major comprehensive plan for a Special District, and the
17 rezone to L-MPC. This map also shows the 600 feet boundary
18 and the property owners that were intimated for this zoning
19 case. Rezone to the L-MPC proposal is basically sharing the
20 high level plan creation of nine development areas configured
21 along primary roadways, existing infrastructure and land use
22 transitions. Permitted dwelling units for each of the areas
23 and the (inaudible) areas are predetermined, the transfer of
24 units within each development area only. Open spaces shall be
25 developed with a minimum of 18 percent of gross residential

1 and 10 percent of gross nonresidential acreage. Private
2 utilities and service providers will work in conjunction with
3 other stakeholders and will extend water, sewer roadways and
4 other public facilities for future development. Proposed land
5 use. This table basically is showing the development areas
6 and a land use table sharing the residential dwelling units
7 per acre for each of those development areas, and the
8 (inaudible) area ratio that has been determined for the
9 nonresidential portion. I would like to share with you the
10 next slide - sorry, this one, which kind of corresponds to the
11 colors to kind of give you a perspective of - the light
12 yellows are talking about the residential areas for area one,
13 two and three, which is the north and residential area 7, 8, 9
14 to the south, and the corresponding dwelling units,
15 corresponding acreages, and the total dwelling units under
16 each of those areas. The mixed use in the central portion,
17 which is a little darker orange, and then the regional
18 commerce and the employment distribution campus basically also
19 shows corresponding to these areas. I'm sorry, I'm unable to
20 show the pointers. But the light yellow, basically
21 representing the residential area which is the north, and the
22 south residential areas, and the central core is basically the
23 mixed use, the employment and the commercial portion of this
24 whole, I would say, a high level development plan. To go back
25 to this one, just sharing again, it's a table at this point

1 which talks about the development areas, corresponding land
2 units per acre, and the total maximum dwelling units that have
3 been proposed are 18,697. And the break up has been shown in
4 this table, basically under each of those areas with the
5 acreages kind of spelled out. I know it's a lot of
6 information. You do have a corresponding document, a
7 narrative, which kind of shores this in much detail aspects of
8 how this has been kind of outlined. The development districts
9 in this, you know, under each of this area is basically having
10 different land use classifications, and the two new
11 introductions within these are the creative lot, residential
12 and the Tech Employment. The others are already existing land
13 use classifications that have been - that are similar to the
14 one which are in our code, which is the Low Density
15 Residential, Medium Density Residential, and the High Density
16 Residential, and it also corresponds to what the permitted
17 zoning districts within those would be, which are talking
18 about the R-45, 35, 20, 12, 9, and R-7, MD, MR, and the
19 Creative Lot Residential and the Tech Employment has a further
20 detailed reference to those tables that have been shared in
21 the narrative with you. So just to give you an idea, again,
22 once again, referring to the development districts that have
23 been shared over here, the central portion which has the
24 Employment, the Mixed Use and the Commercial, the north and
25 the south residential. Conceptual phasing as has been shown.

1 The north residential is going to be the first phase, and
2 within that it is a parcel based on Phase 1, two and three
3 within the large Phase 1, and then it goes to the south, which
4 is again the residential Phase 5, six and seven to the south
5 of the residential area. And then in the central portion,
6 talks about the Phase 4 - sorry, 8, 9 - 7, 8, 9 for the
7 commercial, employment and the mixed use. This map basically
8 shows, again, the access roadways, trails for this area that
9 has been - it shows the proposed one, you know, and the
10 existing whether it is the roadways, the trail corridors, at
11 the County level. So one can see that the San Tan Valley area
12 has been shown in red. That dotted line, you can see the
13 roadways and the, you know, the trails proposed, multi-use
14 trail with a green dotted line that goes along the railroad.
15 And we have the proposed multi-use trail corridors and the
16 existing multi-use trail corridors with a dark green. So just
17 showing at that large scale the connectivities that are going
18 to be continued outside of this and within the area. This map
19 basically shows the portions that are, again, divided into the
20 three - the north, the south and the central portion. The
21 (inaudible) areas and the (inaudible) areas are shown in
22 color, which is blue and yellow and the project area. It also
23 shows the transmission lines, it also shows the rail lines
24 that cross, and the utility lines that cross east-west. This
25 is a conceptual transportation plan showing the existing

1 corridors, the north-south and the east-west shown by green.
2 The red ones are the proposed corridors for the San Tan Valley
3 Urban Core. And again, this is at a very high level
4 conceptual transportation plan at this point. Conceptual open
5 space plan, one can see that being residential to the north
6 and south shows neighborhood parks, pocket parks that have
7 been tentatively kind of shown in all of those residential
8 areas. The central portion remaining open at this time as it
9 has not been really detailed out to that level. To give you
10 an perspective of the project timeline, 30th of October the
11 incorporation petition was approved by the Board of
12 Supervisors. We had a neighborhood meeting on 9th December at
13 the CAC San Tan Campus. We are at a meeting, which is the
14 P&Z, 16 Jan. We are expecting the Board of Supervisors
15 meeting on 19th Feb, and 28th of April is that's the hard stop
16 for the San Tan Valley incorporation committee petition drive
17 that needs to be completed, which means it's the last date for
18 collecting signatures for 10 percent of the electoral votes of
19 the incorporation area from the property owners who are within
20 that area. So we conducted the neighborhood meeting on
21 December 9th, and property owners surrounding the site
22 distance of around 1,200 feet were intimated. Postcards were
23 sent, which was approximately 2,000 owners. We had the
24 meeting agenda. We started at 6, ended at 8 p.m. We had
25 eight stations that were set up and each station had a

1 specific function role, and then, you know, the people were
2 able to go sign in, kind of understand what the vision plans
3 were, understand, talk to the consultants, and talk to the
4 people, the County members, and talk about various aspects
5 that have been shown at the stations that were installed
6 there. Some pictures of the neighborhood meeting at the CAC
7 San Tan Campus. So some items for the Commission discussion.
8 The basic vision, this is a very high scale vision that we're
9 talking about providing a comprehensive and integrated
10 planning and development approach, trying to understand and
11 having a balanced land use strategy responsive to changing
12 market conditions, basically creating Urban Core to be the new
13 center and a catalyst for economic development for the San Tan
14 Valley area. The vision spans multiple years and supports
15 residential and nonresidential uses. It would be realized
16 with these two proposals, which is the Non-Major Comprehensive
17 Plan Amendment to a Special District, and the rezone to the
18 large scale masterplan community. The Non-Major Comprehensive
19 Plan Amendment to the Special District impacts, basically it
20 opens up the landlocked area centrally located in the San Tan
21 Valley sitting vacant, surrounded by fast developing areas
22 awaiting integration. It also assists with the (inaudible)
23 process for the rezone to L-MPC. It basically also aligns
24 with the San Tan Valley Special Area Plan, with its strategies
25 and goals that have been clearly detailed out in the document

1 and narrative shared with you, which talks about preserving
2 and enhancing the existing neighborhood character, fostering
3 diversity, broadening economic opportunities, improving
4 transportation systems, which is improving current road
5 network, and also adding new linkages to reduce congestion.
6 The rezone to L-MPC is allowed with greater than 2,000 acres
7 for residential and nonresidential uses. It's basically it's
8 providing flexibility to reallocate land uses to reflect
9 current market conditions, encourage creative land
10 development. It's an alternative to conventional zoning. And
11 the rezone to large masterplan community would allow the
12 following aspects which we have talked about. Opportunities
13 for diverse residential using (inaudible) intensities.
14 Product types and nonresidential uses. Balanced growth and
15 providing flexibility and adaptability to this Arizona State
16 Land, and effectively respond to the market conditions over
17 time. These are 26 stipulations which were part of your staff
18 report. There are updates to number 6, 11 and an additional
19 25th stipulations I shared with you an updated document right
20 now just prior to the meeting. And we had three emails in
21 opposition and one email in support for this. And those are
22 the public responses that we received. We had multiple phone
23 calls basically asking for what this is about, and I have been
24 talking to applicants and I'm sure a lot of them would be here
25 right now to really understand what this is. This is a really

1 large project and maybe we are open for questions. This was
2 the 26th one was the additional stipulation that was added,
3 which was not there in the earlier packet. And I'm just
4 keeping it open at this point for questions from the
5 Commission.

6 MENNENGA: Questions from the Commission. Rand.

7 DEL COTTO: If I could, I would just like to make a
8 comment that it seems like some monumental changes or whatever
9 are going to happen to a particular community, but then I was
10 hoping we could even see a shot of this area more widespread
11 so that we could get the magnitude maybe of how many people
12 are living in single family housing developments that
13 absolutely have nothing to speak of in regards to any
14 conveniences, you know, that people want to see. So I don't
15 see how, you know, I'm interested to see how all these people
16 are going to be speaking, but it's obvious that things need to
17 change moving forward in regards to the way development
18 happens so that they don't all end up there, may be like and
19 not have anywhere to go to eat or this or that or the other
20 thing. And then you see something like this that's probably a
21 bit overwhelming, but it's all part of planning, right? So
22 it's a good lesson in in some respects to, you know, and I
23 understand how people like to have their space, but we all
24 have to accept change in some respects moving forward and
25 receive things in our community that we want and need

1 probably. So it'll just be interesting session, and I was
2 just going to mention to the Chair, if people haven't signed
3 in that -

4 MENNENGA: (Inaudible).

5 DEL COTTO: Yeah, that that would be a great idea.

6 BILLINGSLEY: Mr. Chairman, I know this question's
7 come up before, so I just - before we get to the public
8 comment portion, I understand there may be more questions, but
9 I just wanted to suggest that you think about whether we're
10 going to hear the two cases in terms of the public hearing at
11 one time or whether we're going to hear them separate. I
12 don't mind, but I just thought I would bring that up for
13 consideration purposes.

14 MENNENGA: I was going to hear them both together.

15 BILLINGSLEY: Thank you, sir. We just needed to
16 know that for the notes.

17 MENNENGA: Right. Commissioner Klob.

18 KLOB: Thank you, Sangeeta. I have several
19 questions that have come up as I've read through this, and
20 kind of studied this a little bit. The first one that kind of
21 jumps out at me is we just went through a bunch of
22 comprehensive plan amendments with the, you know, solar and
23 what have you just a couple of months ago and some of those
24 were 1,500, 2,000 acres, large parcels. This is over 3,000.
25 Why is it, you know, those were considered, you know -

1 DEOKAR: Major.

2 KLOB: - major plan amendments, why is this not
3 considered a major plan amendment?

4 DEOKAR: I can answer that. So basically, 2022 -
5 let me go back to the slide and just give you the case number
6 - PZ-PA-009 22, we had a major comprehensive plan amendment to
7 the text that allowed for non-major amendments for Arizona
8 State Lands.

9 KLOB: Okay.

10 DEOKAR: And this is based off of that.

11 KLOB: Okay.

12 DEOKAR: And those are the only - Arizona State Land
13 can move forward with non-major amendments and classify them
14 as Special Districts so they don't have to wait for the whole
15 year to move forward with the process that we have laid out
16 for the major comp plans.

17 KLOB: Okay, that makes sense. With this Special
18 District zoning use that, you know, we want to rezone to, does
19 that still - as these, you know, these large parcels and
20 phases get broken down into smaller parcels for development,
21 are those still going to come through the same process and (A)
22 be rezoned to, you know, high density, medium density, Low
23 Density Residential, commercial, and then through site
24 planning? Or is a one size fits all?

25 DEOKAR: So this is the first stage of planning.

1 Once the entitlements are done, it goes to the next steps of
2 subdivision and site plans, and it wouldn't come to the
3 Commission. Am I correct?

4 BILLINGSLEY: This is a very complicated answer.

5 KLOB: I always seem to ask those.

6 BILLINGSLEY: You do, but I enjoy answering them, so
7 that's a good thing. The L-MPC category itself has never been
8 used before. You've never heard a case for L-MPC. Of course
9 we discussed it as part of the zoning code update and
10 potential updates to the L-MPC portion of the code, but it's
11 never been used before. The best way to provide background is
12 about 20 years ago in the planning profession, there was a new
13 topic discussed that was cutting edge at the time, it was
14 called form-based zoning. And the intention was to facilitate
15 true mixed use development and flexibility for economic
16 development. Instead of tying people down to specific
17 districts - residential, commercial, industrial, government
18 use, etc. - that a plan be looked at on a larger scale that
19 allows for flexibility as housing products change, as
20 commercial development changes over time, so that there is a
21 basis for maximum development in that area. But that can be
22 flexible. It can be moved over time. That's why L-MPC was
23 established in 2012 as part of the update. Strangely enough,
24 we've never had an L-MPC case, and now we have three. This
25 just happens to be the first one. The other two are called La

1 Terra Farms and Saddlebrook Ranch L-MPC, and you'll be hearing
2 them over probably during the next year because we're having
3 discussions on both. It's very difficult to say how many
4 times folks may or may not come back, especially in this case,
5 because this is Arizona State Land. I think you guys are
6 familiar with their direction provided by the State
7 Constitution in terms of taking public property, selling it
8 over time for highest and best use to fund our schools, mental
9 institutions and many other things that are actually in the
10 Constitution. What will end up occurring if the L-MPC is
11 approved is this is an overall zoning district for the area
12 with the provisions that exist in the approval. But it won't
13 be sold all at one time, it'll be sold off in individual
14 pieces as there is a demand and as the State can get highest
15 and best use. It's unknown at this time which phases might be
16 sold first, where the demand might be, or ultimately what may
17 be provided. There is an opportunity, as Sangeeta said, that
18 it may be very simple. Folks may come in and State Land might
19 do a sale of one of the development areas and it falls right
20 into the lexicon of this zoning approval and what's intended
21 for that area, in terms of density. They also may come in and
22 say, I appreciate that very much, but we need to make some
23 modifications to that. So it's completely conceivable that
24 this L-MPC may be amended over time, and that would come back
25 to the Commission based on folks that want to deviate from the

1 plan that exists. But it's all unknown. This is likely an
2 approval and a development that will occur over the next 50
3 years. As absorption occurs and demand occurs, the key thing
4 about this is we've heard from the community, the Board has
5 heard from the community for years now, that there needs to be
6 opportunities for the types of development where there simply
7 isn't room in San Tan Valley right now. Opportunity for
8 larger scale commercial development, opportunity for larger
9 employment uses to occur there so that the folks can work
10 locally and live in the area, so larger employment uses. If
11 you looked at our zoning map, there's very few large parcels
12 that are available for that type of employment. Now this
13 happens to have a railroad going through the middle of it,
14 which garners potentially a lot of interest with respect to
15 it, but also a diversity of housing, and lastly, opportunities
16 for a true center of San Tan Valley, if in fact they go
17 forward with their incorporation effort. You need a place for
18 your government buildings, your police station, your city
19 hall, your city parks, your baseball fields and football
20 fields, and by having something like this that's a malleable
21 object that provides flexibility over a large scale area, it
22 opens up a future for San Tan Valley in terms of governance
23 that doesn't currently exist. So I hope that makes sense.
24 The last thing I would say is Sangeeta is correct, if folks
25 did come in and make a purchase and want to move forward with

1 the entitlement as it exists, they still will go through the
2 site plan process for commercial projects and then obviously
3 the preliminary plat and the final plat process for mixed use
4 residential developments. Hopefully that was a helpful
5 answer.

6 ??: (Inaudible).

7 KLOB: So we, in theory, could have multiple, we'll
8 call it zoning districts within each one of these that the
9 Commission - there's no evaluation on them.

10 BILLINGSLEY: That it's intended to be flexible,
11 yes.

12 KLOB: Okay.

13 BILLINGSLEY: So you can transfer density. So if
14 you had a area that was primarily single family residential, a
15 developer came in and said that's all fine and dandy, but we
16 would like to bring in some small scale commercial or some
17 higher density residential into this lower density residential
18 area, there's a mechanism here to increase that density in
19 that particular development area, but then there would be a
20 subsequent reduction in another development area. So that's
21 why the caps are provided is so that there can be some density
22 transfer and intensity transfer between areas, but it cannot
23 exceed the overall standards as applied in the zoning. If
24 that makes sense.

25 KLOB: Okay.

1 SCHNEPF: And a question for Brent. The deviation
2 from this then comes back to the Commission, right? Is that
3 what I heard you say?

4 BILLINGSLEY: If you needed to deviate from the L-
5 MPC and what's approved, yes, that would come back as a zoning
6 amendment to the P&Z, yes.

7 SCHNEPF: Because this is a bit of an unprecedented
8 thing for the County being based on State Land, being within
9 the heart somewhat of a potential incorporated effort in Pinal
10 County, that's all owned by State Land.

11 BILLINGSLEY: That's correct.

12 SCHNEPF: So the need for this and for State Land to
13 work with the County has been a big monumental undertaking, I
14 think.

15 BILLINGSLEY: It's unprecedented in a number of
16 ways, but definitely worth it in terms of that, and that
17 cooperation and communication that we have with State Land is
18 fantastic from a County perspective, and we are constantly
19 communicating, working on projects and trying to make Pinal
20 County a better place. In this case, we understand the needs
21 that we have and the desires that we have going forward, not
22 just from a County perspective, but from the residents and
23 this potential incorporation effort. So from a staff
24 perspective, as Harvey said earlier, this is quite an effort
25 in a very narrow, defined timeframe to work on a development

1 of this type and an entitlement with a number of different
2 folks that had to touch it and be involved in the negotiation,
3 its effort. Pinal County's never done anything like this
4 before, not just because it's an L-MPC, but the breadth and
5 the amount of cooperation that had to occur to actually even
6 get to this point to agreement by a finite deadline was
7 tremendously difficult.

8 SCHNEPF: And might I add that since this is owned
9 by State Land, there would be the potential of anything coming
10 in without this kind of land designation, which is saying,
11 hey, residential, commercial, industrial, whatever. Without
12 this, then the State Land would be like highest bidder,
13 whatever comes in to some degree.

14 BILLINGSLEY: It's mutually beneficial. It's
15 beneficial to us to have an understanding of the rules that
16 have to be followed, it's also very beneficial for the State
17 as, once they decide to market to the outside, having
18 entitlements in place and an actual plan for how that
19 organized development will occur, adds value to the property.
20 So yeah, both sides benefit.

21 SCHNEPF: Regardless if it's incorporated or not,
22 it's still a beneficial thing for the designation of the area.

23 BILLINGSLEY: Absolutely. It's important to know
24 that if the San Tan incorporation effort is successful, two
25 things: One, in the areas that they incorporate, the zoning is

1 forever. They can't change that without going through a
2 process. Just because they're a new city doesn't mean they
3 can say, nah, that was supposed to be commercial, but we've
4 decided we're going to make that industrial. This zoning will
5 carry over to the new city. Second part is, if they become a
6 new city, they will adopt our zoning code and our staff will
7 be their zoning officials. This Planning and Zoning
8 Commission will be their Commission for a period of time until
9 they can transition away from that. I was one of the original
10 staff when Maricopa went through this process, and it took us
11 a good two and a half years to transition to our own codes,
12 plans and commission. Hope that was helpful.

13 MENNENGA: Yeah. Commissioner Del Cotto.

14 DEL COTTO: Chair, if I could, and first of all I
15 would like to commend all you people for being here, because
16 it's very important to have feedback, obviously, from the
17 people that live in the area. But I was hoping maybe that
18 staff could elaborate a little bit for the public in regards
19 to what something like of this magnitude, or obviously someone
20 has already spent a ton of money with just what you've
21 presented to us today, could you kind of elaborate a little
22 bit in regards to maybe what advantages there will be for the
23 existing people in the public based on the traffic studies
24 that have been done, where the intersections may be, what
25 flexibility it's going to give them today, or will bring to

1 them tomorrow, based on the problems they have with their
2 traffic, so on and so forth.

3 BILLINGSLEY: I think someone mentioned this
4 earlier, I don't remember who it was, it might have been you,
5 Mr. Del Cotto. The more planning we can do, the better. I
6 often have conversations with folks, not just from the San Tan
7 Valley area, but from other areas in the County and certainly
8 experienced it when I was in Maricopa for seven and a half
9 years, where sometimes things aren't discussed or things are
10 discussed in a vacuum, without the opportunity for comment or
11 for greater involvement. When you look at a project of this
12 scale and this size, there's a lot of benefit to all of the
13 communication coordination that has to occur from various
14 groups. Obviously, State Land is incredibly important in
15 this, but we also have communicated with the group that's
16 leading the incorporation effort. We've had to have
17 conversations with EPCOR, the City of Queen Creek, grading and
18 drainage districts, electrical companies, and then from a
19 staff perspective, hiring consultants to look at things like
20 drainage across this property comprehensively, how much water
21 - it actually drains from south to the north - how much water
22 is being contributed and from what areas that ultimately cross
23 this property, and where is that water being received and how
24 are those facilities sized to receive that water? I think any
25 of the folks that live in this area understand that in

1 addition to transportation, there's some drainage issues in
2 this area. Things like being able to - and you probably read
3 it in your packet - get Queen Creek and EPCOR to come to the
4 table and agree on service areas, and looking at things like
5 the fall of the earth in terms of trying to provide a gravity
6 fed sewer system which works a lot better and is a lot cheaper
7 to construct, instead of having a variety of lift stations
8 that many folks went through with Johnson Utilities and the
9 sewer overflows and some of those issues, being able to look
10 at a large area comprehensively, without boundaries and
11 cooperating with people, is a tremendous tool to benefit
12 everyone involved, no matter what the outcome is. But I would
13 say primary onus behind this is folks have shared needs that
14 they have in that community. There's not a lot of property
15 available in San Tan anymore to provide some of those things
16 that I mentioned earlier, and you know if I was a citizen, I
17 would give Pinal County credit for trying to put something in
18 place so the things that they want have a place that they can
19 go in an organized manner. But to conclude, yes,
20 transportation, drainage, water, sewer, utilities in general,
21 having those conversations, understanding and be able to have
22 consultants on Board to help us through some of those issues,
23 very much beneficial.

24 MENNENGA: Commissioner Klob.

25 KLOB: Yeah. Thank you. How does - well, two

1 things. One is when you had the breakdown of phases, you
2 know, one of the last phases was commercial and one of the
3 things that we hear on a regular basis, especially in the San
4 Tan Valley area in the corridor there, is how much commercial
5 is wanted and needed and so on. And so in theory, based on
6 that magic phasing, you know, we could be looking at, you
7 know, 10-15,000 homes before any commercial's developed. And
8 I think that's - I see pushback happening there from the
9 citizens as well.

10 BILLINGSLEY: We just met with a very active
11 commercial developer yesterday, I believe he has six different
12 projects specifically in San Tan Valley. I won't say who the
13 name is, but they've been in front of you guys many times
14 before. We just met with them yesterday and we talked about
15 future San Tan Valley, not specifically this project. They
16 need two things. Well, they need many things, but they need
17 two things from us to make them successful. They need a place
18 to put it, an opportunity to be able to garner the land so
19 that they can master plan a successful, large scale commercial
20 development, and they need density. They need density in
21 proximity to that development. That's what we've tried to
22 focus on here, and we have talked - and I believe Haley's here
23 today as well from Supervisor Goodman's office - they have
24 been working behind the scenes to try and understand what the
25 needs are from those folks like we met yesterday. If we can

1 provide an opportunity with the pass-by traffic and the
2 density that they need to do things that are large scale,
3 we're going to have more success, if that makes sense.

4 KLOB: My last question I have on this, you know,
5 give it to the applicant, is how does - this is such a large
6 parcel right in the middle of San Tan Valley, and it's right
7 in the middle of this petition signing, you know, I understand
8 kind of the why and so on, but my concern is what effect does
9 this have, you know, if this is - and I'm going to pull
10 numbers out of the air - it's 30 percent of the area of San
11 Tan Valley, is that give this a stronger, you know, vote one
12 way or the other for this petition or how's that all going to
13 play out?

14 BILLINGSLEY: I'm sorry that I keep talking
15 Sangeeta. The County isn't and can't really be involved in
16 the incorporation effort. We receive the paperwork, the
17 assessor's office does reviews, we review signatures, and we
18 go through the process that's required by State law. But
19 we're not in the position to push for it, push against it;
20 however, that occurs in the process that they utilize.
21 However, it has behooved us to coordinate with the
22 incorporation folks in terms of their desires. One of the
23 primary deliverables as part of an effort to incorporate is
24 the designation of a map of the area to be incorporated. One
25 of the things that has been a challenge for San Tan Valley in

1 the past in terms of incorporation is financial viability. So
2 this might be a little bit of an education process for some of
3 the folks that are here. Residential development does not pay
4 its own way. I was a city manager for ten years. The way
5 that the laws are written in Arizona, you don't make your hay
6 with property taxes if you're a city in Arizona. You make
7 your way with sales taxes and what we call TPT - transaction
8 privilege taxes. So when I was the city manager of Globe,
9 Arizona, we were very healthy as a city our size, even though
10 it was a small city because if you've been through Globe, it
11 has commercial all around the State highway, they have their
12 own hospital, they have their own airport, there's a number of
13 things going on that make a place like Globe financially
14 sustainable because of that importance. One of the challenges
15 in San Tan Valley is there's not a preponderance of commercial
16 as it relates to residential properties. The only real
17 benefit that cities get is if an area is in their city limits
18 prior to development, they can collect development impact fees
19 and one time sales taxes. That's great. But if it's an
20 already existing residential development, those fees have been
21 paid and the cities get very little money from sales taxes to
22 be able to maintain those streets, maintain those drainage
23 ways, traffic signals, it's all dependent on sales tax. And
24 what's occurred in San Tan Valley is some of the areas that
25 are the highest payers of sales tax have been annexed by Queen

1 Creek. Obviously, from a Queen Creek perspective, that's
2 smart because they're garnering revenue per developed area,
3 right? Because it's very low revenue per developed area if
4 it's a house. But if it's a hospital, if it's a large
5 commercial center, that garners a lot of revenue. So one of
6 the keys for San Tan Valley - not trying to speak for them,
7 just speaking from experience - they want to include in their
8 map areas that are going to be developed in the future so they
9 can take advantage of those development impact fees and that
10 transaction privilege tax, but they also want to make sure
11 that in that area there's plenty of land by percentage for
12 employment and commercial because that's where you make your
13 money as a city. Really difficult for cities to survive if
14 they're all residential with very little commercial and
15 employment. So I think that's why it's a priority to them, if
16 that makes sense.

17 KLOB: Yep, thank you.

18 PRANZO: Mr. Chair, if I may.

19 MENNENGA: Please.

20 PRANZO: One of the things that bothers me as we go
21 through these masterplan communities and the density increases
22 - and I saw the words broaden the opportunity for employment -
23 skills bring employment. And it's always been my feeling that
24 the State of Arizona has fallen down where community college
25 or secondary education is available. One of the things that

1 I'd like to bring attention to, that is not normal in planning
2 development, is making secondary education available so that
3 we can invite well paying industry, not punching cash
4 registers and stocking shelves, or being the guest speaker at
5 the door of a department store. We really need to diversify
6 our skills, and I'd like to hear more from, particularly where
7 State Land is involved, I'd like to hear more about that third
8 leg we need in the stool in order to make the project
9 successful.

10 BILLINGSLEY: Commissioner Pranzo, I'll do my best,
11 but we also have Karen here from State Land today. If I
12 misspeak or if she has something to add - Sangeeta, can you go
13 back to the map that shows the development areas? As part of
14 our consideration and going through this project, one of the
15 exercises that we went through with the consultant, and I very
16 much appreciated it, was kind of understanding by percentage
17 and balance what the planned land uses mean in a context that
18 we all understand - and I'm sorry that it's not in the
19 PowerPoint today. But what they did - and that's the map I
20 was looking for - what they did is kind of take a look at what
21 we've got laid out here and provided some examples and
22 analysis for how that compared to other areas that are
23 recognizable within the State, and without the State. If you
24 think about the area we're looking at, over 3,000 acres, and
25 you look at the colors on this map, obviously there's a lot

1 less light yellow than there is those other colors. That's
2 not typical. If this was a brand new city being planned out
3 in the middle of nowhere, this would not be feasible. Most
4 all of that map would be light yellow or residential. What
5 this is focusing on is the population, the population density,
6 the skilled trades. Obviously, CAC is just outside the
7 boundary of this site and the CAC campus. We see this as an
8 opportunity to exactly do that, Mr. Pranzo, which is we have a
9 rail line running through here, we've got over 100,000 of
10 population and obviously density around this site, this is a
11 real opportunity for employment. And that's what the bright
12 yellow, the pink and the orange - and I'm colorblind, so if I
13 got those colors wrong, I very much apologize - but those
14 other colors that we're looking at there, that is exactly
15 that. So what the consultants did is they looked at Ridge
16 Gate development, which I worked on in Colorado when I was in
17 Colorado, which is a mixed use masterplan, large scale
18 development like this. We looked at Tempe Marketplace, we
19 looked at the Mesa airport. We looked at - what were the
20 other ones? Queen Creek's downtown. Gosh, what's the
21 development out there in Buckeye? Verrado. And they took a
22 similar land area, the densities, the type of development, the
23 transportation corridors, and they made comparisons to what
24 we're planning here. And what we found is, if you have those
25 two legs of the stool, it really helps to provide the third

1 leg, and what they were trying to prove to us and to the State
2 was this type of planning with this type of flexibility, mixed
3 use capability, a railroad and transportation, can be some of
4 those things. It's just going to be a while before that can
5 occur. Obviously, Tempe is built out. Obviously, Verrado is
6 a thing all of its own. Ridge Gate is on the south side of
7 the Denver Tech Center in Denver. What we're trying to
8 provide for is a concept, a plan, an entitlement, to
9 facilitate something like those items in the future.
10 Hopefully that was helpful.

11 PRANZO: It is, it's just a pet peeve of mine to see
12 that the State, and even the County, doesn't put planning for
13 secondary education. I'm not talking about UCLA, I'm talking
14 about a two year junior college. Seniors love to take
15 courses. I'm a senior, I love to take courses. You don't
16 have to be 18 or 19 to attend these places. They make the
17 community much more well-rounded and it makes the community
18 attractive to employment.

19 BILLINGSLEY: Yes, sir.

20 PRANZO: Thank you.

21 BILLINGSLEY: Thank you.

22 MENNENGA: Okay, if nothing else - well, I was
23 hoping to get the applicant up, but let's take about a ten
24 minute break, give these folks a chance to sign in,
25 (inaudible) down the road. Come back at 10:45. So, we

1 adjourn.

2 [Break]

3 MENNENGA: Okay, let's call back to order the
4 Planning and Zoning Commission meeting. Let's see, I think we
5 - any other - so any other questions for the staff or
6 Sangeeta? If not, we need to get the applicant, its
7 representatives, to come forward. So who do we have Sangeeta?
8 State Land, hopefully?

9 DEOKAR: I'm not sure if State Land - Karen, would
10 you like to come up and talk about the project? That's what
11 the Commission Members are asking?

12 DADA: Good morning Mr. Chair and Members of the
13 Commission. I'm Karen Dada, I am the assistant director for
14 the real estate division at the State Land Department. I
15 oversee our planning and engineering division. I was going to
16 let our consultant team run through the presentation, but very
17 happy to answer any questions if you have now or after the
18 presentation. Are there any now? Sure.

19 ??: (Inaudible).

20 DADA: I have my heels on, so...

21 BILLINGSLEY: Mr. Pranzo, make sure your mic's on so
22 we have it in the record.

23 PRANZO: Oh, it's on now. Many years ago - and
24 correct me if I'm wrong - but many years ago I understood that
25 the Arizona legislature made it mandatory that the sale of

1 State Land, those proceeds would be funneled back into
2 education. Have you ever heard of that?

3 DADA: Yes sir. So State Land was granted to
4 Arizona at statehood by the federal government.

5 PRANZO: Correct.

6 DADA: That our enabling act, Arizona's Enabling Act
7 and Arizona State Constitution mandates - established the
8 beneficiaries of the trust. The land as the asset that funds
9 the trust, and the beneficiaries were established in our
10 Constitution. As you might imagine, they've changed somewhat
11 over the years, but predominantly Arizona's K-12 public
12 schools are the largest beneficiary of State Land. Every acre
13 of our remaining 9.1 million acres of State Land has a
14 beneficiary assigned to it. K-12 - my number may be a little
15 off - is about 84 percent of our land goes to K-12. So your
16 best bet is to say it's going to K-12 education. Our State
17 universities are also beneficiaries, along with - we have the
18 Pioneers home in Prescott, the schools for the deaf and blind,
19 state hospitals and some of the government buildings are
20 beneficiaries. Prisons. So those are the beneficiaries. So
21 when we sell land as an agency, the State Land Department does
22 not capture any of that funding, it all goes to the treasurer
23 and depending on if we sell it, that money goes to a permanent
24 fund where the beneficiaries are capturing revenue from the
25 income of that fund. You may have heard discussion on Prop

1 123, that is whether or not they're tapping into some of the
2 principal of that fund. The leases of the State Trust Land,
3 you see there were some agricultural leases that are in
4 existence that are not planning, our agency that is revenue
5 for our beneficiaries. We are a fiduciary, so we are not
6 anticipating. There are no applications in this area. We are
7 not canceling any agricultural leases that exist on this land
8 today, but those lease revenues go directly to the
9 beneficiaries every year as part of their annual operating
10 income, and the sale revenues go into that permanent fund
11 managed by the State Treasurer.

12 PRANZO: I appreciate your comments, and you've
13 cleared something up to me - up for me - because let's say the
14 sale of State Land that exists inside Pinal County, those
15 funds are not exclusive for Pinal County, they are State-wide.

16 DADA: Correct.

17 PRANZO: So we have to angle to get the use of those
18 funds in Pinal County.

19 DADA: Well, it's - I mean that is, it's - the way
20 that the State was established, you know, was developed at
21 statehood, the population centers were different. So we can't
22 allocate school revenues, they didn't allocate specific land
23 to specific schools, or specific counties at statehood.

24 PRANZO: Right. Or the specific development of
25 educational facilities.

1 DADA: So if the educational facilities can - if
2 they are the underlying beneficiary of that land, they can
3 lease that land from us as a beneficiary lease. We do have
4 those in existence. Some schools do lease lands from us. It
5 depends on who is the underlying beneficiary and who wants to,
6 you know, where they want to locate that school.

7 PRANZO: Right. My point, then what you've told me,
8 what I've come to understand, is that we need to sharpen our
9 pencils in order to broaden that third leg in our County.

10 DADA: Well, selling or leasing the land will
11 provide more revenue to schools across the State of Arizona,
12 which would include schools within Pinal County.

13 PRANZO: Right. But to get a an existing
14 beneficiary to take an interest in our County so that those
15 proceeds, or at least we can apply for those proceeds and
16 establish more education here. Does that make any sense to
17 you?

18 DADA: So if I'm understanding you correctly,
19 Commissioner, you're - you know, if the Florence Unified
20 School District needed to site a new school, a new elementary
21 school, they would come to us and work through the school
22 facilities board to get funding to establish that school. If
23 there was land, State Trust Land in the area, which there is a
24 lot of State Trust Land in Pinal County, they could come to us
25 and seek a beneficiary lease for that school site, if it was

1 located in an area where they needed to serve children.

2 PRANZO: Right, but I want to take it a notch up.

3 Let's say the existing Pinal County community college wanted a
4 second campus because the population is just too big for what
5 they have, would they be in a position to petition for funds
6 for a second campus?

7 DADA: I don't know off the top of my head if the
8 community colleges are one of our beneficiaries.

9 PRANZO: That's interesting. Okay. You just nailed
10 it for me.

11 DADA: So again, the beneficiaries were established
12 when we, in 1912, when they were a state -

13 PRANZO: No, I understand that the founders of the
14 State understood that we need an educated public. I
15 wholeheartedly agree. And untangling this web for me is, it
16 takes time to understand it and realizing or maybe, maybe, or
17 maybe not, the community college system is not a part of that
18 beneficiary. I don't know, and from what you just said, you
19 don't know either.

20 DADA: Correct.

21 PRANZO: Okay, we'll leave it there. Thank you.

22 DADA: Sure. Any other questions?

23 DEL COTTO: Chair?

24 MENNENGA: Go ahead Commissioner.

25 DEL COTTO: I was just trying to see if like - so

1 are you - is the State very open minded to whoever it may be
2 that wants to educate people in regards to helping them,
3 whether it be with a location or funding or anything like
4 that?

5 DADA: So we are a fiduciary for a trust where the
6 asset is the land. Our fiduciary obligation is to those
7 beneficiaries to maximize value to those beneficiaries. In
8 that regard, if it's not a beneficiary lease, when we sell or
9 lease the land - when we sell the land, it is sold at auction,
10 at public auction, to the highest bidder. And so that is why
11 we like - in large cases like this, we like to zone the land
12 in advance because it gives our buyer certainty. We are
13 really not in the business of selling land one acre at a time,
14 you know, our auction process takes at least a year, and it's
15 cumbersome for staff. It's written in our Constitution and
16 our State statute, our requirements. We have a requirement to
17 hold - I mean we have auctions literally on the steps of the
18 County courthouse, sometimes, depending on where it is. So we
19 really, as a fiduciary, our interest is maximizing yield for
20 our beneficiaries, so we really don't have a say or an
21 influence in who is the ultimate winning bidder of our land,
22 except to set it up that would allow the best type of
23 development. Because as the landowner, we're very interested
24 in ensuring quality development. If a portion of - and the
25 phase, this phasing does not indicate how the land would be

1 sold, the market is the ultimate arbiter of how the land is
2 sold. When it's ready - because we won't sell land for
3 someone else to hold onto and make money, that's not our
4 business as a fiduciary. We sell land when it's ready for
5 development and the market makes that determination, and then
6 the commissioner has the ultimate authority to determine when
7 land would come out to auction.

8 DEL COTTO: Based on the State's - whatever works
9 best for the State.

10 DADA: Based on what works best for our
11 beneficiaries.

12 DEL COTTO: And can you elaborate just one more
13 time, who are the beneficiaries?

14 DADA: So we currently have 13 beneficiaries.
15 Arizona's K-12 public schools are the primary one, the three
16 State universities, some specific colleges within those
17 universities that were, you know, the mining college that was
18 established when we were a State that, you know, the State
19 teachers college, so specific colleges within the university
20 have some beneficiary rights. The schools for the deaf and
21 blind. The Pioneers Home. State hospitals, the State
22 prisons, and some government buildings are the primary
23 beneficiaries.

24 DEL COTTO: No early childhood development?

25 DADA: If those are included within a public school,

1 a K-12, which I know some schools do have those programs, then
2 and they would through that be a beneficiary.

3 MENNENGA: Okay.

4 KLOB: Through the Chair.

5 MENNENGA: Commissioner Klob.

6 KLOB: You said something that kind of piqued my
7 interest a little bit. When this land is sold, it's, you
8 know, it's expected to be development ready, and is there a
9 timeline as, you know, where they must start?

10 DADA: Sometimes we do put performance requirements
11 in our auction notice, but generally when an applicant comes
12 in to our agency, we talk to them about what land they want to
13 develop. I think it was mentioned that there is not water
14 service currently established to a large tract of this land.
15 We don't determine that to be ready for auction. If it can't
16 be served with water, then we don't think that that's ready
17 for development - I'm sure you would all agree - so it's not
18 something that we would - until that solution is figured out,
19 it's not something that we would bring out to auction.

20 KLOB: Because I think sometimes we see these
21 developments that come through the initial entitlement, the
22 initial rezoning, and then they just sit for 5, 10, 15 years
23 sometimes before any action is taken.

24 DADA: It is possible that that could happen in this
25 case. The entitlement would be established, though, and so

1 the community, as it develops around State Trust Land, we
2 cannot invest - we can't encumber our land, so we can't go in
3 advance and install infrastructure through our land. So, you
4 know, knowing that the infrastructure costs can be very
5 significant to develop land, we might sell a larger tract to a
6 developer, a larger developer that could spend the money at
7 the outset to invest in that infrastructure and then later on
8 develop the land, knowing that that might take a little while,
9 but it's going to bring value to the land surrounding that
10 initial sale. So, you know, we're going to be very thoughtful
11 about where we sell that first piece, that it's proximate to
12 existing utility infrastructure that could be continued
13 without significant investment, and then there would be a
14 logical path of development. If someone wanted to come and
15 buy phase 8 right in the middle, you know, they're going to
16 have a lot of expense to bring utilities through that area.
17 So we're not really going to be interested in that.

18 KLOB: Thank you.

19 MENNENGA: Any questions? Commissioner Schnepf.

20 SCHNEPF: Going back to an earlier comment, you said
21 that State Land likes to have a land designation on it, which
22 makes it easier or more enticing for some potential buyer to
23 come in, and would that be the same for this particular area
24 to having a land designation like this being enticing for the
25 State and potential buyers?

1 DADA: Correct. It gives our buyers more certainty
2 to determine how they can develop the land in the future, and
3 it also, as I said, it creates expectations and understanding
4 for the surrounding community as it's developing what that
5 land would be. I mean if you see, you know, if you look at
6 our map, we are coded in blue and you see a sea of blue on our
7 map. As a homeowner, if I saw a sea of blue behind my house
8 and it wasn't zoned, I would be a little bit nervous about
9 what that land ultimately was going to develop as.

10 SCHNEPF: Very good. Yeah, same would be with this
11 too, because if we didn't have a land designation on it, then
12 it's open for highest bidder, whoever that might be.

13 DADA: We do follow local zoning codes, and as you
14 see, we're going through as a landowner, even though we're a
15 State agency, we go through the local zoning process and we
16 follow those requirements. Our developers will have to follow
17 Pinal County, or if it's San Tan Valley in the future, their
18 development requirements, all of the development standards and
19 setbacks and all of that would have to be followed by our
20 successors.

21 SCHNEPF: Okay, thank you.

22 MENNENGA: Okay, thank you. That was very helpful,
23 very informative. You know, one of the comments going back my
24 many, many, years of economic development, to see this
25 commercial industrial in here is incredible. It's awesome.

1 It's pretty desperate they need it in San Tan Valley. So
2 thank you.

3 DADA: Thank you. We're hopeful that we get, I mean
4 good commercial, good employment. The LG facility in Queen
5 Creek was State Trust Land. If you're all familiar with TSMC
6 in North Phoenix, that was State Trust Land. So those large
7 footprint facilities that don't have to - even though they
8 have to go through an auction process, they don't have to
9 assemble large tracts of land when they're working with State
10 Trust Land, so we're very hopeful that within this area we
11 could get a high value. We're setting this up to get a high
12 value employer that would provide good, high paying wage jobs
13 in this area. And we do see how LG worked with the community
14 college district and the local high school to create training
15 programs for local residents to funnel into. As you know,
16 with economic development, that's a key piece of it, so we see
17 a lot of opportunity in this area to get some really good
18 employment.

19 MENNENGA: Absolutely. Yeah, the opportunities
20 right now with the tech stuff going on is pretty immense here.
21 So thank you again.

22 DADA: It's exciting. Thank you.

23 DEL COTTO: And then Chair, if I could add, not only
24 for your kids or your grandkids, but your great grandkids.

25 MENNENGA: Yeah, absolutely. Okay, do we have

1 anyone else from the applicant to come up and speak, Sangeeta?

2 Do you know?

3 DEOKAR: Sure.

4 MENNENGA: Signed in?

5 HANSEN: I'm sorry. Mr. Commissioner and
6 Commissioners, I'm Troy Hansen with Swaback. We're the
7 planning consultants. Any presentation was provided by
8 Sangeeta earlier this morning, but myself and Nick with Wood
9 Paten Civil Engineering are here to answer any specific
10 questions.

11 MENNENGA: Anything? Commissioner.

12 DEL COTTO: The one thing that comes to mind for me,
13 just because I think of the magnitude of it, is how you make
14 sure you come up with the right, you know, the traffic stuff -
15 the way you're getting in, the way you're getting out, and I'm
16 sure that takes a lot of effort with the County and the County
17 Engineers and yourselves and traffic engineers. But I would
18 say it's got to be a pretty vital part or an important part
19 for everyone - for the people that live around it and for the
20 people that are going to be part of it.

21 HANSEN: Yes, absolutely. Lokahi Group provided the
22 transportation assessment, and they - that reflects obviously
23 the various land uses, the densities and intensities that were
24 possible with this project.

25 MENNENGA: Commissioner Klob.

1 KLOB: Question for you kind of you personally as it
2 relates to this project, or as a company, I should say, is
3 Swaback going to stay on as the master plan design team for
4 this as it moves forward? And the reason I ask that is just,
5 I mean the history of Swaback and, you know, I know Vern, you
6 know, over the years and just the creativity and being able to
7 solve a lot of issues through the design phase, you know, your
8 firm's known for. So I don't know if you're going to stay on
9 through that phase of the project or is this just the initial
10 entitlement stuff and you're done?

11 HANSEN: Undetermined at this time. We - and
12 obviously we would love to stay on and further work through
13 the secondary planning processes, but that would be really
14 dependent on the future land purchasers and developers.

15 KLOB: Okay, thank you.

16 WILLIAMS: Chair, if I may?

17 MENNENGA: Todd.

18 WILLIAMS: Yeah, Mr. Chair, if I may, just quickly,
19 just for the Commission, I wanted to make you aware that
20 Commissioner Hartman has had to step away so he's no longer on
21 the line, but we still do have a quorum.

22 MENNENGA: Okay. Commissioner Mooney?

23 MOONEY: One of the things that was said earlier was
24 to potentially change the density. I believe it was Brent
25 brought this up. Somebody could ask for a higher density in

1 one section and that would lower it in others. Would that
2 require a new traffic study? I mean, if once this project
3 gets underway and the roads are starting to be developed, how
4 is that going to impact the heart of San Tan Valley.

5 HANSEN: Yes, good question. Within the L-MPC
6 document, there is a mechanism to transfer densities and
7 intensities. Part of the secondary planning process - and
8 Sangeeta or Harvey could correct me if I'm wrong - requires an
9 additional transportation studies.

10 DEOKAR: May I intervene here? At every stage of
11 development area, whether it is a site plan or subdivision
12 process, we require updated traffic, drainage reports,
13 geotechnical reports, at every stage.

14 MENNENGA: Okay. All right. Anyone else? Okay,
15 thank you. You bet. Anyone else with the applicant that
16 wishes to speak at all? Okay.

17 ??: (Inaudible).

18 MENNENGA: You don't have to.

19 DEOKAR: Yeah, sure.

20 MENNENGA: You signed in?

21 BROWN: I can.

22 MENNENGA: I hate to be a (inaudible) about that,
23 but -

24 BROWN: You didn't sign in.

25 MENNENGA: Well, we're gonna - no, I'm just teasing.

1 BROWN: Chairman, Commissioners, my name's Nicholas
2 Brown, I'm with Wood Patel and Associates. Civil engineers
3 and surveyors supporting the County and State Land and Swaback
4 on this project. Similar to Troy, I do not have a
5 presentation prepared, but I am prepared to answer any
6 questions based on infrastructure or drainage or any civil
7 engineering or surveying questions you might have.

8 MENNENGA: Anyone, questions?

9 MOONEY: Chair.

10 MENNENGA: Commissioner Mooney.

11 MOONEY: So this is being done in phases, but as was
12 stated earlier, it can be - Phase 1 necessarily isn't Phase 1
13 if somebody comes in and wants to start the commercial part.
14 I've worked on a - been part of a small section that had to
15 have the drainage redone. If the intensity were to grow in
16 any of the residential areas, would that affect your original
17 drainage, or do they have to work around that plan that you
18 have? Are you planning this all at once, or only as the
19 phases are purchased and being developed?

20 BROWN: Similar to the other planning processes,
21 each phase of development, or each stage in planning, requires
22 further planning on the civil engineering side and the
23 infrastructure side. If you change density, you change
24 infrastructure, whether that's roadways, as we mentioned
25 before, or that's water and wastewater. And it does depend on

1 the proximity or the location of these different phases on
2 which one goes first. It will require master planning, water
3 and wastewater so that whatever is constructed - as Karen
4 mentioned previously, if Phase 8 goes first, the
5 infrastructure they build needs to be able to support
6 everything downstream and everything upstream.

7 ??: Excuse me sir, could you speak into the mic a
8 little bit higher?

9 BROWN: Yes.

10 ??: Thank you.

11 BROWN; Do I need to repeat all that again?

12 ??: No.

13 BROWN: So depending on which phase moves forward
14 first, it needs to fit within a master plan, and if that - if
15 those densities change, the master plan changes.

16 MENNENGA: Okay, anyone else? Okay. All right,
17 sounds great. So let's move on here and I'm going to make a
18 couple of comments, and then we're going to open the public
19 hearing portion here. So we've heard a lot today and as I
20 said, when I got this package opened up, I'm like, wow, this
21 is incredible. My day job, I'm a developer/builder in several
22 commercial projects and for the amount of work - I mean we do
23 small projects, we don't do anything like this - but the
24 projects we do are an acre, and the amount of work and the
25 amount of money we spend from the County, for public works,

1 for engineering, is pretty amazing today. So I guess what I
2 can say is the amount of work that Chris, the County Engineer
3 and stuff is going to do on this is pretty amazing. I mean,
4 they're going to get this right, they're going to get the
5 drainage and all that right, because they all have a lot of
6 experience, you know? So I know you've got concerns about
7 traffic. Well, we're the Planning and Zoning Commission - we
8 (inaudible) with traffic, that's public works that deals with
9 traffic here, but I know we're going to hear that. And again,
10 the County's going to make sure that the traffic flows through
11 this thing is adequate. You know, one of the things I see
12 here with this is the amount of commercial employment space
13 here. You know, we heard a report a couple of years ago by
14 Matt, the guy who was here earlier, about San Tan Valley
15 (inaudible) report. What was just shocking in that report, 98
16 percent of the people that live in San Tan Valley leave San
17 Tan Valley for work. Something's got to happen, and this is
18 an incredible opportunity. We have these incredible company -
19 Arizona's so blessed economically, right there. LG, I was
20 going to say something about that, that she said, and coming
21 here, (inaudible) coming here, that there's a good chance this
22 thing could land a couple huge employers, which would really
23 help. You got the railroad through this thing, that's a huge
24 benefit here. So anyway, with that said, I know there's some
25 negatives here, but there's a huge amount of positives with

1 this project. And furthermore, where this is located, this is
2 going to develop. I mean it's coming, whether you like it,
3 don't like it or - this is coming. It's just, it's going to
4 happen, basically. So with that said, we're going to open up
5 case PZ-PA-14-24 and case PZ-028-24 for public hearing. Three
6 minutes, I'm going to be on a timer here with you. How many -
7 I want you to do just a quick raise of hands - how many people
8 would like to speak? Okay, all right. With that, we'll move
9 forward.

10 ARITZ: Hi, my name is Pat Aritz, I live in
11 Encanterra. I thank the Commission for letting me speak.
12 Thanks to everybody in the room for all the effort. We've
13 heard - I certainly appreciate the 10,000 foot view, I mean
14 you have to start somewhere. But we live in a ten foot view,
15 and my concern is traffic. And I say that because there are
16 always traffic studies. Go on Gantzel. Go from Empire to
17 Combs, go up Ironwood. Traffic studies have been done, it's
18 already overburdened, clearly overburdened, and there are all
19 these projects that have been approved that are in the
20 process, and if you figure each housing unit adds one and a
21 half cars, you're just going to add to the burden. I mean
22 when I see what I see - and I've got 50 plus years of
23 developing real estate as a lender, as a banker. Gantzel is
24 going to have to be an eight lane road. All these roads,
25 whether they go to Kenworthy, whether they come out on Bella

1 Vista, wherever they come out, they're going to have to feed
2 the north-south road, is Gantzel-Ironwood. That is a lot of
3 traffic, and obviously traffic doesn't come under you, I
4 understand that, but that's certainly part of planning. And
5 it's easy to do a traffic study report, I talked to a couple
6 of developers who had one. But the density - and we've heard
7 the word density a lot today - density in Phase 1 is different
8 than density in Phase 9, and when that happens - and most
9 people who are going to put commercial, industrial, retail,
10 want to see housing density first. So those houses are going
11 to have cars, and those cars are going to be on the roads
12 first. And I think that becomes a very prominent issue. And
13 I only say it - I'm not being negative or anything, I'm just
14 being very practical - we're going to eventually wind up with
15 a 10 foot view, and I think we have to pay a lot of attention
16 to traffic on the roads that are already substantially
17 overburdened, in my opinion. Thank you very much.

18 MENNENGA: Thank you. Next, please.

19 BECKMAN: Hi, my name is Walter Beckman. I also
20 live in in Encanterra. Had a house there for almost four
21 years now. One of my main concerns about this, I would like
22 to see an environmental study done. I live in a home that's
23 just on the north border of this proposed plan, and there is
24 an alfalfa field behind my home, and that alfalfa field keeps
25 the dust down. Once construction starts, the wind blows in

1 our area from the south to the north, so it's going to blow
2 all the dust from the construction area south of Encanterra
3 into Encanterra, and I'm concerned about valley fever. I know
4 there have been several cases in Encanterra, that's going to
5 be much worse. So I'm asking that some sort of study be done
6 to see what can be done to address that issue. A second
7 question I have is, is there any provision in the plan for
8 building of churches or houses of worship? I know this is a
9 very large area. We've talked about commercial, we've talked
10 about residential, are houses of worship excluded from the
11 beginning because of the way the plan is set up? I don't
12 know. Just a question. And then one other issue I have is
13 each phase going to be zoned as a Special District so that it
14 can do whatever it wants in the future, or is each phase going
15 to be set when the plan is approved as residential or
16 commercial? And once it's set, it doesn't have to come back
17 here to change population density in one corner versus
18 another, it just has to stay residential. I'm trying to
19 understand that. So I couldn't quite get that from the plan.

20 DEOKAR: Yeah. So as Karen also mentioned, phases
21 are completely going to be driven by the market. Phase 1 is
22 not necessarily what is going to be up for auction, it would
23 be what is determined by the market. So don't go with the
24 phases, go with the development areas. The development areas
25 for north and the south are residential areas. That's what is

1 determined, and the central portion is the mixed use, the
2 commercial and the employment. That's not going to change.
3 If there is a change requested, that would come back to the
4 Planning and Zoning. The Special District is the land use
5 classification, which is for the whole three hundred and
6 (inaudible) acres.

7 BECKMAN: Okay, not for each individual section.

8 DEOKAR: No. No. So within each of those
9 development areas, there is densities that have been outlined
10 in the document which talks about medium, no height, you know,
11 all three categories, and there are two added ones and which
12 have the corresponding zoning, which have been again outlined
13 in the document that go along. And churches are allowed under
14 those zoning categories. So it's not that it's excluded, to
15 answer that second part of it. Okay? I hope that answers -

16 MENNENGA; Thank you. You know, I might mention if
17 you ever want to do a really, really boring reading sometime,
18 which I have, go through the Pinal County air quality controls
19 on dust control and the fines they impose. Okay.

20 FELLER: Very important point. My name is Stephen
21 Feller. I am also a resident from the Big E, and I'm from the
22 C word - California. I came here eight years ago as a
23 political necessity. Retired after 51 years of banking, most
24 of it's been in construction lending. I was also a plumber.
25 Kind of an interesting background, but my issue with this

1 project is - and I want to congratulate you for thinking of
2 this in terms of the scale, because your undertaking here is
3 10 percent of the size of Mission Viejo, which I was
4 instrumental on doing a lot of (inaudible) financing. And
5 seeing the builders coming into Mission Viejo, they were
6 provided significant assistance in land purchase, either
7 through tax benefits or financing through the Mission Viejo
8 Company. And I understand that the State will not be
9 financing or offering financing to the developers, although it
10 sounds like they do qualify them to some extent. Underwriting
11 developers, I'm sure you gentlemen or are familiar with, is a
12 difficult task and I was charged with that task, not only from
13 a valuation standpoint as an appraiser for many years, but
14 also as a commercial construction lending officer. The soft
15 costs on a project of this scale I think are very difficult to
16 estimate, and you would have to have a sliding scale
17 contingency on this that would be absolutely monumental. As
18 the Fed funds rate increased 5.5 percent in nine months, and
19 it has taken out many of my former clients through a negative
20 debt service coverage on their properties, they've lost them
21 to foreclosure - and they were building low cost housing to
22 comply with some of the political realities of these
23 administrations that come along and say we have to bring the
24 city problems to the country. And that's kind of what I see
25 coming here. The road issue is monumental, it's staggering.

1 If you want to have employment, an employment center here, or
2 colleges, or any type of major industry, you're going to have
3 to provide them with access. Maybe the back road can be
4 really an assistance there, but everything's going to the
5 north, including cash flow out of San Tan Valley, which is
6 very distressing. And we're all guilty of it. We're -
7 Encanterra annexed, you know, it - I saw that happen. I was
8 curious, that was right about the time I moved there. There's
9 a lot of issues here. This is - I admire your courage for
10 taking on a 50 year project - it could be that. To buy up one
11 of these parcels is monumental in phasing. I don't know how
12 many builders they're going to have, and they're going to have
13 a lot. So it's going to be a qualification issue. We had
14 liquidity requirements on all these builders -

15 NEIRA: Time.

16 FELLER: At a 3 percent interest rate, now we're at
17 9 percent. So it's pretty, pretty interesting problem for
18 you. Thank you.

19 MENNENGA: Sir, question?

20 DEL COTTO: Well, I was just wondering, you had made
21 some - thank you, Chair. You had made some comment about
22 foreclosures, and how did that relate to what we were talking
23 about?

24 FELLER: I just had a client of mine who developed
25 \$1 billion of apartment buildings. I lent him \$250 million

1 personally. I built his house. He lived in Bel Air. He
2 committed suicide in November. There were banks coming after
3 him, there were LLCs coming after him. Several large pension
4 funds were coming after him for money. This was - and it was
5 all because of the interest rates increasing on variable
6 interest rate loans that he was forced to refinance because
7 they were beyond extension. So if you extend and pretend,
8 which most of the banks were doing, and just let them go along
9 and put - and abate all of the interest on these loans, that's
10 fine. If you don't do that and you press it, you're going to
11 own - as a bank, you're going to own that property, and as you
12 foreclose on that property - he lost 50 percent of his
13 portfolio in a very short period of time, and it was absolute
14 calamitous for him. This was a guy that came from the Ukraine
15 with a t-shirt on his back as a sponsor, from a sponsor in New
16 York. Was a taxi driver and built a billion portfolio in
17 Southern California. His name was Neil Schecter. And God
18 bless Neil Schachter.

19 MENNENGA: Thank you.

20 FELLER: Thank you.

21 MENNENGA: Next, please. And by the way, we could
22 have a long conversation on interest rates and everything in
23 the last year. Whoo.

24 BARHANOVICH: I'm back.

25 MENNENGA: Go for it. Good to see you back.

1 BARHANOVICH: Yeah, yeah. I've been waiting. I'm
2 Jaylene Barhanovich. Hopefully you can hear me okay. Is that
3 okay?

4 MENNENGA: There you go.

5 BARHANOVICH: Okay. Okay, thank you for letting me
6 have this time to speak and talk, and just hear my voice.
7 Really quickly before I get into my speech, I just wanted to
8 say thank you for kind of clarifying some things. I feel like
9 I have a better idea of kind of the master plan, the special
10 zone, I think it's called, and so that has really helped me
11 kind of process what's going to happen. Another note being -
12 because you'll find my speech may be the opposite - I am a
13 huge fan of economic growth and commercial. That's very
14 exciting, I agree. I do think San Tan needs that. More
15 shops, more restaurants, more important employment
16 opportunities. Absolutely. What I'm not a fan of is more
17 residential homes. I think we have enough of those. We just
18 built those apartments by Walmart. I mean who's to say,
19 that's just my perspective, my opinion. But I am okay with
20 more opportunities to grow the economy. The other thing, too,
21 isn't the farming, isn't that part of the five C's of Arizona,
22 cotton? I mean, they bale and do the cotton process, isn't
23 that part of like economic growth and providing money to the
24 State? What about these farmers' jobs? So we're talking
25 about employment, but we're just going to rip away all their

1 jobs?. Okay, I'm going to get into my speech.

2 MENNENGA: You only got about a minute left.

3 BARHANOVICH: Why is everything always about turning
4 a profit? Why do humans always have dollar sign eyes? What
5 happened to our humanity? Why do we no longer value love and
6 community? Money isn't the purpose of life. What makes life
7 purposeful is our relationships, those who are in it. What
8 matters most is love. This development proposal goes against
9 the greater purpose of life, in my opinion. It will indeed
10 turn a profit, but it will also destroy San Tan Valley. What
11 initially drew me to San Tan was the open spaces and vast
12 farmland, but this development proposal and rezoning in
13 question, my view of San Tan begins to fizzle out. I feel an
14 overwhelming amount of sadness. The farmland directly behind
15 my home has provided me great joy over the years. I'm an avid
16 runner, so the farm is naturally my go-to route. Running in
17 the farm is my livelihood. I know other walkers and runners I
18 see on the farm could attest to this also. In addition, both
19 of my sons have learned a lot about agriculture through
20 directly witnessing tractors plow and bale cotton, for
21 example. My boys genuinely love to sit on the balcony and
22 watch the farmers do their jobs. It's been one of the best
23 things about living in Skyline Ranch. My family and I did not
24 end up in this house, coincidentally. We purposely selected
25 our home knowing it back to the farm. Now with this proposal

1 in question, it feels like a nightmare. I can't help but
2 think about all the loud noises, congestion, potential crime,
3 and bright lights this development will create. I might still
4 be able to see the Superstition Mountains - I need to stop?

5 MENNENGA: Thank you, yes you do.

6 BARHANOVICH: Okay. From my backyard, but I'll also
7 see fast cars and tall homes.

8 MENNENGA: Thank you.

9 BARHANOVICH: Thanks.

10 MENNENGA: Any questions? All right, next please.

11 TONZI: I want to thank you all for letting me
12 speak. My name is Carol Tonzi. I also live Encanterra. I
13 live in the southeast corner overlooking the farm, that
14 beautiful farm, watching the farmers. But not only am I
15 concerned regarding the property values going down, being
16 affected by it, and the future of the land behind us, and the
17 traffic safety issues, one of my biggest concerns is the
18 environmental concerns with the valley fever. Right now we're
19 living in the midst of all kinds of construction around us
20 over on Kenworthy and over this way and that way, and we have
21 a high number of valley fever residents right in our community
22 that came here and were healthy. And because nobody is doing
23 any environmental studies, I just request that one be done
24 before they start tearing up all this land and making
25 everybody sick.

1 MENNENGA: Thank you. Any questions? Okay. Next,
2 please. Anyone else?

3 DALLOLMO: Thank you for the opportunity. I'm Dr.
4 Carlo Dallolmo, I also live in Encanterra. As I listened to
5 the presentations this morning, the one thing that I find
6 lacking is the human impact on this whole development. I
7 don't mind zoning, and I think it's a vital part of any
8 community. However, the quality of life issues that aren't
9 addressed, they have to be criteria for any kind of
10 development, and I would say that San Tan Valley is unique in
11 that sense. I tell my friends, I said I feel like I live on
12 the edge of civilization. On one side I have these beautiful
13 farmlands, on the other side I have all these homes, and I
14 said but it's really nice to see. And that's a unique feature
15 that this area has. I hate to see it lost. And the other
16 thing is, I hate to see farmland lost. As important as water
17 is, so is the farmland. And those are my only comments.
18 Thank you very much.

19 MENNENGA: Any questions? Okay, anyone else? All
20 right. With that, we're going to close the public hearing
21 portion on case PZ-PA-014-24 and PZ-028-24, and bring it back
22 to the Commission for discussion or possible motion.
23 Commissioner Del Cotto.

24 DEL COTTO: Chair if I could, and to the public. I
25 have been living in an area south of the Town of Maricopa for

1 35 years - since 1990. And recently I've watched the whole
2 road that I've driven for the last 34 years, they've ripped
3 the irrigation ditch out of it. And so it's interesting.
4 It's interesting how even people that have moved to my
5 neighborhood two years ago are so firmly convinced that they
6 need everything just to be left alone, you know. So I would
7 just, you know, it's all about change, and time and things
8 change, and I like to tell people that you should be thankful
9 for the time that you've had, whether you've lived there for a
10 month, a year, ten years, 20 years, 30 years, that, you know -
11 and you'll have those memories of things that - like the farm
12 being across the street and so on and so forth. But - and I
13 know change is hard sometimes, but we all kind of have to end
14 up dealing with some of it at some point. And I think that
15 you all could still be a good part of nurturing that process
16 moving forward if and when the time comes, you know, that for
17 any of this future development to take place. So that's it,
18 thank you.

19 MENNENGA: Okay. Anyone else?

20 MOONEY: Excuse me, if I may, sir. Chairman?
21 Chairman? Sorry, my voice is - excuse me. As it pertains to
22 valley fever, maybe Sangeeta or the County, other staff, could
23 answer. Are there tests normally done on the ground before
24 digging starts, or is it just basically to monitor dust
25 control?

1 MENNENGA: You know, I can speak to that. I mean
2 there's - the environmental tests and stuff for this project
3 are huge. They're going to spend thousands and thousands,
4 probably a hundred grand on environmental tests and stuff for
5 this project. So yes, there's -

6 MOONEY: I'm asking specifically for valley fever.
7 That was the concern, so that's -

8 MENNENGA: It would be included, okay?

9 MOONEY: I'm not familiar with that, that's why I'm
10 asking this question, for clarity.

11 MENNENGA: Yeah, they're going to take dirt samples
12 and drillings and yeah, there's -

13 MOONEY: I understand that they're going to do a lot
14 of dirt work and a lot of testing, are they testing for valley
15 fever? We had a lot of concerns, my husband actually had it
16 for six months. I do not know that, and that's why I'm asking
17 County.

18 MENNENGA: Go ahead.

19 MOONEY: Thank you.

20 DEOKAR: Commissioner Mooney, I would like to point
21 out that the stipulation number 17 clearly takes care of that.
22 If you can review the ones which you have in your -

23 MOONEY: The one you handed out?

24 DEOKAR: Yes.

25 DEL COTTO: Chair?

1 MENNENGA: Yes sir. Commissioner Del Cotto.

2 DEL COTTO: If I could just add to that. In regards
3 to like when there is future development and development
4 starts to take place, they typically put up these boards, and
5 then the boards have phone numbers on them that you can call
6 if and when you feel like that there are issues related to
7 dust. And that's why they're there. And I would say moving
8 forward, something like this or anything in any one of your
9 neighborhoods and/or communities, that those are little things
10 that you just have to once again be part of. And if there's
11 issues, then you make the phone call, and then those
12 developers are held accountable for the dust that they have -
13 that they're pushing around.

14 MOONEY: Yes. And those have been - where I live,
15 it was a one lane road each direction, and it's now five
16 lanes, so I've dealt with that for a long time and called the
17 County on those numbers on the dust. My question was
18 specifically for valley fever, as it was brought up by
19 residents that are concerned with that. So is there a test
20 that's done? And Brent has his hand up, thank you.

21 BILLINGSLEY: I'll do my best to answer, but it's
22 not a good answer. Which is, all of that permitting, testing
23 results, is all done by the air quality division of Pinal
24 County, not from anybody in this room, including the planning
25 side. I am not 100 percent sure on what testing is provided.

1 I am familiar with Phase 1 reports. I've never seen a Phase 1
2 report that addressed valley fever specifically. However,
3 that's all done through air quality. I can't speak to, nor
4 can Sangeeta, of anything specific to valley fever. We don't
5 know about that stuff.

6 MOONEY: And that's all I was asking, thank you.

7 MENNENGA: Commissioner Klob.

8 KLOB: One of the things that always comes up, you
9 know, in all developments is traffic, of course. It's Gantzel
10 Road that is cutting diagonally through the middle of this?
11 Is that correct?

12 DEOKAR: Yes.

13 KLOB: Is Gantzel - who controls cancel? Is that
14 Pinal County? Is that ADOT?

15 ??: It mirrors the railroad, pretty much. It
16 widens that angle. But Gantzel down to Hunt Highway.

17 MENNENGA: Brent?

18 BILLINGSLEY: The County controls Gantzel Road. P&Z
19 may remember here a few years ago there was millions and
20 millions of dollars expended on purchasing right-of-way and
21 improving the Ironwood-Gantzel Corridor to provide another
22 north-south high capacity corridor through San Tan Valley. So
23 that is a County road, we do control it. As part of the
24 traffic work that's occurred, there's a separate traffic study
25 done by Lokahi that's part of this study, they did not just

1 study the proposed roads and the traffic generated by any of
2 those individual development areas. They also must consider
3 by County requirement regional traffic, both existing and
4 projected, that's outside of this area. One of the key
5 corridors that we're actually designing at this time is what
6 we call the Central Arizona Parkway, which is going to be just
7 east of this site. That's going to provide a second large
8 capacity corridor in a north-south direction. And of course
9 the third one is the north-south corridor, which is 1 to 2
10 miles further east of the Central Arizona Parkway. So when -
11 and perhaps one of the consultants wants to talk about it, but
12 as part of the traffic report and the projections, it's not
13 just traffic generated from this site, it's existing traffic,
14 traffic counts, as well as projected traffic from approved
15 developments that are adjacent to and in proximity to the
16 properties in question. Hopefully that was helpful.

17 MENNENGA: That's very helpful, thank you.

18 KLOB: Thank you.

19 MENNENGA: Okay, anyone else? Motion?

20 SCHNEPF: Commissioner Mennenga.

21 MENNENGA: Commissioner Schnepf.

22 SCHNEPF: I'd like to make a motion to the Planning
23 and Zoning Commission. I'd like to move the Planning and
24 Zoning Commission forward a recommendation of approval of case
25 PZ-PZ-014-24, a non-major comprehensive amendment to the San

1 Tan Valley Special Area Plan designating the 3,238.7 acres of
2 State Land as Special District.

3 MENNENGA: Second?

4 MOONEY: I'll second it.

5 MENNENGA: Second. All in favor?

6 COLLECTIVE: Aye.

7 MENNENGA: Anyone opposed? Okay, next one.

8 SCHNEPF: Commissioner Mennenga. I'd like to
9 propose - let me get there, excuse me. In this next case, do
10 I need to state that the - what is it -

11 MENNENGA: Stipulations?

12 SCHNEPF: 6 and 11 have changed?

13 DEOKAR: 6, 11 have changed, and -

14 SCHNEPF: Additional to the 26.

15 DEOKAR: Additional 26 has been added, yes.

16 SCHNEPF: Okay.

17 KLOB: Do those have to be read into the record?

18 SCHNEPF: Do I need to -

19 DEOKAR: Yes.

20 SCHNEPF: So I need to read 6 and 7, and then 26 I
21 know I need to. So just go ahead and read all three of them.

22 DEOKAR: Yes.

23 SCHNEPF: Okay. I'd like to move the Planning and
24 Zoning Commission forward a recommendation of conditional
25 approval of case PZ-028-24, with the original 25 stipulations.

1 First I'll go to the change of stipulation number 6, which
2 reads: All rights-of-way dedicated to Pinal County shall be
3 free and unencumbered, except as excluded by the County
4 Engineer or his designee. And then number 11, which states,
5 applicant to follow landscaping standards for future
6 development for each phase of development as provided in the
7 L-MPC zoning, or as required by the Pinal County Development
8 Service Code, as amended from time to time. And then with the
9 addition of stipulation number 26, which states, given auction
10 allocations imposed by the ASLD on development areas under
11 Section 5.2 of the L-MPC, the County waives any development
12 agreement requirement under Section 2.365.020 of the Pinal
13 County Development Services Code. The waiver does not
14 preclude a subsequent patent holder and the County from
15 entering into a development agreement.

16 MENNENGA: And a second?

17 MOONEY: Second.

18 MENNENGA: Okay, everyone in favor?

19 COLLECTIVE: Aye.

20 MENNENGA: Anyone opposed? You know, I got to give
21 us a attaboy here, because at the day we've done two pretty
22 monumental things here that I don't ever remember on this
23 Commission done. I mean passed the zoning changes to move
24 forward, and in this case, you know, if you ever looked at a
25 map - wow, there's so much State Land (inaudible). So this

1 gotta kind of start to set a precedence for us. And, you
2 know, we heard a lot of good information today from State
3 Land, from the consultants and stuff, and it was really very
4 enlightening to hear all that. I mean I've heard all this
5 before, but again, this is - it's a pretty monumental project
6 that's coming forward. Now, I understand for Brent, San Tan
7 probably is going to incorporate. I know the County is
8 obviously in favor of that (inaudible). I've talked to
9 Supervisors and stuff. So again, a couple very monumental
10 things that we've done here today. And it's a 50 year
11 project, this is all isn't going to happen tomorrow. It's a
12 long ways down here. I mean you're probably going to have
13 farmland behind your houses for several years here, you know.
14 And if you live in Encanterra, wow, I don't know how many you
15 got left. I shouldn't say that. Anyway, any other business?
16 Anything - Todd?

17 WILLIAMS: Chairman Mennenga, if I may, I just want
18 to announce that you had the motion earlier to kind of go to
19 the public review comment. We are live now, so it's out
20 there. So just want to share that with everyone before we
21 left the meeting.

22 MENNENGA: Oh, okay.

23 ??: We're on the clock.

24 KLOB: (Inaudible) Call the Commission.

25 MENNENGA: Yes, Call to the Commission?

1 Commissioner Klob.

2 KLOB: Can we - and we briefly talked about it a
3 while back. I think today was, you know, might have been
4 another one of those good examples of when it would be
5 beneficial. Can we switch to - anytime soon to comment cards
6 in lieu of a comment sheet, and maybe have like a little table
7 out in the lobby or something where as they come in they can
8 fill out their card, and then we don't have to, you know.

9 BILLINGSLEY: Yes sir, in the works.

10 MENNENGA: Okay, fantastic.

11 KLOB: Thank you.

12 MENNENGA: Commissioner Pranzo.

13 PRANZO: Mr. Chair, Fellow Commissioners, staff, let
14 me preface what I'm about to say by stating that my short time
15 here, I've been impressed by the professionalism that I see,
16 both by the Commission and by staff. My pencil's not so
17 sharp, so what I've done - and hopefully for the benefit of
18 the Commission - I communicated with Mrs. Kennedy, she's the
19 clerk of the County Superintendents - and I've asked or
20 requested a joint open meeting law session with the Attorney
21 General's Open Meeting Law Group, to help sharpen my pencil.
22 I also asked her if we could get a tutorial on parliamentary
23 procedure. I'm not very good with it. My impression is that
24 we could use a little help in that area. So I've asked for
25 both of those things, and I hope you receive my comments in a

1 way that I'm looking to move forward, rather than throw mud.

2 Thank you.

3 MENNENGA: Okay, sounds good. Brent.

4 BILLINGSLEY: Also in the works, as a matter of fact
5 we just had a meeting on it last week - there will be - it
6 looks like it's going to be a full day session, or most of a
7 full day session, that will start with specifically training.
8 We do it every two years, but will be training to the Planning
9 and Zoning Commission, Open Meeting Law, Robert's Rules of
10 Order. I usually do a training on what's the role of a
11 Planning and Zoning Commission and what are the laws that are
12 behind that? That will likely be part of that, and then the
13 intent is to transition over and potentially have - I can't
14 guarantee this, but we're working on it - to have a joint
15 meeting between the Planning and Zoning Commission and the
16 Board of Supervisors. So it's in the works. We want to do
17 that this spring. Just bear with us, we're busy and it takes
18 time to set this stuff up.

19 MENNENGA: That would be very helpful. That would
20 be tremendously helpful. Motion for adjournment.

21 MOONEY: So move.

22 DAVILA: I'll second that.

23 MENNENGA: All right, thank you.

24

25

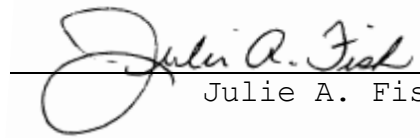
1 I, Julie A. Fish, Transcriptionist, do hereby
2 certify that the foregoing pages constitute a full, true, and
3 accurate transcript in the foregoing matter, and that said
4 transcription was done to the best of my skill and ability.

5 I FURTHER CERTIFY that I am not related to nor
6 employed by any of the parties hereto, and have no interest in
7 the outcome hereof.

8

9

10



Julie A. Fish

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

SAN TAN URBAN CORE APPLICATION FOR A NON-MAJOR COMPREHENSIVE PLAN AMENDMENT – NARRATIVE REPORT



OWNER

Arizona State Land Department
1110 W Washington Street, Suite 510
Phoenix, AZ 85007

APPLICANT

Pinal County
85 N Florence Street
Florence, AZ 85132

CONSULTANTS

Swaback
7550 E McDonald Drive
Scottsdale, AZ 85250

Wood-Patel
2051 W. Northern Ave, Suite 100
Phoenix, AZ 85201

TABLE OF CONTENTS

- I. PROJECT SUMMARY
- II. REGIONAL CONTEXT
- III. EXISTING LAND USE AND ZONING DESIGNATIONS
- IV. PURPOSE AND NEED FOR SPECIAL DISTRICT LAND USE DESIGNATION
- V. NON-MAJOR AMENDMENT CONFORMANCE WITH GOALS AND OBJECTIVES OF THE PINAL COUNTY COMPREHENSIVE PLAN AND SAN TAN VALLEY SPECIAL AREA PLAN.
- VI. CONCLUSION

I. PROJECT SUMMARY

The San Tan Valley Urban Core (herein referred to as STV Urban Core) encompasses approximately three thousand two hundred (3,200) acres in the north-central part of Pinal County. The subject property is currently owned by the Arizona State Land Department (hereinafter referred to as the “ASLD”).

This request is being submitted by Pinal County on behalf of ASLD to provide a “Special District” land use designation in accordance with the Pinal County Comprehensive Plan, which would allow for the processing of zoning entitlements on State Trust land. The current land use designations are Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office in the San Tan Valley Special Area Plan. The request is to designate the entire 3,238.7± acre site to “Special District” (See Exhibit 1.1 Site Map). Accompanying this request is an application to rezone the property in question to the Large Master Planned Community (L-MPC) zoning for the approximately three thousand two hundred (3,238.7±) acre area. The proposal for L-MPC zoning will provide a framework for managing and regulating the density, intensity, zoning and development on the ASLD land over the next decade.

The primary purpose of this request is to enable the ASLD to auction the property, or portions thereof, once private developers express an interest in the development of the area. This amendment will also facilitate the development of this property by allowing for the consideration of the zoning entitlements and its inclusion in the petition currently being circulated for the proposed incorporation of San Tan Valley.

II. REGIONAL CONTEXT

Subject property, covering approximately three thousand two hundred and thirty eight (3,238.7±) acres in San Tan Valley, is in the north-central part of Pinal County. It is bordered by Hash Knife Draw Road to the north, Bella Vista Road to the south, Schnepf Road to the east, and Hunt Highway to the west, as detailed in Exhibit 2.1: Regional Vicinity Map. The property consists of a mix of native desert and agricultural fields, with no habitable structures present, and is surrounded by single-family residential developments and agricultural land.

Geographically, the Property is approximately ten (10) miles south of the Town of Queen Creek and twenty-five (25) miles north of the Town of Florence. Approximately five (5) miles to the east, lies the San Tan Mountain Regional Park, offering stunning mountain views and over 10,000 acres of Sonoran Desert landscape and mountain peaks ranging over two thousand five hundred (2,500) feet, along with recreational opportunities like hiking, running, mountain biking, and equestrian trails.

The Gila River Indian Community, spanning over five hundred and eighty (580) square miles across Pinal and Maricopa Counties, is located approximately five (5) miles to the north and eight (8) miles to the west of the Property.

Gantzel Road, providing access to Hunt Highway, is a key regional transportation corridor, and the Union Pacific Railroad alignment, approximately splits the Property in half and runs diagonally through the Property from the northwest to the southeast. Several Roads of Regional Significance (RSRs) as shown on Exhibit 1.3 serve the Property, and they include:

- Hunt Highway – western edge of the Site.
- Gantzel Road – bisects the Site from Northwest to Southeast.
- Attaway Road – east of the Site.
- Combs Road – north of the Site.
- Skyline Drive – bisects the northern portion of the Site.
- Bella Vista Road – southern end of the Site.
- Arizona Farms Road – south of the Site.

III. EXISTING LAND USE AND ZONING DESIGNATIONS

The Property lies within the San Tan Valley Special Area Plan and has land use designations of Suburban Neighborhood, Urban Transition, Urban Center and Suburban Office. Density varies in the different land-use classifications and has a range of 1-10+ du/ac. (refer to table 1.0) The Property's current use is a mix between agriculture and undeveloped land.

A majority of the site is currently zoned as General Rural (GR), while a small portion of the Site is zoned Local Business Zone (CB-1). The following table provides a summary of the existing land use and zoning designations for the property.

TABLE 1.0

Existing Site-Land Use and Zoning Designations			
LANDUSE	DEVELOPEMNT INTENSITIES		ZONING
Suburban Neighborhood	Residential	Non- Residential	
	1-4 du/ac (Single Family Residential)	0.35 FAR	GR
	4-8 du/ac (Single Family Attached)		GR
Urban Transition	4-10 du/ac	0.35 FAR	GR
Urban Center	10+ du/ac	0.35-1.35 FAR	GR
Suburban Office	-	0.55 FAR	GR

The Property's surrounding land use and zoning designations are shared in Table 2.0 below as found within the San Tan Valley Special Area Plan.

TABLE 2.0

Surrounding Land Use and Zoning Designations				
Direction	LANDUSE	DEVELOPMENT INTENSITIES		ZONING
North	Suburban Neighborhood	Residential	Non- Residential	Town of QC, R-7 PAD, MR-PAD,
		1-4 du/ac (Single Family Residential)	0.35 FAR	
		4-8 du/ac (Single Family Attached)		
	Community Center	8-16 du/ac	0.50 FAR	
South	Suburban Neighborhood	1-4 du/ac (Single Family Residential)	0.35 FAR	R-7 PAD, CR-3 PAD, CR-1 PAD, C-2 PAD, MR-PAD
		4-8 du/ac (Single Family Attached)		
	Rural Living	0.1 du/ac	0.30 FAR	
	Urban Center	10+ du/ac	0.35-1.35 FAR	
East	Suburban Neighborhood	1-4 du/ac (Single Family Residential)	0.35 FAR	CB-1 PAD, CR-2 PAD, CR-3 PAD, GR
		4-8 du/ac (Single Family Attached)		
	Rural Living	0.1 du/ac	0.30 FAR	
	Community Center	8-16 du/ac	0.50 FAR	
West	Suburban Neighborhood	1-4 du/ac (Single Family Residential)	0.35 FAR	MR PAD, CR-3 PAD, CR-4 PAD, C-2, CB-2 PAD
		4-8 du/ac (Single Family Attached)		
	Community Center	8-16 du/ac	0.50 FAR	

IV. PURPOSE AND NEED FOR SPECIAL DISTRICT LAND USE DESIGNATION

The intent and purpose of the "Special District" per Chapter 10, of the Pinal County Comprehensive Plan land use designation is to provide State Trust lands with a land use designation that will promote the planning and development of an innovative and flexible master planned community in the heart of the San Tan Valley.

The Special District designation, which is unique to State lands in the Pinal County Comprehensive Plan, allows for a diverse mix of land uses, while concurrently allowing for transitional uses and/or buffers between dissimilar uses. Exhibit 4.1 Illustrates the existing Land uses within the Comprehensive Plan, and Exhibit 4.2 reflects the “Special District” designation for the ASLD property. This approach gives the State the ability to better respond to market conditions, which is especially important with the San Tan Valley ASLD holdings, where the Property will likely be auctioned incrementally over several years due to its large land area. This will also allow the ASLD to maximize revenues from the sale of land so that the ASLD can more effectively respond to land use and market dynamics as they change over the decades.

More importantly, this is the appropriate time to amend the County Comprehensive Plan to provide the Special District designation for ASLD trust lands within the San Tan Valley area. Over the past few years, there has been active interest among numerous residents to incorporate San Tan Valley. The rapidly increasing population of San Tan Valley and the desire and need for more urban level services has brought the issue of incorporation of San Tan Valley to the forefront. In 2024, an Incorporation Committee was formed, and the committee members have been seeking support for incorporation as well as developing the blueprint for an incorporation vote of San Tan Valley registered voters in August 2025. On October 30, 2024, the Pinal Council Board of Supervisors authorized the circulation of the required petition seeking 10% of the signatures of qualified electors residing within the proposed town boundaries within 180 days (April 28, 2025).

Since the ASLD Property encompasses approximately 3,238.7± acres within the heart of the San Tan Valley, the incorporation committee wishes to include these significant land holdings within the incorporation boundaries. Further, these properties are essential to facilitating effective land use and transportation planning for the proposed municipality, as well as the region. To include State Trust lands within the incorporation boundaries, ASLD requires that the Property secure zoning entitlements from Pinal County.

Thus, Pinal County is seeking the zoning entitlements on behalf of the incorporation effort currently. Equally important, the zoning entitlement work is important at this time for planning the future development of the area, with or without incorporation of San Tan Valley.

V. NON-MAJOR AMENDMENT CONFORMANCE WITH GOALS AND OBJECTIVES OF THE PINAL COUNTY COMPREHENSIVE PLAN AND SAN TAN VALLEY SPECIAL AREA PLAN

As a prime location in the San Tan Valley area, the ASLD Property is ideally positioned for future development, adjacent to existing neighborhoods and near major transportation corridors, including Hunt Highway, the planned Central Arizona Parkway, planned extension of State Route 24, Skyline Drive, and the future North-South ADOT freeway connecting US-60 to the north and I-10 to the south. With proximity to major transportation corridors and the growing residential population base, the Property is ideally suited for mixed use development as well as having the potential to attract new businesses and services to the region. Additionally, the Special District land use designation, along with the Large Master Planned Community (L-MPC) zoning, will allow for an integrated and comprehensive approach to balancing residential and non-residential growth which will ultimately benefit the character of the development and improve the quality of life for current and future residents of San Tan Valley. These attributes are in alignment with the goals and objectives of the Pinal County Comprehensive Plan.

Moreover, the land use strategies and economic goals contained in the San Tan Special Area Plan can be achieved through implementation of the Special District land use designation on the ASLD Property. The Land Use Strategies within the San Tan Valley Special Area Plan include the following:

1. Preserve and Enhance Existing Neighborhood Character – The opportunity to “create a cohesive collection of high-quality places where residents can build social networks and integrate into a balanced community...” can be achieved with proper planning and mixed-use developments that are envisioned within the heart of the San Tan Valley.
2. Foster More Housing Diversity – The land use flexibility allowed with the Special District and L-MPC zoning will afford developers the opportunity to offer more diverse housing options to future residents of San Tan Valley.
3. Broaden Economic Opportunity – With additional population anticipated with the development of the ASLD Property, the Plan’s goal of increasing the number of retail establishments and restaurants, especially locally-owned ones, can be achieved. This will also serve to encourage more investment in the San Tan Valley area, and thereby, attract larger employers which will help to diversify the local economy.
4. Improve Transportation Systems – As San Tan continues to grow, so does the demand on the transportation and utility systems, which are

essential for achieving broader development objectives. San Tan Valley's neighborhoods, retail centers, schools, and parks need to be linked by a balanced and integrated transportation network, which includes motor vehicles, pedestrians, and bicycles. The comprehensive and flexible planning and development approach offered by the Special District land use designation and L-MPC zoning will help to better define a future for San Tan Valley that includes increased linkages and reduced congestion.

VI. CONCLUSION

The proposed Non-Major Comprehensive Plan Amendment meets the amendment approval criteria as detailed above and directly aligns with the intent of the 'Special District' designation. The amendment will allow the Board of Supervisors to consider the companion proposed Rezoning case PZ-028-24 to L-MPC (Large Master Planned Community) which takes the next step in the joint planning efforts between the Arizona State Land Department and the County.

EXHIBIT 1.1 SITE MAP

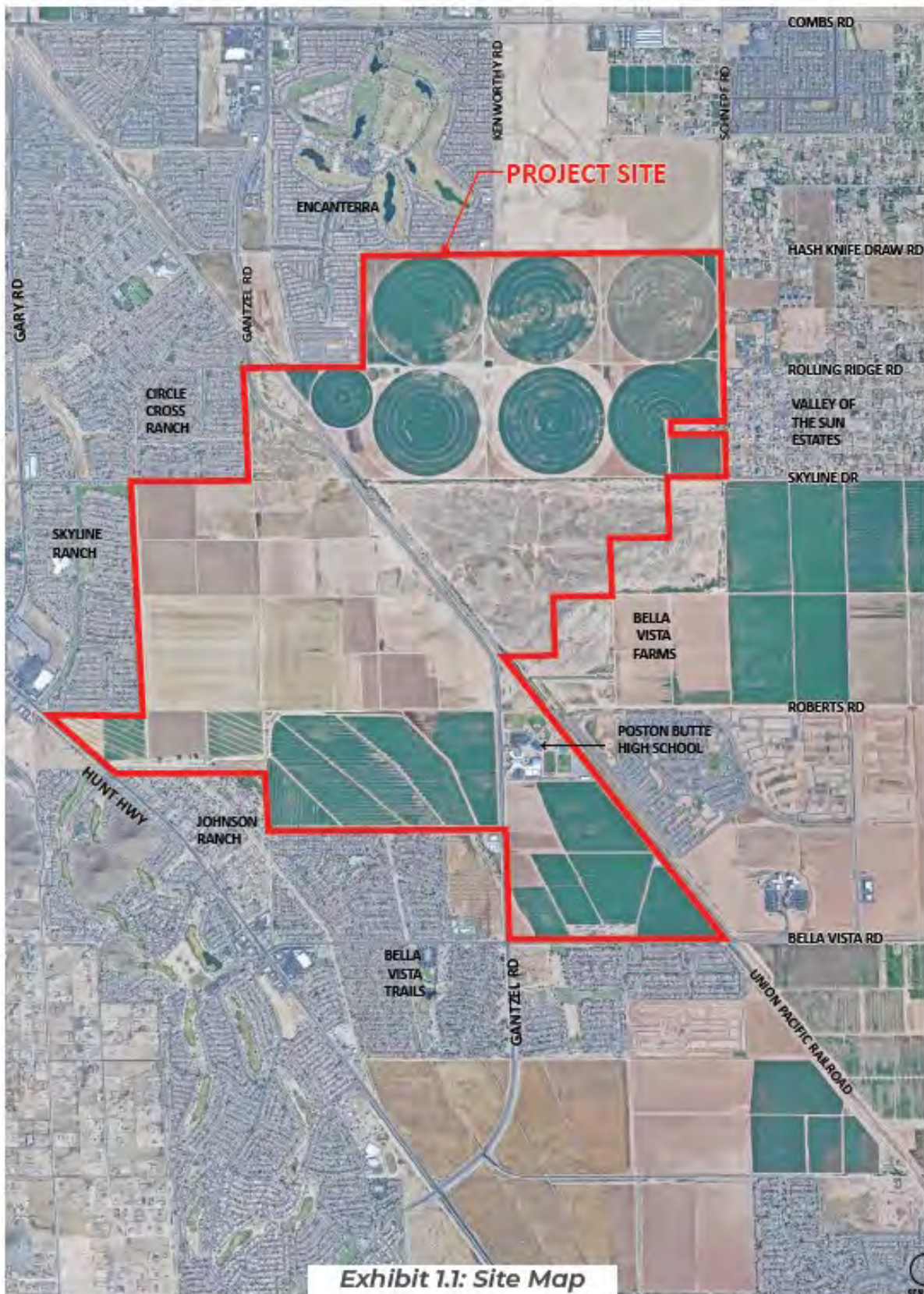


EXHIBIT 2.1 REGIONAL VICINITY MAP

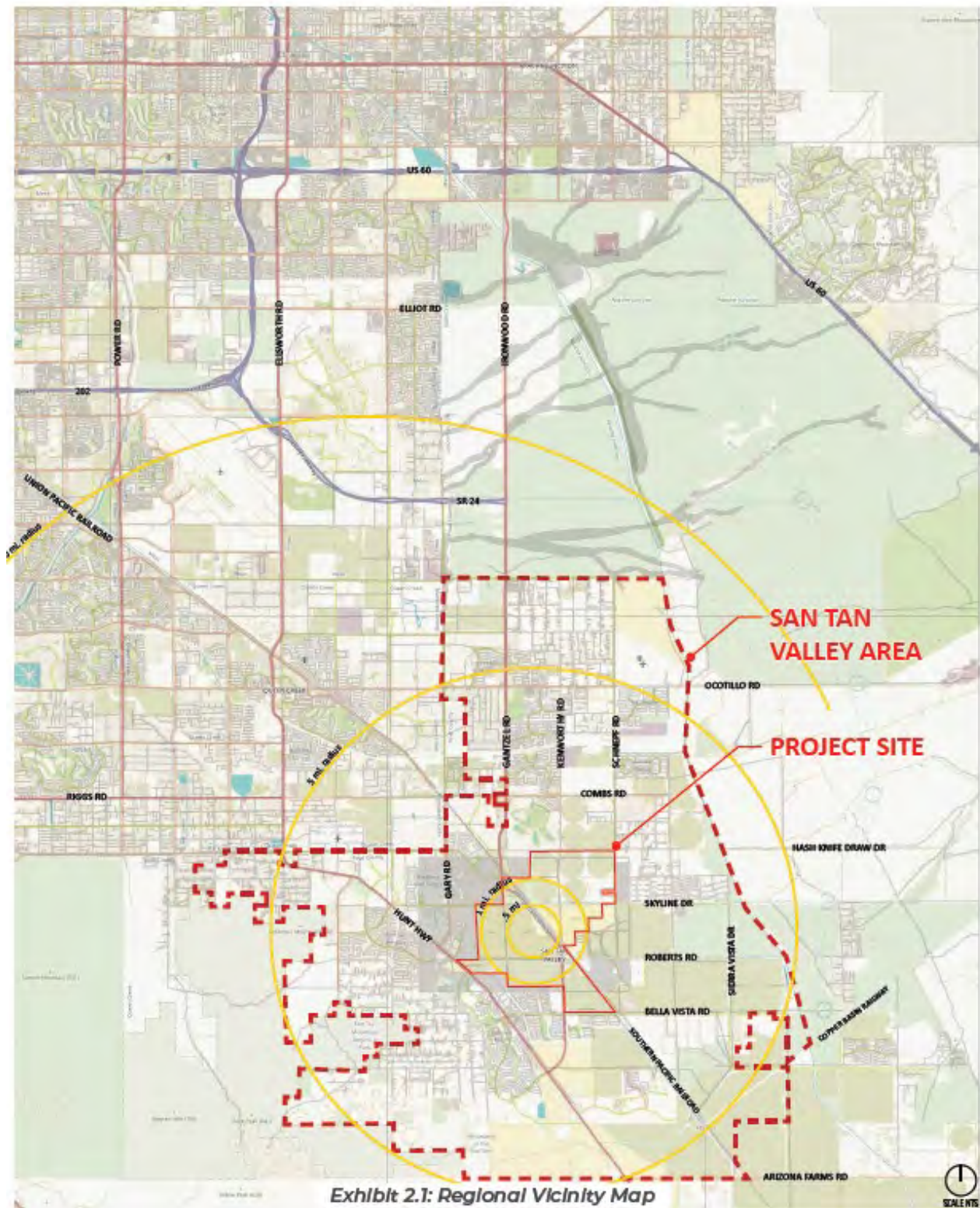


EXHIBIT 4.1 SAN TAN VALLEY SPECIAL AREA PLAN (STV SAP) EXISTING COMPREHENSIVE PLAN

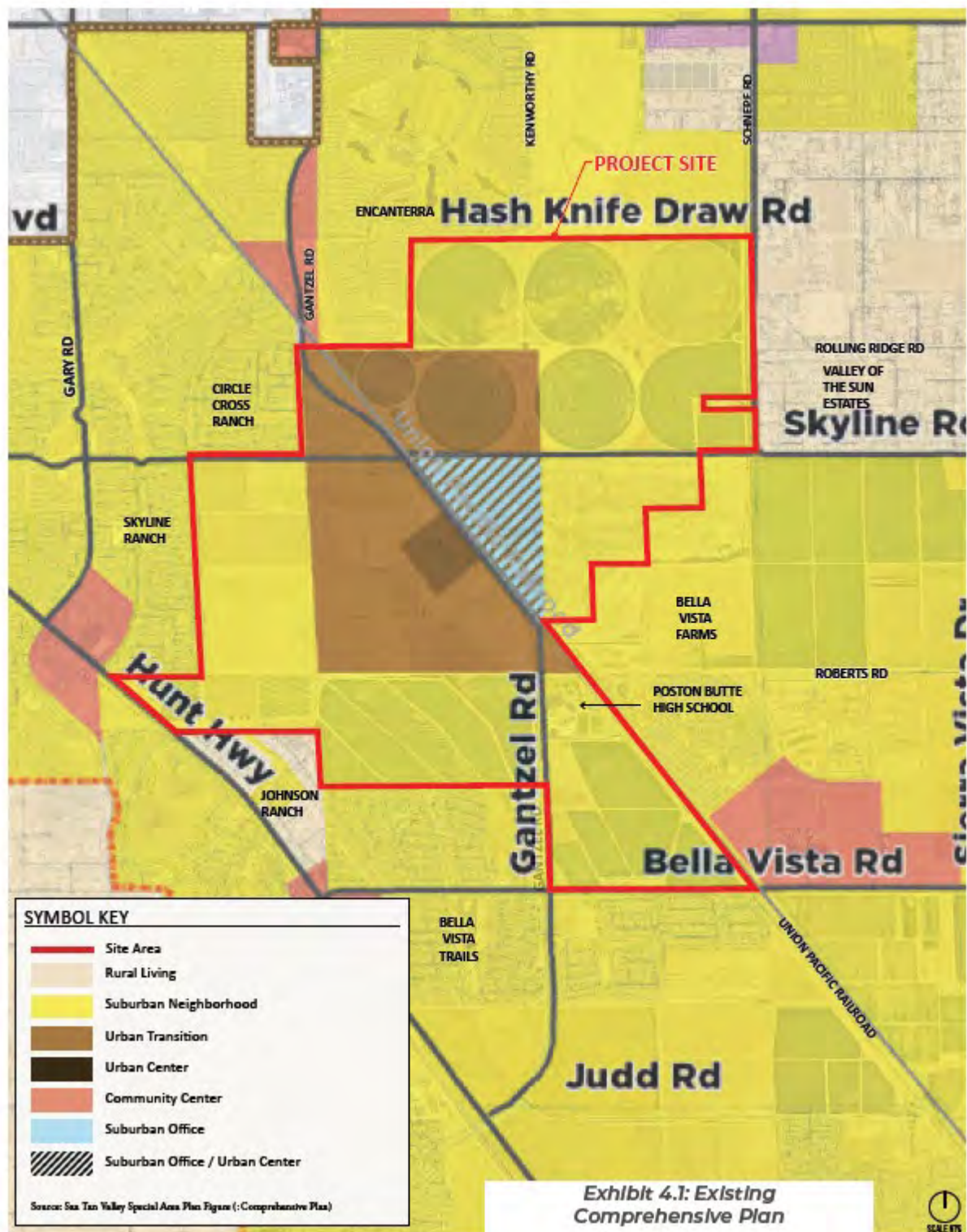
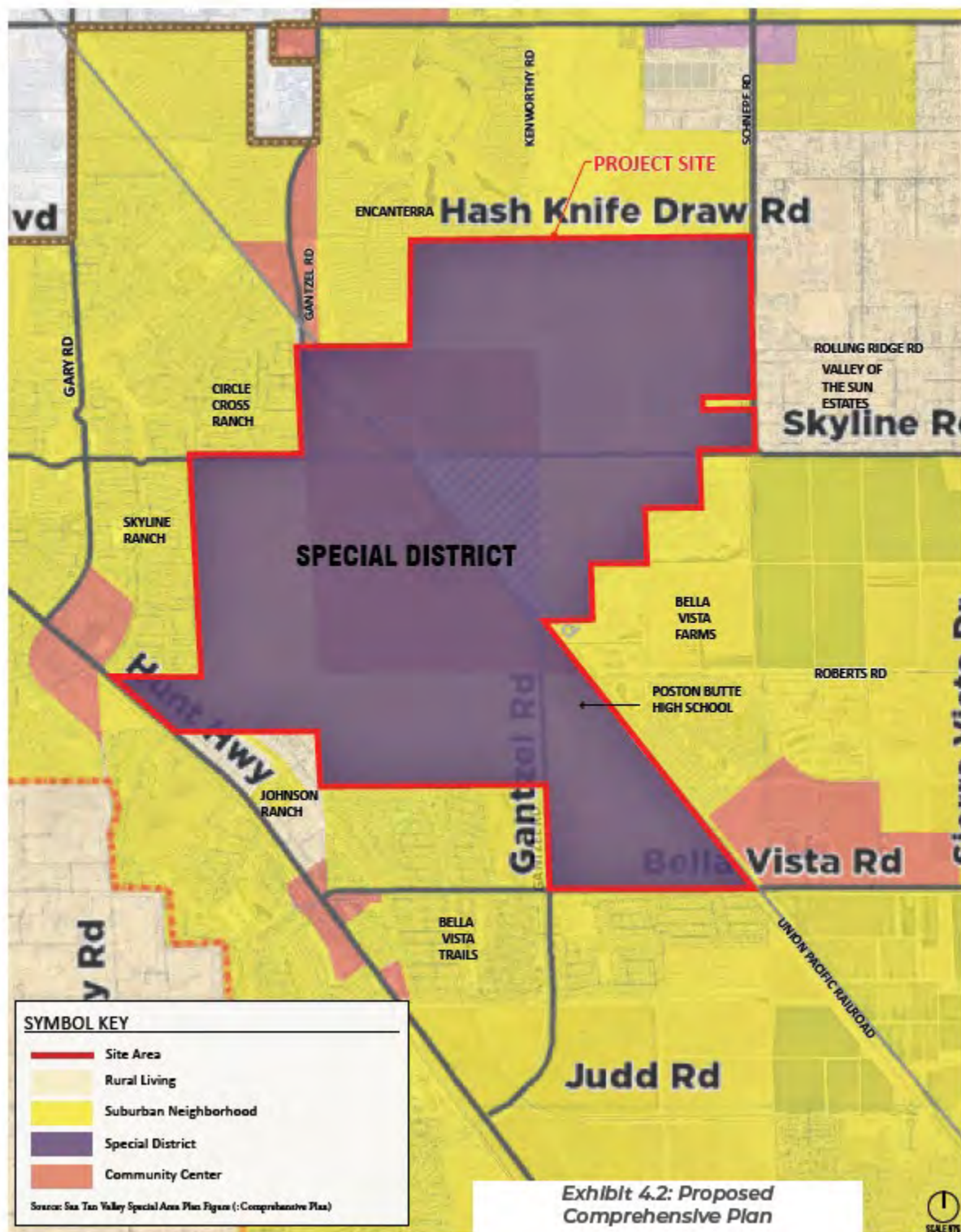


EXHIBIT 4.2 PROPOSED COMPREHENSIVE PLAN LAND-USE WITHIN STV SAP





SAN TAN VALLEY URBAN CORE **LARGE MASTER PLAN** **COMMUNITY (L-MPC)**

Prepared for: Pinal County & ASLD
01.22.2025



PINAL COUNTY



PRINCIPALS AND DEVELOPMENT TEAM:

OWNER

Arizona State Land Department
Karen Dada, AICP
1110 West Washington Street
Suite 510
Phoenix, AZ 85007
(602) 542-3000

APPLICANT / PLANNER

Jeffrey M. Denzak
Troy Hansen
7550 East McDonald Drive
Scottsdale, AZ 85250
P: (480) 367-2100
jdenzak@swaback.com
thansen@swaback.com

CONSULTANTS

Civil Engineer: Wood Patel
Nicholas Brown
Jake McGinley
2051 W Northern Ave, Suite 100
Phoenix, AZ 85021
P: (602) 335-8500
nbrown@woodpatel.com
jmcginley@woodpatel.com

Traffic Engineer: Lokahi Group
Shelly Sorensen
10555 N. 114th Street, Suite 105
Scottsdale, AZ 85259
shelly@lokahigroup.com

JURISDICTION

Pinal County
85 N Florence Street
Florence, AZ 85132
P: (520) 866-6642





“Invest wisely in beauty,
it will serve you
all the days of your life.”

- Frank Lloyd Wright

TABLE OF CONTENTS

1. Introduction	6	5.4 Permitted Uses	46
1.1 Overview	7	5.5 Development Standards	46
1.2 Applicant.....	7	5.6 Density and Intensity Transfers	47
1.3 STL Purpose and Objective.....	7	5.7 Amendments	47
1.4 Vision	8	5.8 Interpretations	47
2. Site Conditions and Location	10	6. Secondary Planning Process	48
2.1 Regional Context	11	6.1 ASLD/Purchaser Role.....	49
2.2 Existing Site Conditions	11	6.2 Planning Process	49
2.2.1 Regionally Significant Roads	14	7. Framework Plans	50
2.2.2 Surrounding Context	14	7.1 Conceptual Transportation Framework Plan.....	51
2.3 Existing and Proposed Zoning.....	16	7.2 Conceptual Major Open Space Framework Plan	53
2.3.1 Existing Zoning.....	16	7.3 Conceptual Path and Trail Framework Plan	55
2.3.2 Proposed Zoning.....	16	8. Development Themes and Overall Project Character	58
3. Conformance with L-MPC.....	20	8.1 Site Planning Standards	59
3.1 Conformance with the L-MPC Intent and Purpose.....	21	8.2 Street Standards	60
3.2 Conformance with Minimum Land Development Requirements	24	8.3 Architecture Character and Standards.....	61
3.3 Conformance with Application Requirements.....	25	8.4 Open Space/Parks Character and Standards	62
3.3.1 Conformance with Development Master Plan Requirements	25	8.5 Path/Trail Character and Standards	63
4. Conformance with Comprehensive Plan	26	8.6 Landscape Character and Standards	64
4.1 Pinal County Comprehensive Plan Vision	27	8.7 Fence/Wall Character and Standards	65
4.1.1 Role of Comprehensive Plan and Relationship to the Site	27	8.8 Stormwater Drainage and Retention Standards.....	66
4.1.2 Consistency with Pinal County's Vision Components	27	8.9 Parking Standards.....	68
4.1.3 Comprehensive Plan Key Concept Elements.....	30	8.10 Lighting Character and Standards.....	68
5. Large Master Planned Community (L-MPC) Plan	36	8.11 Signage Character and Standards.....	70
5.1 L-MPC Plan Purpose and Objectives.....	37	9. Infrastructure	72
5.2 L-MPC Land Use Plan.....	38	9.1 Infrastructure Master Plans	73
5.2.1 Land Use Budget.....	40	9.2 Utilities	73
5.2.2 Allocation of Lnd Use Budget.....	42	10. Phasing	74
5.2.3 Land Use Budget Tracking.....	42	10.1 Phasing Plan	75
5.3 Development Districts and Permitted Development Types..	44	11. Conclusion	76
		11.1 Conclusion Statement	77

Appendix - Land Use Budget Tracking Table, Plant List, LID Handbook
Engineering & Transportation Reports

01

INTRODUCTION

1.1 OVERVIEW

Located within the heart of San Tan Valley, the “San Tan Valley Urban Core,” spans approximately three thousand two hundred (3,200) acres of State Trust Land (hereinafter referred to as “STL”) in the north-central part of Pinal County (hereinafter referred to as the “County”). This significant property, referred to as “Site” (see Exhibit 1.1: Site Map), is currently owned by the Arizona State Land Department (hereinafter referred to as the “ASLD”).

This request seeks the Large Master Planned Community (L-MPC) zoning for the Site. This proposal aligns with the County’s requirements, as detailed in Section 3, which discusses conformance with L-MPC zoning, and Section 4, which discusses the conformance with the Comprehensive Plan. This alignment ensures that the development strategies and objectives outlined in this L-MPC are consistent with the overarching goals of the Comprehensive Plan, the San Tan Valley Master Area Plan, the Zoning Amendment, and the Minor Comprehensive Plan Amendment being prepared in conjunction with this L-MPC.

This L-MPC outlines the criteria for the County to manage and regulate aspects such as density, intensity, and development of the Site. Given the scale of the Site, its development is anticipated to occur over several decades. To ensure flexibility, this L-MPC is designed to adapt to regional needs and market fluctuations over time.

1.2 APPLICANT

SWABACK shall be the Applicant on behalf of Pinal County and ASLD.

1.3 STL PURPOSE AND OBJECTIVE

ASLD manages approximately 9.2 million acres of STL in Arizona. Since 1915, the ASLD’s mission has been to manage the assets of a multi-generational perpetual Trust in alignment with the interests of the Trust’s 13 public beneficiaries and Arizona’s future. The mission statement of the ASLD is as follows:

To responsibly manage the assets of multi-generational perpetual Trust in alignment with the interest of the Beneficiaries and Arizona’s future. STL must be managed to generate revenue for Arizona’s K-12 schools and 12 additional public service beneficiaries. The Trust accomplishes its mission through the sale and lease of Trust lands for grazing, agriculture, mining and development. ASLD, serving as the fiduciary for the Trust, is required by the Arizona Constitution to receive maximum value for the sale or lease of Trust lands for the benefit of the Trust. Given this Constitutional mandate, it is incumbent upon ASLD to carefully plan these properties to maximize their ultimate value. Accordingly, ASLD desires to work with the County to appropriately zone the Site in a manner that will allow the land to develop in response to market demands.

1.4 VISION

The Site is ideally positioned for future development, adjacent to existing neighborhoods and near major transportation corridors, including Hunt Highway, the planned Central Arizona Parkway, planned extension of SR-24, Skyline Drive, and the future North-South ADOT freeway connecting US-60 to the north and I-10 to the south. This prime location in the heart of San Tan Valley, along with its proximity to major transportation routes, makes it an ideal hub for mixed use development. This strategic position not only enhances accessibility but also attracts businesses looking to capitalize on the area's growth potential. With the right planning and investment, the Site can serve as a catalyst for economic development in the region.

Additionally, the Site offers scenic views of the San Tan Mountain range to the west and the Superstition Mountain range to the Northwest. Future railway plans call for a commuter rail service on the existing Union Pacific Railway, which diagonally bisects the Site. Plans forecast the establishment of eight (8) stations along the San Tan Line.

This L-MPC encompasses a diverse mix of land uses, including residential, commercial, and non-residential components, as detailed in the Land Use Budget allocated across the Development Areas (hereinafter referred to as "DAs") as illustrated in the L-MPC Land Use Plan (hereinafter referred to as "LUP"). This L-MPC proposal is designed to respond to changing market conditions while ensuring a balanced integration of residential and non-residential spaces. The framework aims to align the development with the surrounding San Tan Valley and the broader Pinal County region, fostering a cohesive community.

The vision for the development spans multiple years, enabling a thoughtful integration of various uses that support both residential and non-residential growth, ultimately enhancing the residents' quality of life.

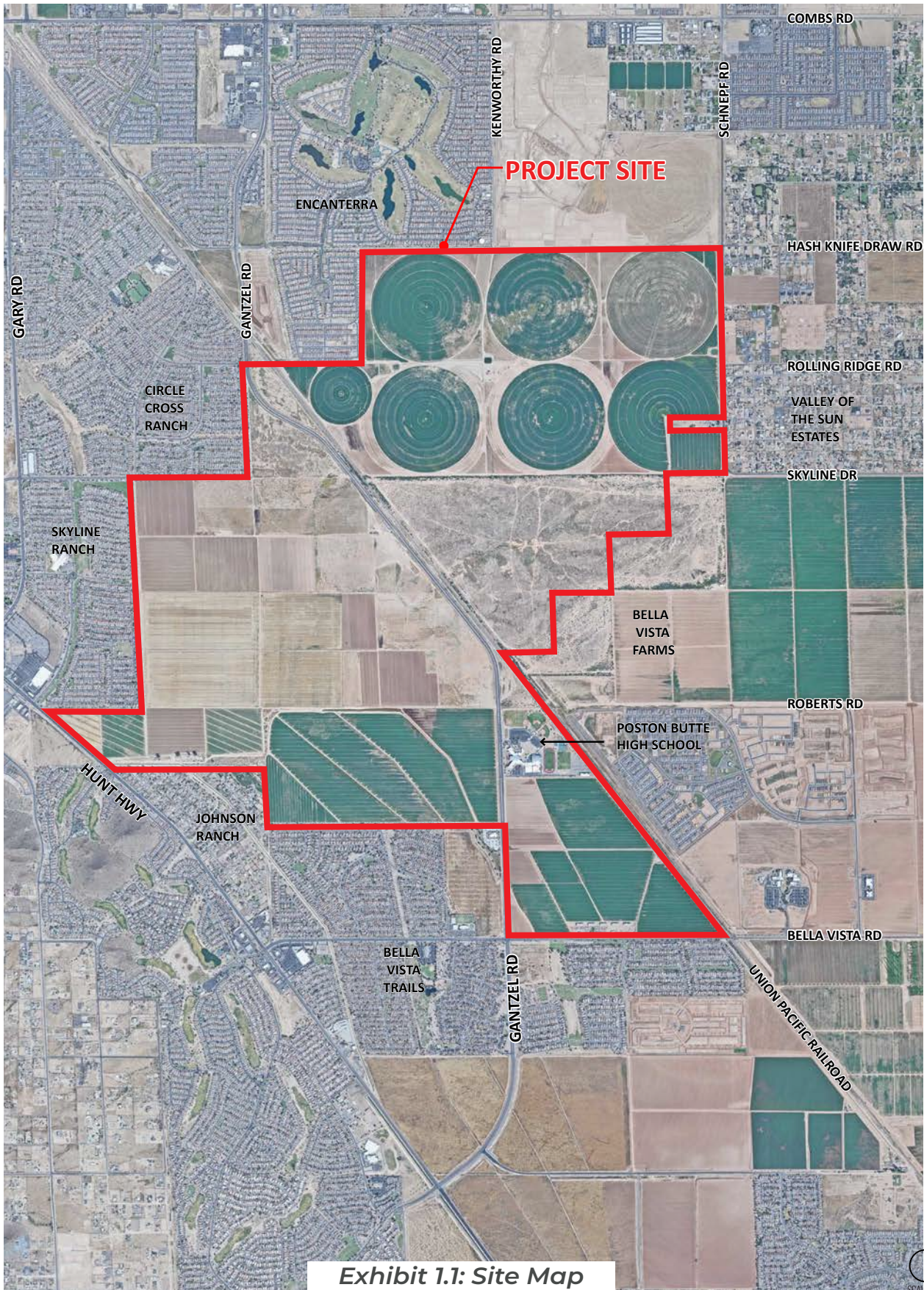


Exhibit 1.1: Site Map



02

SITE CONDITIONS AND LOCATION

2.1 REGIONAL CONTEXT

The Site, covering approximately three thousand two hundred (3,200) acres in San Tan Valley is located in the north-central part of the County. It is bordered by Hash Knife Draw Road to the north, Bella Vista Road to the south, Schnepf Road to the east, and Hunt Highway to the west, as detailed in **Exhibit 2.1: Regional Vicinity Map**. Currently, the Site consists of a mix of native desert and agricultural fields, with no habitable structures present, and is surrounded by single-family residential developments and agricultural land.

Geographically, the Site is about ten (10) miles south of Queen Creek and twenty-five (25) miles north of Florence, AZ. Approximately five (5) miles to the east, lies the San Tan Mountain Regional Park, offering stunning mountain views and over ten thousand (10,000) acres of Sonoran Desert landscape and mountain peaks ranging over two thousand five hundred (2,500) feet, along with recreational opportunities like hiking, running, mountain biking, and equestrian trails.

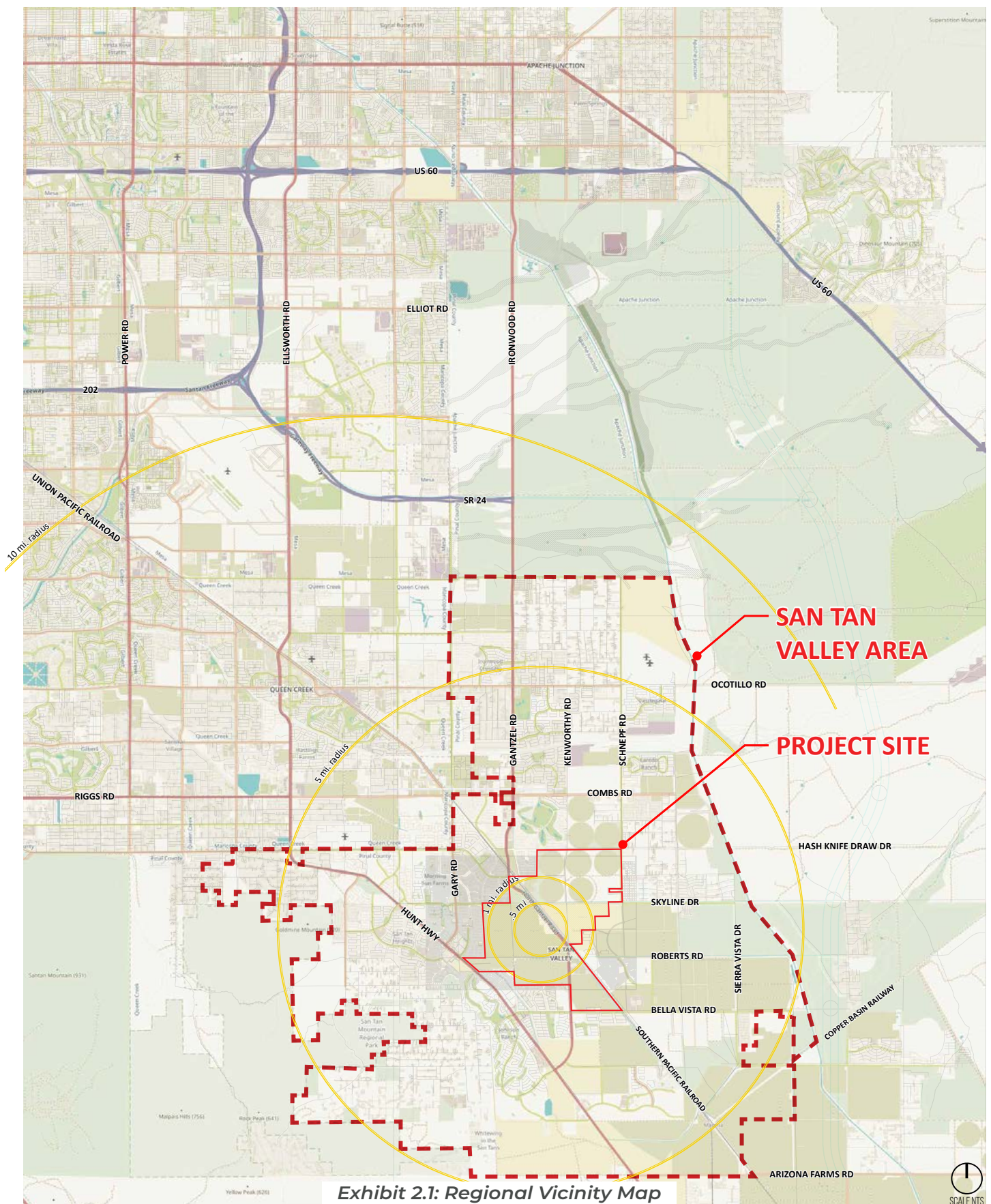
The Gila River Indian Community, spanning over five hundred and eighty (580) square miles across Pinal and Maricopa Counties, is located approximately five (5) miles to the south and eight (8) miles to the west of the Site.

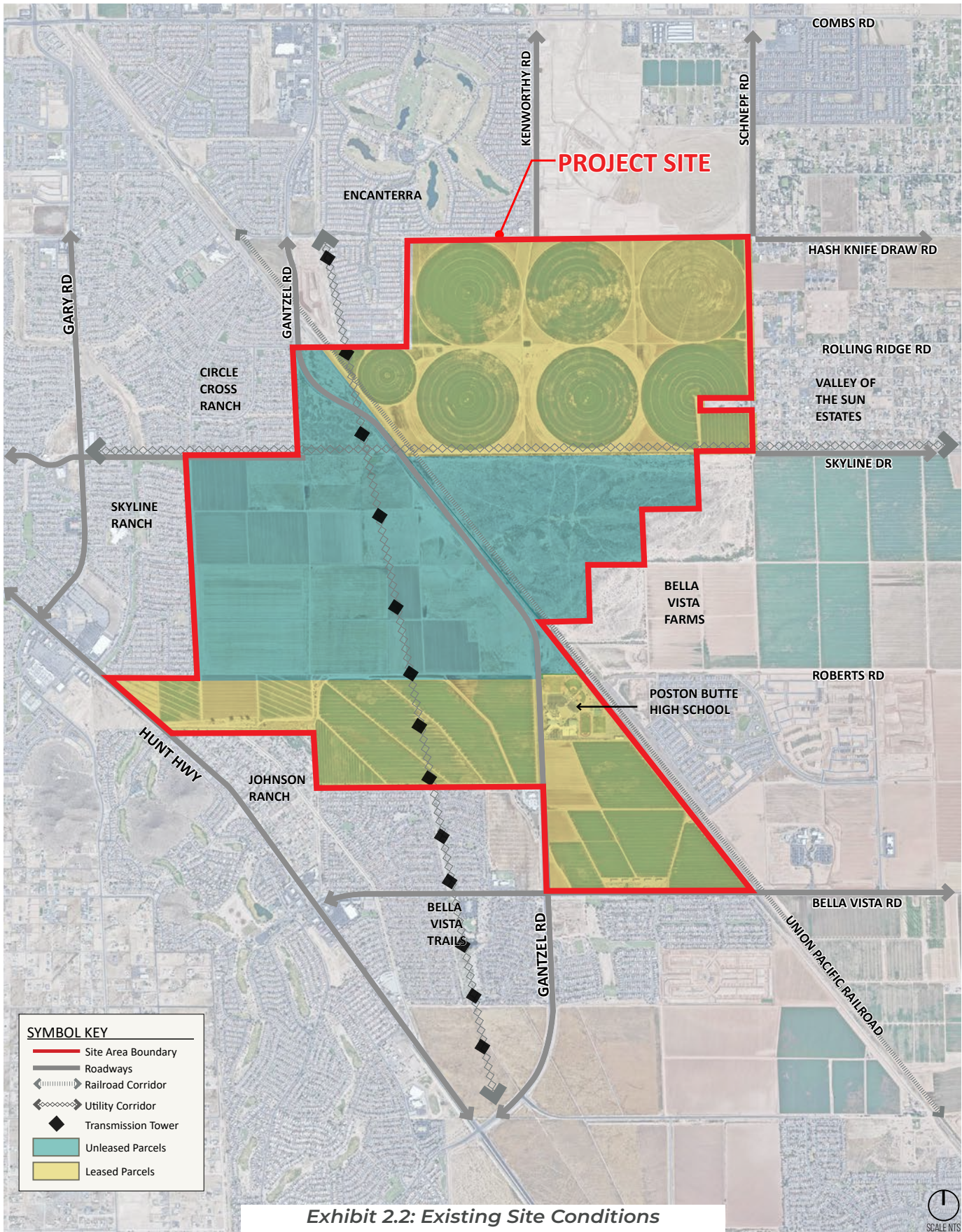
Gantzel Road, providing access to Hunt Highway, a key regional transportation corridor, and the Union Pacific Railroad alignment, approximately splits the Site in half and runs diagonally through the Site from the northwest to the southeast. Poston Butte High School and the Central Arizona College San Tan Campus are situated at the southeastern corner of the Site.

2.2 EXISTING SITE CONDITIONS

The Site is currently undeveloped STL owned by the ASLD and is situated in a historically agricultural area. Approximately two thousand (2,000) acres of the Site are leased for agricultural purposes, with topography and drainage in these areas modified for farming activities, as illustrated in **Exhibit 2.2B: Existing Site Conditions**.

The remaining portion, over one thousand (1,000) acres, are not being actively farmed. According to the Arizona Environmental Online Review Tool Report (EORTR), there are no significant areas of vegetation on the Site. Additionally, the Arizona Geological Survey “Natural Hazards in Arizona” GIS map shows no geological hazards within or adjacent to the Site.





2.2.1 REGIONALLY SIGNIFICANT ROADS

According to Pinal County's Regionally Significant Routes for Safety and Mobility (RSRSM), the following Regionally Significant Routes (RSR) interact with or are in the vicinity of the Site and are shown on **Exhibit 2.2.1: Pinal County Trails, Roadways, and Access Context Map**.

2.2.1.1 REGIONALLY SIGNIFICANT ROUTES(RSR) - MAJOR ARTERIALS

- Hunt Highway – western edge of the Site.
- Gantzel Road – bisects the Site from the northwest to southeast.
- Attaway Road – east of the Site.
- Combs Road – north of the Site.
- Skyline Drive – bisects the northern portion of the Site.
- Bella Vista Road – southern end of the Site.
- Arizona Farms Road – south of the Site.

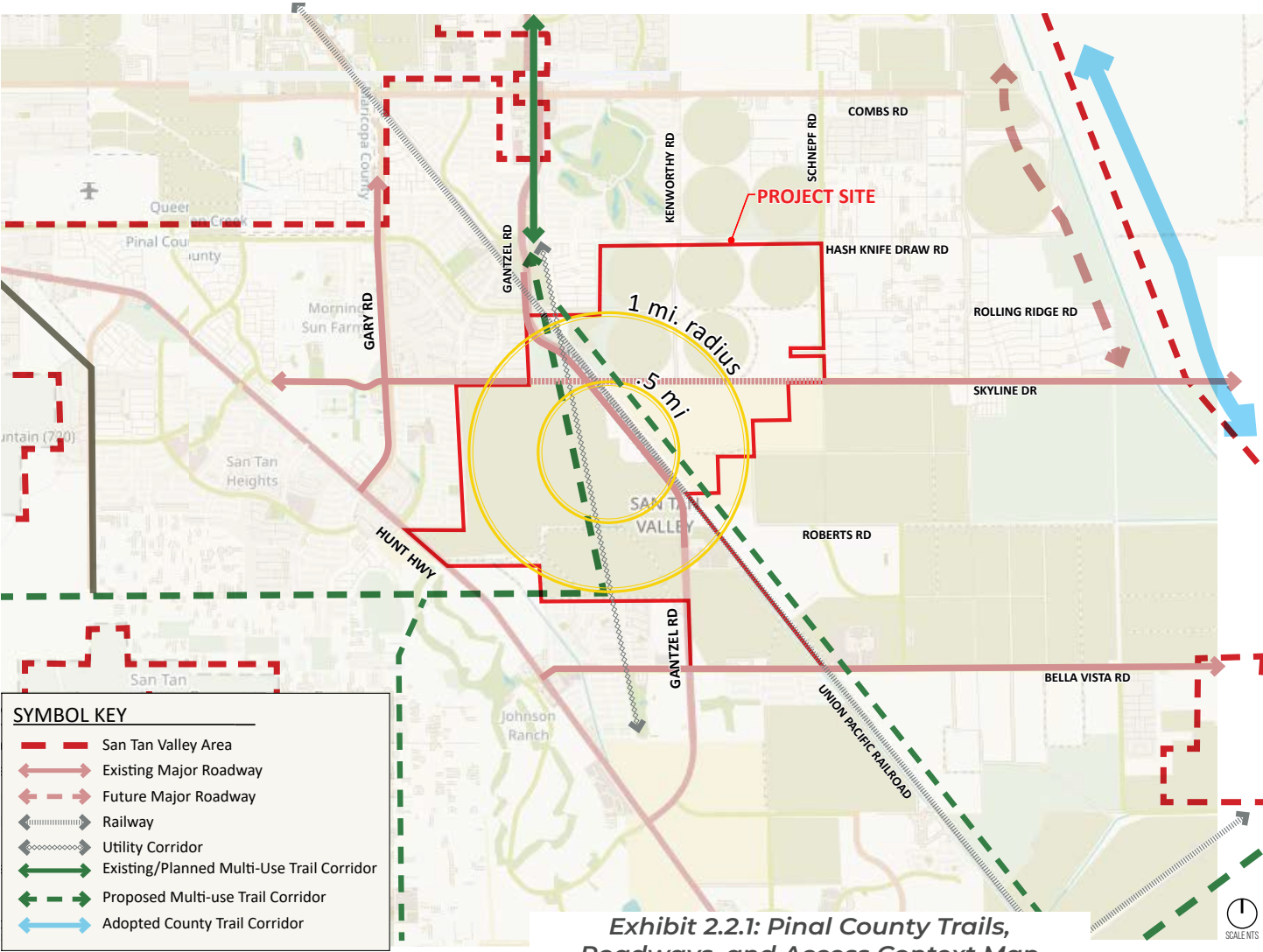
2.2.1.2 REGIONALLY SIGNIFICANT ROUTES(RSR) - FREEWAY

- Planned North-South ADOT Freeway – east of the Site.
- Planned Central Arizona Parkway.
- Planned extension of SR-24.

2.2.2 SURROUNDING CONTEXT

The Site's current use is a mix between agriculture and undeveloped land, see **Exhibit 2.2: Existing Site Conditions**. The following **Table 2.2.2: Surrounding Context** describes the existing Comprehensive Plan Land Use, existing zoning, and existing use of the Site and the areas adjacent to the Site.

Table 2.2.2: Surrounding Context		
Direction	San Tan Valley Special Area Plan Land Use Classification	Existing Zoning
North	Suburban Neighborhood, Community Center	Town of QC, R-7 PAD, MR-PAD
South	Suburban Neighborhood, Rural Living, Urban Center	R-7 PAD, CR-3 PAD, CR-1 PAD, C-2 PAD, MR-PAD
East	Suburban Neighborhood, Rural Living, Community Center	CB-1 PAD, CR-2 PAD, CR-3 PAD,GR
West	Suburban Neighborhood, Community Center	MR PAD,CR-3 PAD,CR-4 PAD, C-2, CB-2 PAD
Site	Suburban Neighborhood, Urban Transition, Urban Center, Suburban Office	GR



* Trail corridors per the "Pinal County Open Space and Trails Master Plan."

2.3 EXISTING AND PROPOSED ZONING

2.3.1 EXISTING ZONING

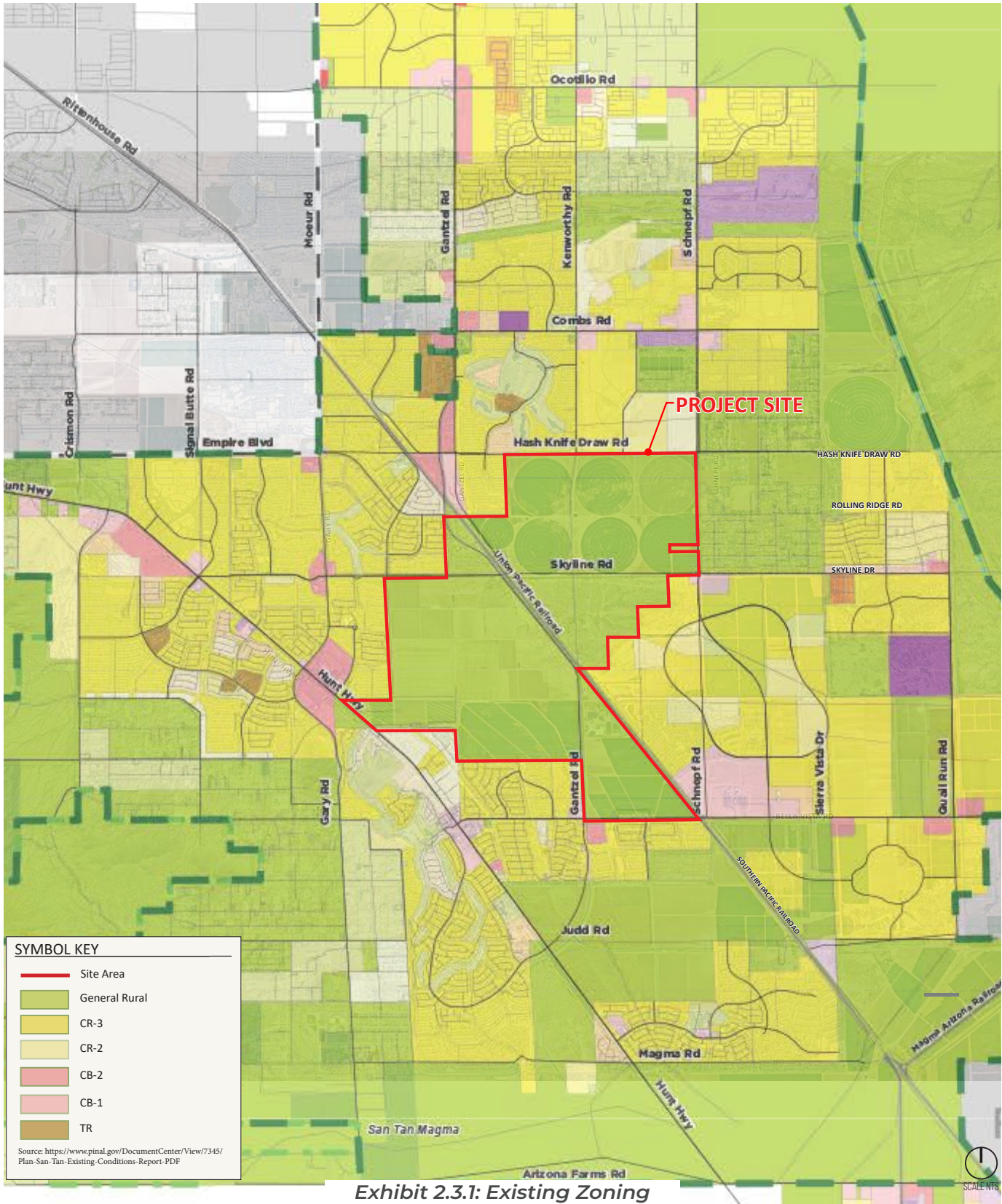
The Site is zoned as General Rural (GR), see ***Exhibit 2.3.1: Existing Zoning Map***.

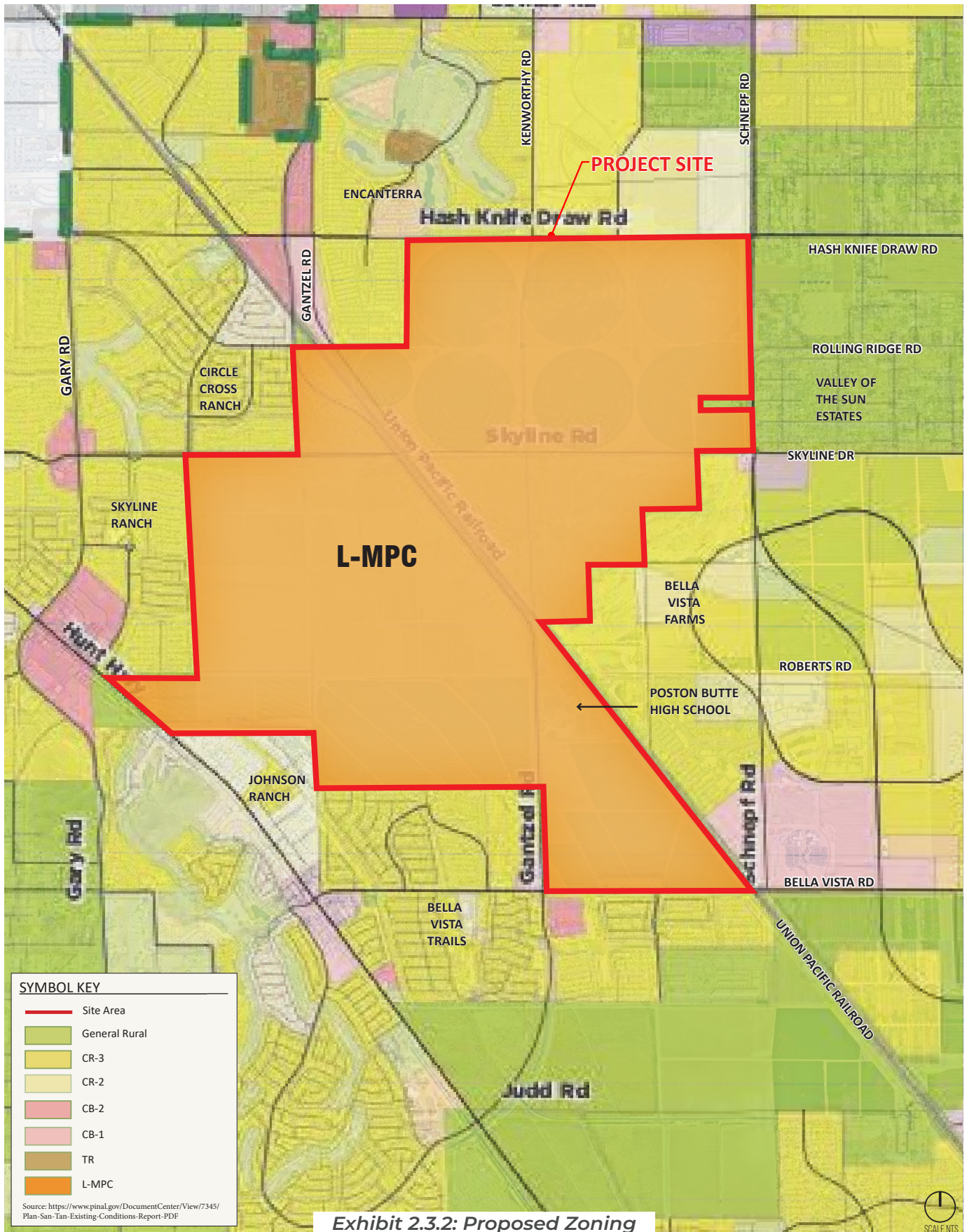
2.3.2 PROPOSED ZONING

The Applicant is seeking to rezone the Site from General Rural (GR) to Large Master Plan Community Zoning District (L-MPC). This proposal is detailed in ***Exhibit 2.3.2: Proposed Zoning Map***.

The L-MPC zoning district was established by Pinal County in 2021 under PZ-C-002-21 to support the development of large master-planned areas that will be built out over several years rather than in a single phase. This zoning provides the necessary flexibility to adapt to varying market conditions and shifting consumer demands, ensuring a cohesive and integrated development approach over time.

The L-MPC will update the existing planned uses to include a diverse array of residential uses with varying densities and product types, alongside non-residential uses. This approach ensures flexibility and adaptability, allowing the site to effectively respond to future development needs. As market conditions evolve, this L-MPC may be amended, as outlined in ***Section 5.7: Amendments***, to remain aligned with current demands and opportunities.





***THIS PAGE HAS BEEN
INTENTIONALLY LEFT BLANK***

03

CONFORMANCE WITH L-MPC

The following Section highlights this request's compliance with the Pinal County Zoning District requirements per Chapter 2.365 Large Master Plan Community (L-MPC) Zoning Code.

3.1 CONFORMANCE WITH THE L-MPC INTENT AND PURPOSE

The L-MPC zoning district provides flexibility to reallocate land uses to better reflect the market conditions, and encourages creative land development.

A. The intent and purpose of this zoning district is to provide an alternative to conventional zoning districts by promoting innovative land use planning consistent with the goals, objectives, and policies of the comprehensive plan by promoting flexible development opportunities that possess the following:

1. Predominately residential land uses with supporting non-residential uses:

Response: This L-MPC proposal features a diverse mix of land uses, however, the predominant land use is residential. For more land use information, data, and a breakdown of residential and non-residential land uses, see **Table 5.2.1: Land Use Budget**.

2. Property to be comprised of no less than two thousand (2,000) gross acres:

Response: The Site is comprised of approximately three thousand two hundred (3,200) acres.

3. Provide uses such as commercial, employment, and public facilities and services that complement the residential component:

Response: This L-MPC proposal features a diverse mix of land uses that allow for commercial, employment, and public facilities, complementing the proposed residential land use.

4. Exemplary design and placement of land uses with proper transitions between dissimilar uses, and adequate open space and other appropriate recreational amenities:

Response: Proper buffers and transitions between dissimilar land uses are essential for minimizing conflicts and enhancing compatibility. **Section 5.5: L-MPC Development Standards** provides buffer requirements between and for different land uses. These guidelines help mitigate nuisances, such as noise or visual disturbances, promoting harmonious relationship among land uses.

B. The L-MPC zoning district is intended to accomplish the following:

1. Permit and encourage innovative large-scale land development while maintaining appropriate limitations on the character and intensity of use

and assuring compatibility with adjoining and proximate properties:

Response: The regulatory framework outlined in this L-MPC proposal facilitates the implementation of the LUP, ensuring consistent alignment with the vision specified in **Section 5: Large Master Planned Community (L-MPC) Plan**. This L-MPC provides flexibility for development to adapt to market dynamics and local conditions. Guidelines for buffers between land uses are specified in **Section 5.5: Development Standards**.

2. Permit greater flexibility within a development to best utilize the features of a particular site, in exchange for greater public benefits that otherwise could not be achieved through standard development processes provided under this title:

Response: This L-MPC offers flexibility for development on the Site to adapt to changing conditions over time. Instead of rigid zoning parcels, it allows for the transfer of density and intensity to compatible areas as community needs and market demands evolve. This adaptability is governed by the requirements set forth in **Section 5: Large Master Planned Community (L-MPC) Plan**.

3. Ensure that large master planned developments function as integrated communities, with exemplary community amenities and benefits and with enhanced design elements such as but not limited to: community entry features, social clubs, community spaces, and large recreational facilities:

Community Entry Features Response: This L-MPC requires each DA, or portion thereof, to prepare a Signage Development Area Plan in accordance with **Section 8.11: Signage Character and Standards**. Each Signage Development Area Plan will outline the conceptual locations for signage that support the overall character and identity of the development. The anticipated quality and design of community entry features are depicted in **Section 8.11: Signage Character and Standards**.

Social Clubs Response: The Conceptual Path and Trail Framework Plan and the Conceptual Major Open Space Framework Plan, found in **Section 7**, of this L-MPC establishes a comprehensive framework for trails, pedestrian paths, parks, and open spaces, ensuring that each DA connects to the Site-wide network.

Community Spaces Response: This L-MPC establishes a conceptual framework of community spaces (trails, pedestrian paths, parks, and open spaces, ensuring that each DA connects to the Site-wide network. This creates a cohesive system that links community spaces effectively. For more information, see **Section 7.2: Conceptual Major Open Space and Parks Framework Plan** and **Section 7.3: Conceptual Path and Trail Framework Plan**.

Large Recreational Spaces Response: The Conceptual Path and Trail Framework Plan and the Conceptual Major Open Space and Parks Framework Plan in this L-MPC outline the overall network of trails, pedestrian paths, parks, and open spaces. These frameworks ensure that each DA connects to the Site-wide network, creating a cohesive system that links community spaces. For further details, refer to **Section 7.2: Conceptual Major Open Space and Parks Framework Plan** and **Section 7.3: Conceptual Path and Trail Framework Plan**.

4. Encourage integrated and unified design and function of the various uses allowed in the accompanying master plan:

Response: The regulatory framework established in this L-MPC facilitates the implementation of the LUP, ensuring that the Site's development aligns with the vision outlined in **Section 5: Large Master Plan Community (L-MPC) Plan**. This framework allows for developmental flexibility to adapt to changing market conditions and surrounding factors.

5. Encourage a more productive use of land consistent with the public objectives and standards of accessibility, safety, infrastructure, and land use compatibility:

Response: **Section 4: Conformance with Comprehensive Plan**, outlines how the L-MPC aligns with the public objectives and standards established by Pinal County's Comprehensive Plan, San Tan Valley Area Master Plan, and the Minor Comprehensive Plan Amendment being processed in conjunction with this L-MPC.

6. Foster a strong sense of community based on the distinctive character of the development and a shared physical environment:

Response: This L-MPC proposal fosters a strong sense of community and distinctive character by establishing guidelines for quality and finish. These guidelines allow each community within the Site to express its unique identity while upholding a cohesive standard that avoids monotony.

3.2. CONFORMANCE WITH MINIMUM LAND DEVELOPMENT REQUIREMENTS

The minimum land/development requirements for an L-MPC zoning district are:

A. The land has a minimum of two thousand (2,000) contiguous acres under the ownership or exclusive control of a single legal entity who shall be the applicant/ASLD for the entire project:

Response: The Site is comprised of approximately three thousand two hundred (3,200) acres, exceeding the minimum requirement of two thousand (2,000) acres. The Site is owned entirely by ASLD.

B. The land has direct access to an arterial or higher roadway classification and is located within one (1) mile of a proposed or existing high-capacity roadway interchange or higher roadway classification:

Response: Several arterial or higher roadway classification roads are adjacent or pass through the Site, including Hunt Highway, Gantzel Road, Skyline Drive, and Bella Vista Road. See **Exhibit 2.2.1: Pinal County Trails, Roadways, and Access Context Map**.

C. The development includes planned multi-modal transportation systems:

Response: This L-MPC proposal promotes multi-modal transportation systems and the land use patterns for the Site are arranged to enhance walkability, providing connections between residential and non-residential areas through sidewalks, paths, and trails.

D. The development includes coordinated residential that is supported by commercial, employment, and public facility uses intended to complement the residential component:

Response: The residential areas of the Site will be complemented by non-residential development designed to enhance both the residential component and the community as a whole, as shown in **Exhibit 5.2: L-MPC Land Use Plan** and **Exhibit 5.3: Permitted Development Districts**. Placing higher-density residential units near non-residential areas encourages residents to live, work, and engage in recreational activities within the same vicinity.

3.3 CONFORMANCE WITH APPLICATION REQUIREMENTS

A. An application for an L-MPC zoning district shall comply with the rezoning process and requirements set forth in Chapter 2.166 PCDSC:

Response: This L-MPC proposal complies with the rezoning process and the requirements set forth in the rezoning section of the code.

B. An L-MPC zoning district shall not be accepted for processing on any property that was part of a PAD overlay or change in zoning district application denied by the supervisors within the previous six months.:

Response: The Site does not include any areas that have been denied PAD overlays or zoning changes in the past six months.

3.3.1 Conformance with Development Master Plan Requirements

During the secondary planning process, approval of a Development Area Plan (DAP) will occur concurrently with the first site plan or tentative plat application for each DA, or portion thereof. The purpose of the L-MPC is to establish the location and character of planned uses in a unified development pattern with regards to balance and application, and phasing of amenities and supporting infrastructure. This L-MPC meets the requirements as stated in Pinal County's Zoning Code.

04

CONFORMANCE WITH THE COMPREHENSIVE PLAN

4.1 PINAL COUNTY COMPREHENSIVE PLAN VISION

Regionally, Pinal County is ideally situated between Phoenix and Tucson, creating an important relationship with the overall State of Arizona and its well-being. “The decisions made here will impact the entire state on many levels: business development, mobility, land management, air quality, water and overall quality of life. People choose Pinal County for the diverse opportunities it offers; this diversity is what makes the County unique but also represents a challenge as the region continues to grow and change” (Pinal County “We Create Our Future: Pinal County Comprehensive Plan,” Pinal County Vision, Page 30).

The County’s Comprehensive Plan highlights a commitment to balancing growth and development, all while balancing the preservation of its rich history and cultural heritage. This approach ensures that as the County evolves, it retains the unique characteristics that define it. By focusing on diverse opportunities, the plan aims to foster economic growth while respecting each community’s roots.

4.1.1 Role of Comprehensive Plan and Relationship to the Site

The Comprehensive Plan serves as a framework for guiding future growth and land use in the County, emphasizing strategic goals and objectives. The San Tan Valley Special Area Plan and Comprehensive Plan Map have designated the site as Moderate Low Density Residential (1 to 3.5 DU/AC) as shown on ***Exhibit 4.1: Existing Comprehensive Plan***.

4.1.2 Consistency with Pinal County’s Vision Components

4.1.2.1 Sense of Community

“Pinal County is a collection of unique communities, each of which has something special to offer residents and visitors. Balancing emerging urban centers and Pinal County’s rural character is important to residents; ensuring that the threads of Pinal County’s history, heritage, and culture are woven into its future is what makes Pinal County unique from other regions. Ensuring places exist for people to gather and for communities to showcase the diversity of places, people, lifestyles, cultures, and opportunities will help to define Pinal County’s identity. “

Response: This L-MPC proposal establishes a flexible framework of land uses, densities and intensities, developed in a comprehensive manner that will facilitate a higher quality of life while fostering a vibrant community. By harmonizing urban development with Pinal County’s rural and agricultural heritage, this L-MPC proposal sets standards for quality and finish, allowing individual communities to express their unique character.

The emphasis on a well-connected network of trails and pedestrian paths, as highlighted in the Conceptual Paths and Trail Framework Plan, promotes accessibility and connectivity among neighborhoods, open spaces, and amenities. This thoughtful integration encourages active lifestyles and strengthens community ties.

Moreover, the landscape character, as described in **Section 8.6: Landscape Character and Standards**, shall aim to reflect Arizona's natural beauty and rural traditions. This approach not only enhances the visual appeal but also fosters a sense of place that resonates with both residents and visitors.

4.1.2.2 Mobility and Connectivity

"Ensuring Pinal County has adequate transportation corridors and a variety of multi-modal/ transportation options addressing all populations is essential for moving goods and people throughout the County and State with minimal affect on Pinal County's native wildlife. Offering multiple mobility and communication options, to effectively connect communities and activity centers throughout the County, will reduce congestion and improve air quality while enhancing the area's quality of life."

Response: This L-MPC proposal serves as the foundational level of planning, creating a robust interconnected mobility system for the Site. It sets the stage for each DA by outlining the hierarchy of streets and Regionally Significant Roads (RSR) that surround and intersect the Site, as illustrated in **Exhibit 2.2.1: Pinal County Trails, Roadways, and Access Context Map** and **Exhibit 7.1: Conceptual Transportation Framework Plan Map**.

Complemented by the Conceptual Transportation Framework Plan and the Conceptual Path and Trail Framework Plan, this comprehensive approach ensures that each DA is equipped with adequate transportation infrastructure for both vehicular and pedestrian circulation.

4.1.2.3 Economic Sustainability

"Expanding opportunities for residents to live work, learn, and play in close proximity promotes long-term economic viability. Pinal County desires activity centers that serve the current and future residents needs offering services, businesses and employment opportunities, including high-tech and environmentally friendly employers who champion Pinal Counties conservation philosophy. The creation of a full range of quality jobs that allow residents to start their career, raise a family, and move up instead of out of Pinal County for career advancement is essential."

Response: The Site is located outside of Employment areas identified on Pinal County's Economic Development Plan found within the Comprehensive Plan. The L-MPC offers flexibility for DAs to develop in response to future residents' needs such as modifying the density to respond to and better serve current and future needs, as detailed in **Section 5.2.1: Land Use Budget** of this document. The Site's prime location in the heart of San Tan Valley, along with its proximity to major transportation routes, makes it an ideal hub for employment and commercial development. The Minor Comprehensive Plan Amendment being processed in conjunction with this L-MPC will change the land use to Special District. This L-MPC includes a variety of land uses, encompassing both commercial and employment opportunities.

4.1.2.4 Open Spaces and Places

"Residents value the large connected open spaces and unique places of Pinal County, not only as part of their quality of life, but as an important resource to sustain the region's immense wildlife habitat and their corridors from the majestic mountains rising from the desert floor in the west to the high desert and rugged mountain terrain to the east, enjoyment of and respect for the natural surroundings is a big part of why people choose Pinal County to live and visit."

Response: As outlined in **Section 7.2: Conceptual Major Open Space Framework Plan**, a hierarchy of parks has been established to support and complement the LUP. **Section 7.3: Conceptual Path and Trail Framework Plan** outlines the hierarchy and overall goals for pedestrian connectivity. The layout of paths and trails shall ensure safe and convenient access to open spaces and destinations.

4.1.2.5 Environmental Stewardship

"People value the views of the mountains and open vistas during the day and the stars at night. These values have translated to a strong conservation ethic that stresses the importance of maintaining the quality of Pinal County's natural resources for future generations. Pinal County is the leader in environmental stewardship, and rewards and encourages sustainable practices such as innovative land use planning, sustainable agriculture, water conservation, green building development, and the use of renewable and alternative energy sources."

Response: Facilities within the Site will comply with the latest building codes following best practices for energy, water, and material efficiency. Comprehensive waste management systems will be implemented, ensuring alignment with the Environmental Stewardship Vision Component Goals, Objectives, and Policies, particularly those concerning solid and hazardous waste management.

4.1.2.6 Healthy, Happy Residents

“Access to quality healthcare and healthy lifestyle choices is a priority. Pinal County is a healthy, safe place where residents can walk or ride to activity centers and where interaction in Pinal County’s clean, natural environment is encouraged. Ensuring residents are healthy, safe and happy in their community is a priority for Pinal County.”

Response: The Site’s design aligns with the vision outlined in the Comprehensive Plan by fostering compatible land use relationships with the surrounding area. **Section 7.2: Conceptual Major Open Space Framework Plan** provides a hierarchy of parks to support and complement the LUP. **Section 7.3: Conceptual Path and Trail Framework Plan** outlines the hierarchy and overall goals for pedestrian connectivity. Residents shall have the opportunity to enjoy quality outdoor experiences while interacting with Pinal County’s pristine natural environment.

4.1.2.7 Quality Educational Opportunities

“Quality, community—based Pre-K-12 programs that provide youth with a competitive edge along with a wide variety of post-secondary educational opportunities and technical or specialized work force training are necessities. Pinal County residents seek out life-long opportunities that help to expand their minds and diversify their experiences.”

Response: The Site is situated within the Florence Unified School District and aims to enhance educational opportunities for residents. As each DA, or portion thereof, is platted or site planned, the applicant shall work with the school district to assess the impact of the development on existing school capacities. If additional schools are needed due to increased student enrollment, future developers will work with the school district to site schools to ensure that the community is served effectively.

4.1.3 Comprehensive Plan Key Concept Elements

A. Consistency with the Land Use Designations shown on the graphics.

Response: A Minor Comprehensive Plan Amendment will be processed in conjunction with this L-MPC that will change the Site’s land use from Suburban Neighborhood, Urban Transition, and Urban Center to Special District.

B. Consistency with the Mixed-Use Activity Center Concept

Response: The Site is not located within a Mix-Use Activity Center as shown on **Exhibit 4.1: Existing Comprehensive Plan**.

C. Consistency with the Planning Guidelines Described in the Land Use Element

Response: The Site will meet the following planning guidelines for Residential Development.

a. Guideline: Future suburban residential areas are intended to consider compatibility and relationship to existing and proposed neighborhoods.

Response: The DAs within the L-MPC assign land uses in an orderly and compatible fashion to ensure compatibility with adjacent existing and future land uses. Parks and open spaces shall provide a transition and buffer between commercial and employment zones and suburban neighborhoods.

b. Guideline: Projects must be able to provide adequate water and infrastructure to support the proposed densities.

Response: Portions of the Site are within the town of Queen Creek's water and wastewater service area, The Town, and EPCOR have documented the intent to determine a logical service area boundary, likely determined by the rail line, should the providers expand their Certificates of Convenience and Necessity.

c. Guideline: Development impact on the transportation system should be addressed.

Response: The development of the Site will include roadway enhancements to improve traffic flow and safety. The first purchaser within a DA, or portion thereof, will be required to complete a Traffic Impact Analysis (TIA) for that DA, which will be updated as development continues within the DA. Circulation plans within each DA shall facilitate continued development within the L-MPC. This analysis will help ensure that the infrastructure can handle increased traffic and improve overall access to the site.

d. Accessibility to schools and availability of community facilities/services will be evaluated.

Response: The Site is situated within the Florence Unified School District. It aims to promote educational programs and opportunities for residents while offering pedestrian paths that connect students who walk or bike to school. As each DA, or portion thereof, is platted or site planned, the applicant shall work with the school district to assess the impact of the

development on existing school capacities. If additional schools are needed due to increased student enrollment, future developers will work with the school district to site schools to ensure that the community is served effectively.

e. Guideline: Integration of open space, parks, trails, and recreational amenities to support the neighborhood should be addressed.

Response: **Section 7.2: Conceptual Major Open Space Framework Plan** provides a hierarchy of parks to support and complement the LUP and neighborhoods alike. **Section 7.3: Conceptual Path and Trail Framework Plan** outlines the hierarchy and overall goals for pedestrian connectivity. Residents shall have the opportunity to enjoy quality outdoor experiences while interacting with Pinal County's pristine natural environment.

f. Guideline: Access to employment opportunities (to reduce vehicle miles travelled) is a consideration.

Response: This L-MPC proposal features a diverse mix of land uses including, commercial, employment, and public facilities, complementing the proposed residential land use.

g. Guideline: Neighborhood design should encourage pedestrian orientation and connections.

Response: **Section 7.3: Conceptual Path and Trail Framework Plan** outlines the hierarchy and overall goals for pedestrian connectivity. Residents shall have the opportunity to enjoy quality outdoor experiences while interacting with Pinal County's pristine natural environment. **Section 7.2: Conceptual Major Open Space Framework Plan** provides a hierarchy of parks to support and complement the LUP and neighborhoods alike.

D. The Site will meet the following planning guidelines for Mixed-Use Activity Centers;

Response: The Site is not located within a Mixed-Use Activity Center as shown on **Exhibit 4.1: Existing Comprehensive Plan**.

E. Quality Employment Opportunities County-wide

Response: The LUP positions commercial development near residential areas with compatible density and intensity. Residential units located adjacent to commercial areas will help support local businesses and enhance connections between residents and local employment opportunities.

F. Viable Agriculture, Equestrian, and Rural Lifestyle

Response: The L-MPC encompasses a diverse mix of land uses, including residential, commercial, and non-residential components, as detailed in the Land Use Budget allocated across the DAs. Agricultural leases and other compatible uses will be allowed to continue until the State Land Commissioner determines that the land is ready to be sold for development.

G. System of Connected Traits and Preservation of Open Space

Response: The Site will not affect Pinal County's trail plans. As the project develops, it will adhere to Pinal County's standards for trail systems and open space preservation with regional trails dedicated to the County.

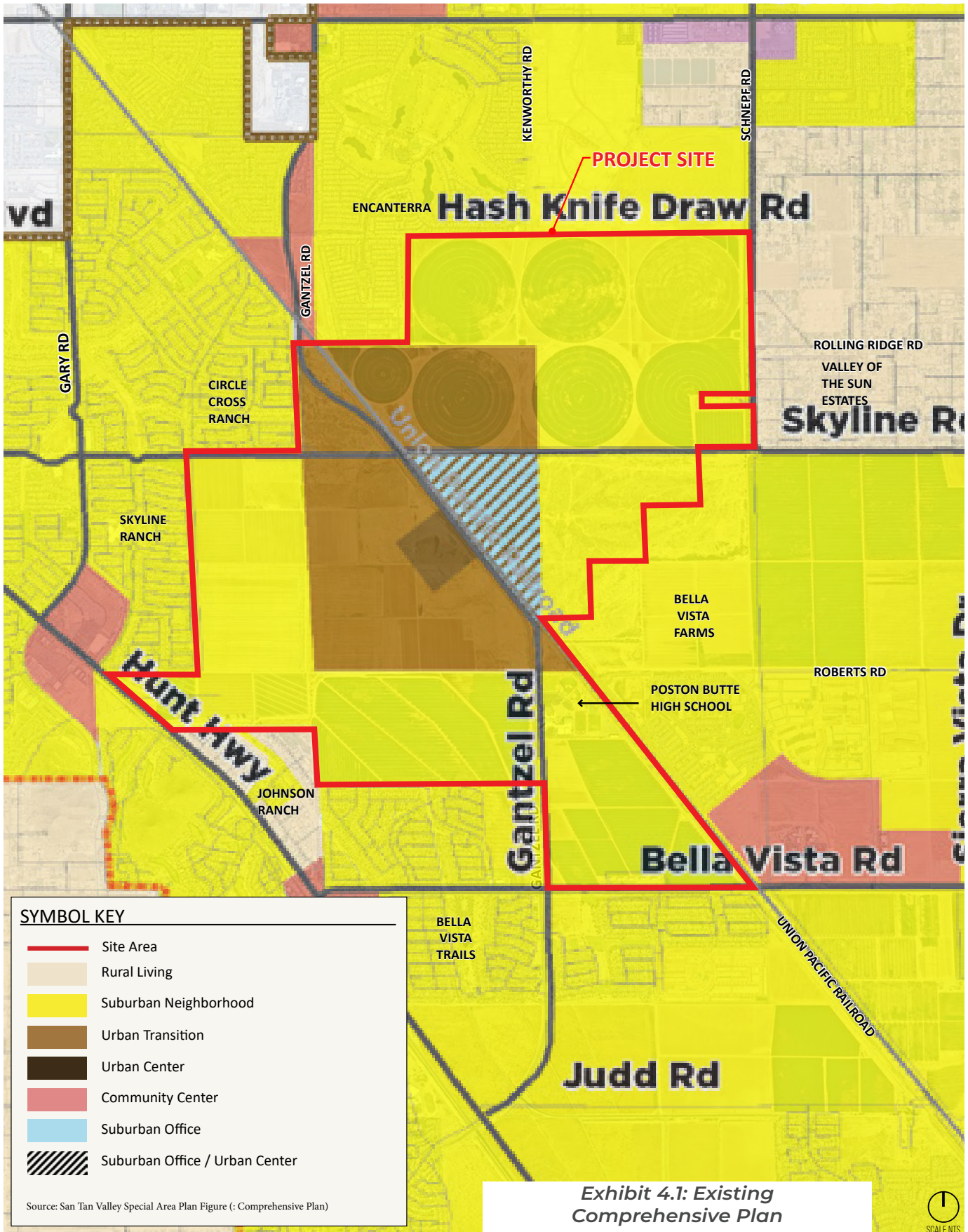
H. Natural and Cultural Resource Conservation

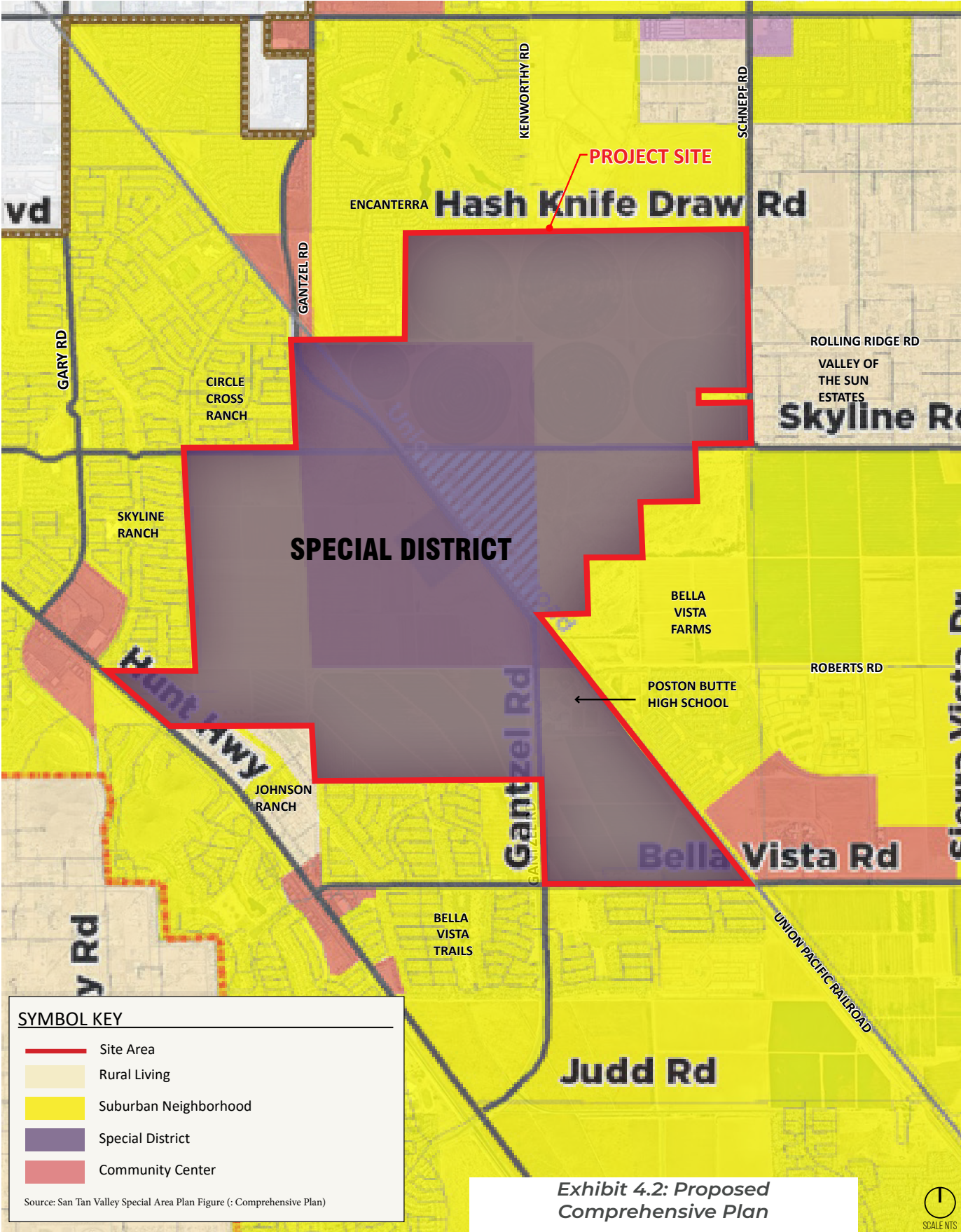
Response: According to the Arizona Environmental Online Review Tool Report (EORTR), there are no significant areas of vegetation on the Site. Additionally, the Arizona Geological Survey "Natural Hazards in Arizona" GIS map shows no geological hazards within or adjacent to the Site. The Site's current use is a mix between agriculture and undeveloped land.

As part of ASLD's disposition requirements, future purchasers must complete a Class I cultural survey in compliance with the Arizona Antiquities Act.

I. Water Resources, Public Facilities/Services, and Infrastructure Support

Response: Portions of the Site are within the Town of Queen Creek's water and wastewater service area. The Town, and EPCOR have documented the intent to determine a logical service area boundary, likely determined by the rail line, should the providers expand their Certificates of Convenience and Necessity.





05

LARGE MASTER PLANNED COMMUNITY (L-MPC) PLAN

5.1 L-MPC PLAN PURPOSE AND OBJECTIVES

The L-MPC Zoning District is to be approved in conformance with ARS 11-CHAPTER 8 et seq. and Pinal County's ordinances. This L-MPC serves as the foundational framework for achieving the County's zoning objectives and outlines a multi-tiered planning process for Site development.

The L-MPC Plan is the first level of land use and zoning requirements which sets forth the overall vision for the development of the Site.

The L—MPC Plan establishes:

- Defines the Development Areas (DAs) (see **Exhibit 5.2: L-MPC Land use Plan**):
- Overall land use budget (see **Section 5.2.1: Land Use Budget**):
- Defines Development Districts and Development Types (see **Section 5.3: Development Districts**):
- Defines Permitted Uses (see **Section 5.4: Permitted Uses**):
- Development Standards (see **Section 5.5: Development Standards**): and
- Due to the nature of ASLD's fiduciary obligation and statutory requirements, overall infrastructure master plans will be deferred. Once completed, this L-MPC proposal will be amended to include such plans. Conceptual infrastructure reports will be provided in the appendix (see **Section 9: Infrastructure**).

Section 6: Secondary Planning Process discusses the second level of planning, consisting but not limited to, infrastructure master plans, Development Area Plans (DAPs), Tentative Plats, and Final Plat or Site Plan.

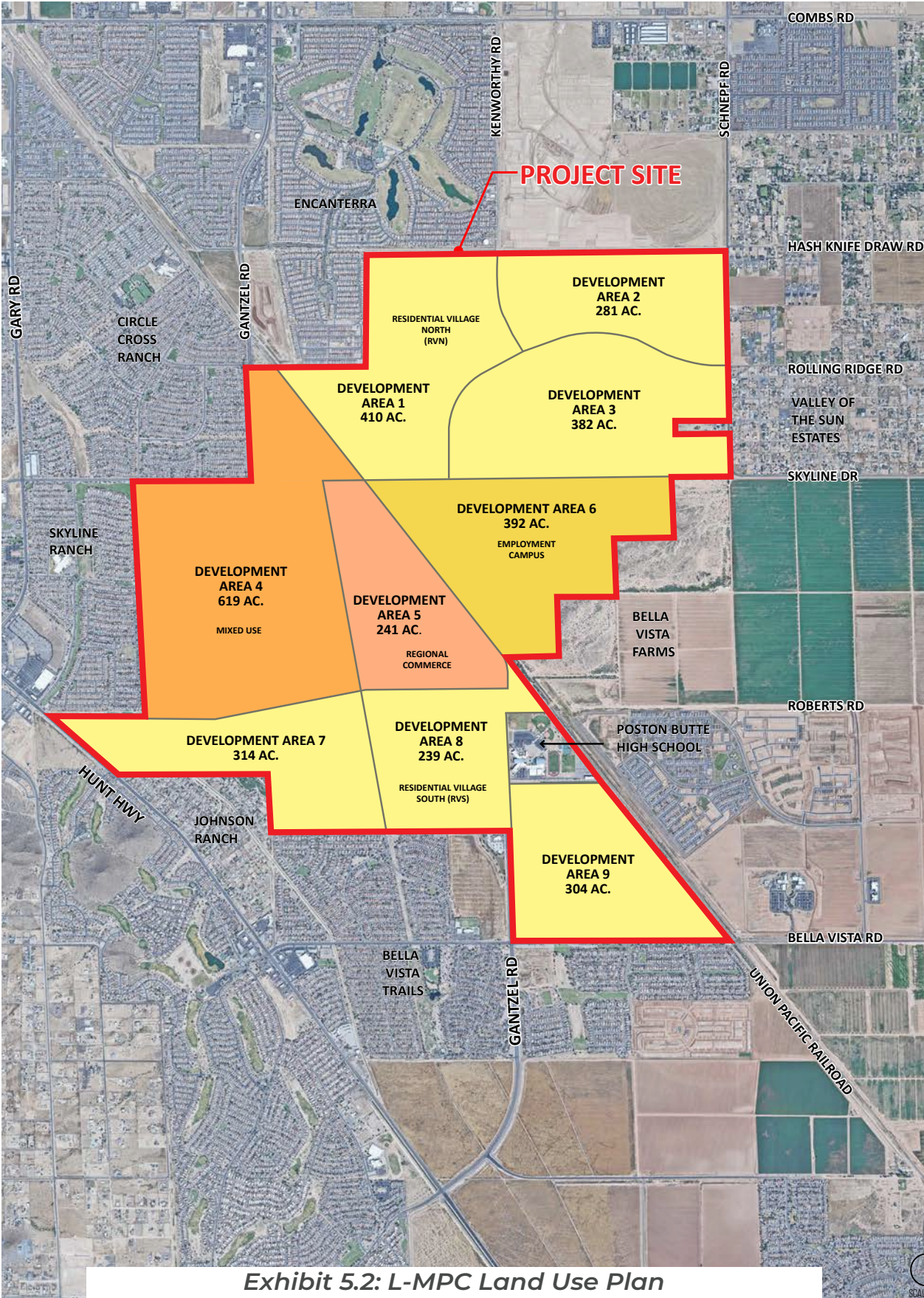
5.2 L-MPC LAND USE PLAN

The L-MPC Land Use Plan (**Exhibit 5.2**) provides an overall conceptual vision for each DA. The DAs are conceptual and the boundaries may change at ASLD's discretion, in coordination with Pinal County, as land is sold. The intent of the DA boundaries is to establish a functional segment that facilitates logical infrastructure and land planning through future Development Area Plans (DAPs).

The land area of the Site is divided into nine (9) DAs which are generally configured at logical boundaries along primary roadways, existing infrastructure, or land use transitions.

Within each DA, the quantity of residential Dwelling Units (DUs) and non-residential Gross Floor Areas (GFAs), as well as minimum open space area, is illustrated within **Table 5.2.1: Land Use Budget**.

- A. As development is planned within a DA, the ability to phase improvements will be allowed.
- B. Proposed development in any location within the boundaries of the DA so long as it leads to a logical development plan where proposed improvements allow for residential and/or non-residential development.
- C. Marketability and/or site feasibility may require certain parcels to be held for future development within a DA. The timing and sequencing of land sale will be at the discretion of ASLD.
- D. The aggregate of all final subdivision plats and/or Site Plan submittals within a DA shall not exceed the allotted DUs or GFA established by the most current amended version of the Land Use Budget.
- E. Until the final build-out of a DA, the applications for cumulative final subdivision plats and/or site plan submittals in each DA shall not utilize all the available DUs or non-residential GFA for an entire DA and thereby leave potentially undevelopable portions of the Site. The County will lead the effort in tracking DUs and GFA as provided for in **Section 5.2.3. Land Use Budget Tracking**.



5.2.1 LAND USE BUDGET

The Land Use Budget, see **Table 5.2.1: Land Use Budget**, outlines the total permitted allocations of density and intensity through DUs and GFA for DAs one (1) through nine (9) within the Site, as illustrated in **Exhibit 5.2: L-MPC Land Use Plan**.

Table 5.2.1: Land Use Budget				
	Residential Village North (RVN)****			Mixed Use
Description	Development Area 1	Development Area 2	Development Area 3	Development Area 4
Total Gross Acreage***	410	281	382	619
Gross Residential Area	402 AC	273 AC	374 AC	310 AC
Maximum Dwelling Units (Without Transfer)	2,410 DU	1,636 DU	2,242 DU	4,643 DU
Minimum Gross Non-Residential Area	25 AC			310 AC
Maximum Non-Residential Gross Floor Area (Without Transfer)	217,800 SF			2,696,364 SF

* Density and Intensity Transfers of up to 20% shall be reviewed and approved by the County Community Development Director.

** If market demand isn't justified for non-residential uses, then Development Area 6 shall allow for residential development. If residential development occurs, the non-residential acreage would decrease by the amount allocated to residential development. If no residential development is proposed, DA 6 may be developed entirely as industrial.

*** Open space shall be provided on developed lands at minimums of 18% of gross residential acreage & 10% of gross non-residential acreage.

**** The proposed Residential Villages North and South (RVN/RVS) will each include a minimum of 25 acres designated for non-residential development. Table 5.2.1 above represents an even distribution of 8.33 acres of non-residential development in each of the Residential Village DA's, however, non-residential development can be located within any part of the respective Residential Villages or their associated DAs. If non-residential development is implemented within a specific DA, the Gross Residential acreage listed in Table 5.2.1 may be adjusted (increased or decreased) to ensure that the combined Gross Residential and Gross Non-Residential acreages match the Total Gross Acres of the DA.

To determine the residential density & non-residential intensity for each Development Area outlined in the chart below, the DA's gross residential & non-residential acreage was multiplied by a density / intensity factor (units per acre - DU/AC / Floor Area Ratio - FAR). The density & intensity ranges utilized are as follows:

Development Area	Residential		Non-Residential	
- DA 1, 2, 3, 7, 8, & 9	6	DU/AC	.2	FAR
- DA 4	15	DU/AC	.2	FAR
- DA 5	20	DU/AC	.2	FAR
- DA 6	20	DU/AC	.25	FAR

Regional Commerce	Employment/ Distribution Campus	Residential Village South (RVS)****			
Development Area 5	Development Area 6 **	Development Area 7	Development Area 8	Development Area 9	Property Totals
241	392	314	239	304	3,182 AC
60 AC	0 AC	306 AC	231 AC	296 AC	2,251 AC
1,200 DU	1,568 DU	1,836 DU	1,386 DU	1,776 DU	18,697 DU
181 AC	392 AC	25 AC			932 AC
1,574,694 SF	4,268,880 SF	217,800 SF			8,975,538 SF

5.2.2 ALLOCATION OF LAND USE BUDGET

ASLD will identify land within this L-MPC for disposition within its sole and absolute discretion throughout the period when ASLD holds STL within this L-MPC. The State Land Commissioner, or designee, shall designate allowable DUs and GFA within any parcel to be auctioned within the L-MPC as allowed by this L-MPC proposal.

5.2.3 LAND USE BUDGET TRACKING

1. DUs or GFA allocation within a DA, or portion thereof, shall be tracked and documented by the County, in coordination with ASLD, at the time of Site Plan or Final Plat approval. This table will reflect the authorized DUs and GFA per DA, DUs and GFA transferred in or out per DA, the total DUs and GFA per DA, and a grand total of DUs and GFA for the overall L-MPC.
2. Subdivision Plats (Tentative and Final) or Site Plan submissions, when considered collectively within a Development Area, may be approved to develop with a final DU or GFA that is below the total permitted allocation for that DA. However, exceeding the total permitted DU or GFA allocation is only allowed through density and intensity transfers, as detailed in **Section 5.6: Density and Intensity Transfers**. This ensures that any increases in density or intensity are properly managed and justified.
3. Until all areas within a DA have been fully developed, cumulative applications for Site Plans and/or Final Plats within that DA shall not exhaust all available DU or GFA allocations, unless a density/intensity transfer has been implemented. This approach eliminates the potential of a undevelopable portion of a DA, allowing for future development opportunities and maintaining overall site flexibility for the DA.
4. Units associated and entitled with any proposed development plan that fail to transfer out of ASLD's ownership (via issuance of a land patent) shall be returned to the Land Use Budget Tracking Table following notice to the County by ASLD.
5. All Parcels shall be numbered by DA and then by parcel in a logical phasing sequence as follows:
 - i. Example: Parcel 8 within DA 1 would be numbered "1.8."
 - ii. This sequencing must be clearly indicated on the Land Use Budget Tracking Table and in all Preliminary Application, Site Plan, Tentative Plat, or Final Plat submissions.

7. The developer of a development that complies with the L-MPC and is approved by ASLD and Pinal County's Community Development Department, shall submit a final Land Use Budget Tracking Table to the ASLD and County for final cataloging.
 - a. The Land Use Budget Tracking Table will be cataloged and continually updated by the County as an addendum to this L-MPC by administrative update.
 - b. Updates to the Land Use Budget Tracking Table shall not be considered an amendment to this L-MPC document.

Note: An example Land Use Budget Tracking Table has been provided in the Appendix of this document.

5.3 DEVELOPMENT DISTRICTS

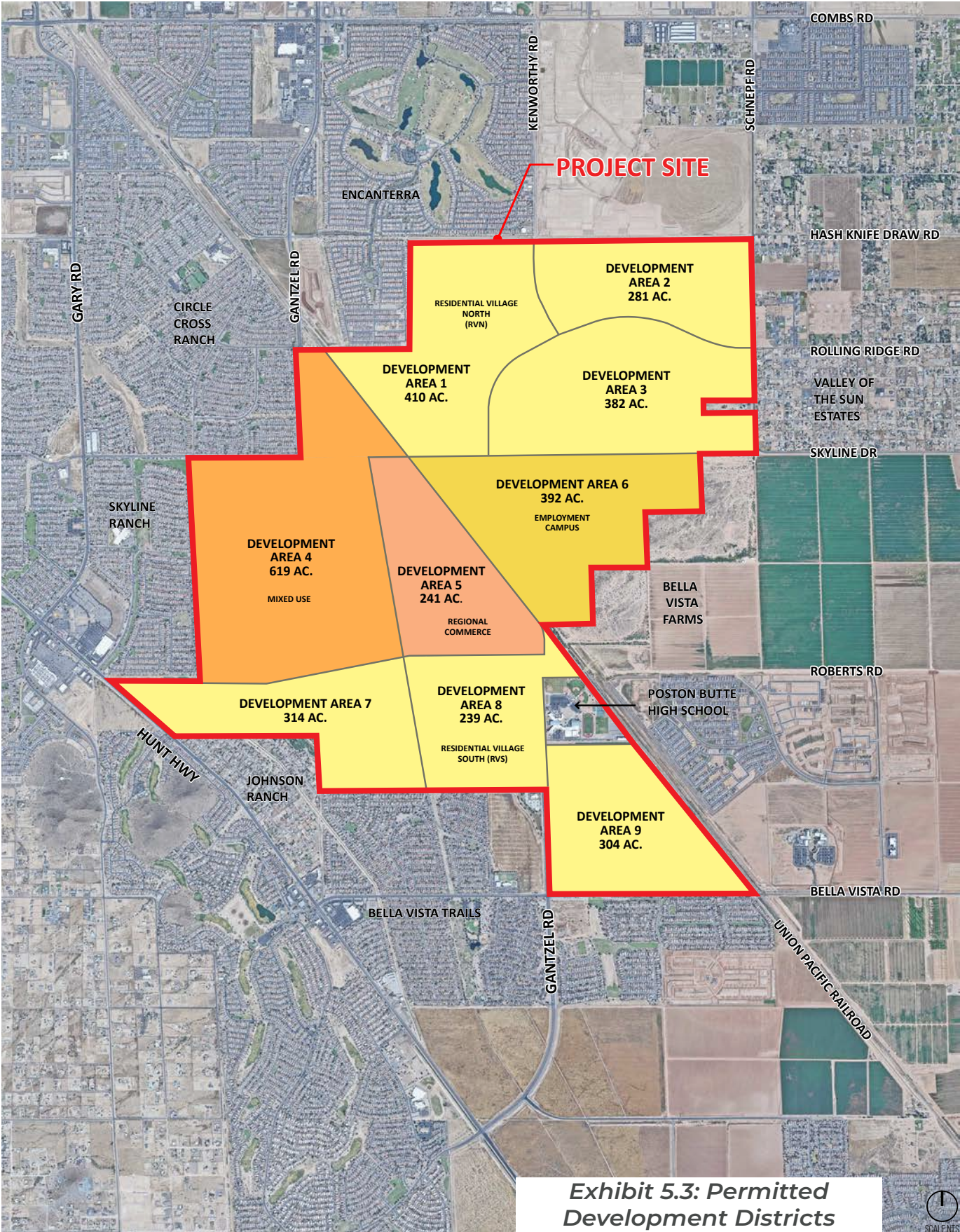
Table 5.3.1: Development Districts defines the Development Districts, DU density ranges, and the maximum GFA ratios, that will be applied to each DA. In many instances, multiple Development Districts have been applied to each DA, allowing for development adaptivity in response to future market conditions.

Table 5.3.1: Development Districts				
Development Districts		Development Districts Descriptions	Permitted Zoning Districts	Dwelling Unit Density Range / Max Gross Floor Area Ratio
Traditional Neighborhood Residential	SVT-LDR	Low Density Residential	R-43, R-35, R-20, R-12, R-9	0 - 3 DU/AC
	SVT-MDR	Medium Density Residential	R7	3 - 5 DU/AC
	SVT-HDR	High Density Residential	MD, MR	8 - 24 DU/AC
Creative Lot Residential	SVT-CLR	Creative Lot Residential	(refer to table 5.5.1)	5 - 30 DU/AC
SVT-C		Commercial	C-1, C-2, C-3	0.25 FAR
SVT-E		Employment	O-1, O-2, I-1, I-2, I-3	1.5 FAR
SVT-TE		Tech Employment	(refer to table 5.5.2)	1.5 FAR

Development Districts are illustrated on **Exhibit 5.3: Permitted Development Districts**, and shown on **Table 5.3.2: Development Areas and Permitted Development Districts**, and unless modified herein allow development according to the **Pinal County Development Services Code** associated with each DA.

Table 5.3.2: Development Areas and Permitted Development Districts										
		Traditional Neighborhood Residential				Creative Lot Residential	Non-Residential			
		Single Family			Multi-Family	Single Family / Multi-Family	Commercial	Employment (SVT-E)		Tech Employment
Development Areas	Gross Area	SVT-LDR	SVT-MDR	SVT-HDR	SVT-HDR	SVT-CLR	SVT-C	Office	Industrial	SVT-TE
1	410	X	X	X		X	X	X		
2	281	X	X	X	X	X	X	X		
3	382	X	X	X		X	X	X		
4	619		X	X	X	X	X	X		
5	241		X	X	X	X	X	X	X	X
6	392		X	X	X	X	X	X	X	X
7	314	X	X	X	X	X	X	X		
8	239	X	X	X	X	X	X	X		
9	304	X	X	X	X	X	X	X		

Refer to exhibit 5.3 for permitted development districts



5.4 PERMITTED USES

The Site shall feature a mix of residential and non-residential uses. Existing ASLD uses shall continue indefinitely until the land is sold. All permitted uses shall be governed by the **Pinal County Development Services Code** with specific regard to the Development Districts Permitted in Table 5.3.1.

5.5 DEVELOPMENT STANDARDS

The residential and non-residential permitted uses shall be regulated by the applicable development standards within the **Pinal County Development Services Code** except as modified in this L-MPC and Table 5.5.1 below. Land purchasers may propose different development standards upon administrative approval by the County Community Development Director.

TABLE 5.5.1: DEVELOPMENT STANDARDS FOR CREATIVE LOT RESIDENTIAL				
DEVELOPMENT STANDARDS FOR CREATIVE LOT RESIDENTIAL (SVT-CLR) DISTRICTS ⁽⁵⁾	SVT-CLR-DSF	SVT-CLR-ASF	SVT-CLR-DMF	SVT-CLR-AMF
	DETACHED SINGLE FAMILY RESIDENTIAL	ATTACHED SINGLE FAMILY RESIDENTIAL	DETACHED MULTI-FAMILY RESIDENTIAL	ATTACHED MULTI-FAMILY RESIDENTIAL
Minimum Lot Area (SF)	5,000	1,200	N/R	N/R
Minimum Lot Width (FT)	45 ⁽¹⁾	20	N/R	N/R
Minimum Lot Depth (FT)	N/R	N/R	N/R	N/R
Maximum Lot Coverage (%)	55%	85%	N/R	N/R
Maximum Building Height FT	30	30	30	60 ⁽²⁾⁽⁴⁾
Front Setback (FT)			20	20
Side-entry garage	10	N/R	-	-
Front-facing garage	20	3 or 20 ⁽⁴⁾	-	-
Side Setback	-	-	20 ⁽³⁾	20 ⁽³⁾
Interior Setback (min/total FT)	5/10	5 ⁽⁴⁾	-	-
Corner Setback (FT)	10	10	15 ⁽³⁾	15 ⁽³⁾
Rear Setback (FT)	15	0	15	15
Maximum Density (du/ac)	N/R	N/R	N/R	N/R

NOTES:

(1) No more than 50% of lots within a development unit may be a minimum of 45 feet in width. A minimum of 50% of lots shall be 50' or greater width.

(2) Building height: maximum thirty (30) feet high within thirty (30) feet of any Single-Family Residential District. The height may be increased by one (1) foot per each three (3) feet of additional setback to a maximum of 60-feet.

(3) For condominium and attached housing types only building separation applies.

(4) Driveway depth must be less than 3' or greater than 20' as measured from the back of sidewalk, or back of curb if a sidewalk is not provided. Architectural elements, such as pop-outs and overhangs, may encroach into the front building setback up to 3'.

(5) SVT-CLR can be applied to all residential districts up to 50% of a DA's land area unless otherwise approved by the Community Development Director

TABLE 5.5.2: DEVELOPMENT STANDARDS FOR TECHNOLOGY EMPLOYMENT DISTRICTS	
DEVELOPMENT STANDARDS FOR TECHNOLOGY EMPLOYMENT (SVT-TE) DISTRICTS	SVT-TE ⁽²⁾⁽³⁾
	TECHNOLOGY EMPLOYMENT
Minimum Site Area (AC)	N/R
Minimum Lot Width (FT)	100
Minimum Lot Depth (FT)	150
Maximum Lot Coverage (%)	80
Maximum Building Height (FT) ⁽¹⁾	60 / 150 / 200 ⁽¹⁾
Minimum Setback for Habitable Buildings (front/side/rear)	0 / 0 / 0
Minimum Setback for Non-Habitable Buildings	(2)
Minimum Landscape Buffer (Arterial Roadway) (FT)	30
Minimum Landscape Buffer (Collector Roadway) (FT)	15
Minimum Landscape Buffer (Non-Roadway Perimeter) (FT)	20
Minimum Landscape Buffer (Commercial) (FT)	20

NOTES:

(1) 60' for commercial. Development area 6 - 150' for habitable buildings / 200' for non-habitable buildings. 10% overage allowed with approval of community development director.

(2) Non-habitable structures shall be set back from the property line a distance equivalent to their height.

(3) All principal and accessory buildings or structures shall be located at least one hundred (100) feet away from any existing or planned residential use, except where adjoining a railroad right of way.

5.6 DENSITY AND INTENSITY TRANSFERS

To allow for flexibility in responding to market conditions, ASLD, in coordination with Pinal County, may transfer unallocated DUs or GFA from one or more DAs to another DA through Density and Intensity Transfers.

A. Density and Intensity Transfers shall meet the following criteria:

1. Only ASLD is permitted to process a density and intensity transfer request in coordination with the County. ASLD will allocate DUs and GFA at the time of auction.
2. ASLD will seek administrative approval from the Pinal County Community Development Director to transfer density and intensity above twenty percent (20%) before a parcel is auctioned.
3. ASLD auction notices will establish the parcel's maximum DUs and GFA, and the final density and intensity of that parcel will be logged into the Land Use Budget Tracking Table at the time of preliminary plat or site plan approval.
4. If after auction, land reverts back to ASLD ownership, DUs or GFA may be added back into the Land Use Tracking Table.
5. Changes to the allocation of DUs or GFA within a DA due to a transfer must be documented by updating the Land Use Budget Tracking Table. This update shall reflect the increases and decreases in DUs or GFA for the affected DAs.

5.7 AMENDMENTS

Amendments to this L-MPC may be necessary from time to time and can be requested by ASLD or their successors with ASLD's approval while STL still exists within the L-MPC. Any amendments that might impact land still owned by ASLD must include an ASLD authorization letter.

Whether an amendment is determined to be a Major Amendment or a Minor Amendment, it will be processed in accordance with the procedures for amending the L-MPC District under the ***Pinal County Development Services Code***.

5.8 INTERPRETATIONS

The Community Development Director shall have the authority to administratively review and approve any clarifications and interpretations not specifically addressed in this L-MPC.

06

SECONDARY PLANNING PROCESS

6.1 ASLD/PURCHASERS ROLE

ASLD will identify land within this L-MPC for disposition within its sole and absolute discretion throughout the period when ASLD holds STL within this L-MPC. The State Land Commissioner, or designee, shall designate allowable DUs and GFA within any DA, or portion thereof, to be auctioned within the L-MPC as allowed by this L-MPC proposal.

ASLD will remain involved in land use decisions within the entire L-MPC until such time that ASLD no longer owns any Trust land within this L-MPC. Until the last parcel is transferred out of ASLD ownership (a land patent issued), every L-MPC amendment and development application proposal for land within the L-MPC, including but not limited to Comprehensive Plan amendments, rezoning, plats, site plans, and use permits must be accompanied by a Planning Authorization Letter issued by ASLD. Upon disposition of ASLD property, the first successors within a DA will engage with the County and ASLD in a secondary planning process.

6.2 PLANNING PROCESS

The secondary planning process includes the following;

- Development Area Plans (DAPs) serve as the second level of planning, providing more detailed plans for specific areas within the Site. DAP infrastructure and circulation plans shall address the provision of water, wastewater, and transportation infrastructure to the development site and provide conceptual plans for extending these facilities to the remaining land within the DA and to adjacent DAs. The intent is to ensure that infrastructure can easily be extended and properly sized to serve areas within the L-MPC that are yet to be developed
- Tentative Plats, serve as the third phase and involves the preparation and submittal of a tentative plat for approval, laying out the proposed development in more detail.
- Final Plats or Site Plans are the final step, where the approved plans are finalized for implementation.

Unless otherwise amended herein, purchasers/ developers of land within the Site shall reference the current version of Pinal County's Development Code for all requirements and procedures.

07

FRAMEWORK PLANS

7.1 CONCEPTUAL TRANSPORTATION FRAMEWORK PLAN

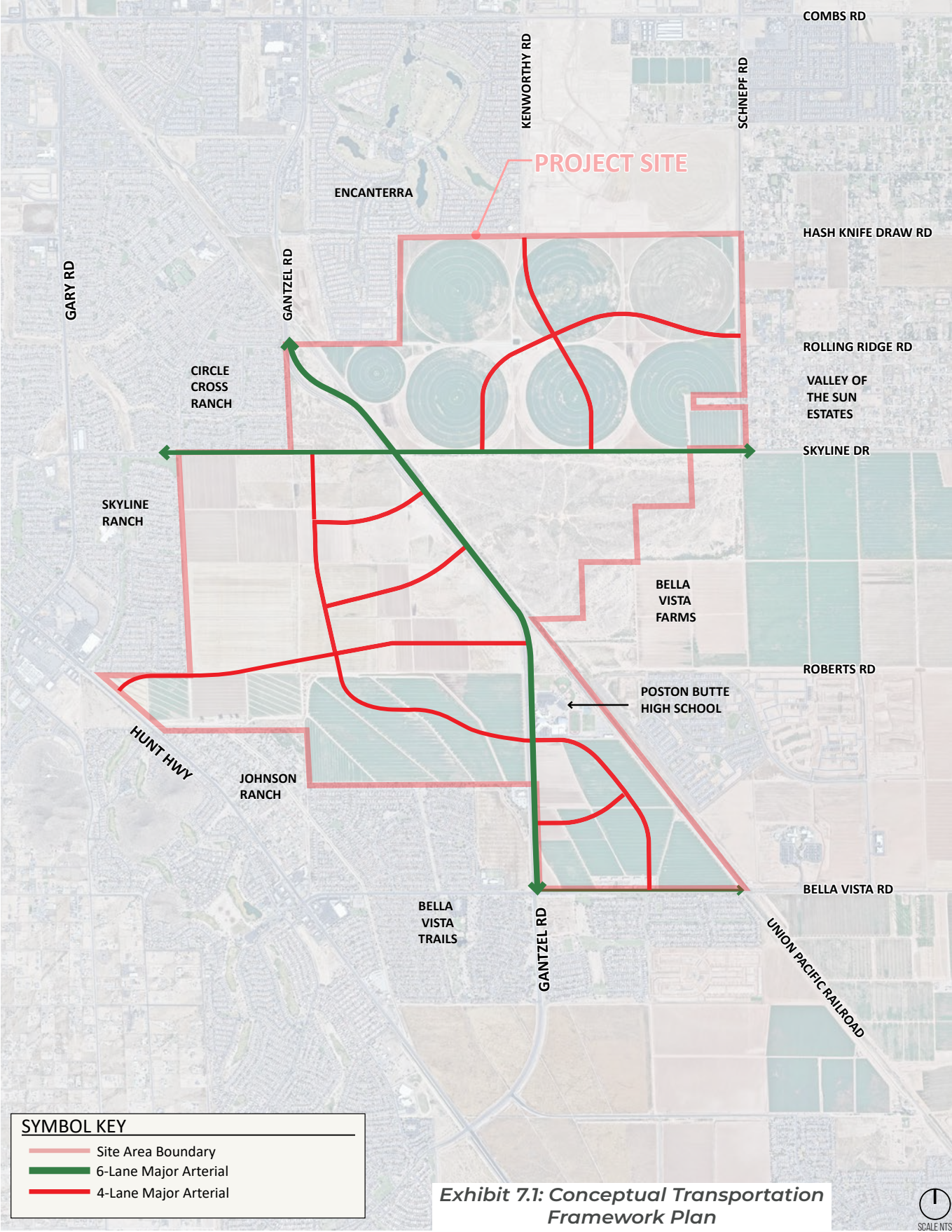
The Conceptual Transportation Framework Plan illustrates the primary street network within each DA, see **Exhibit 7.1: Conceptual Transportation Framework Plan**. The street network shown is conceptual, realignment of roadways within the Site shall be administratively approved.

Refer to **Section 8.2: Street Standards** for street standards.

The Transportation Framework Plan presents the following information.

- A. Identify conceptual locations for each arterial classification roadway;
- B. Identify conceptual intersection locations for both residential and non-residential parcels; and
- C. A Master Transportation Plan for the Site has been provided in the Appendix.

The final classification, layout, and geometry of the of the street network will be determined during the secondary planning process.



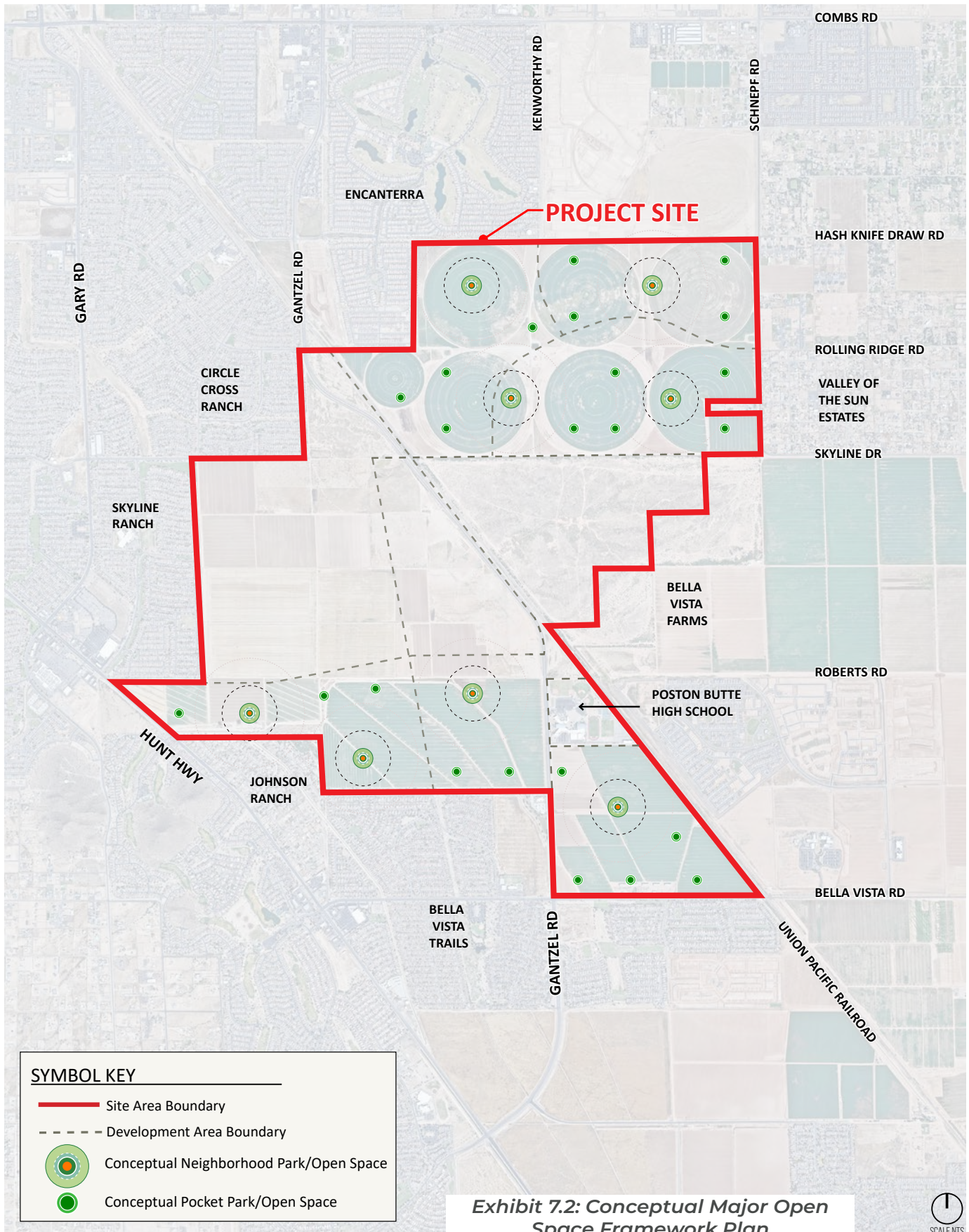
7.2 CONCEPTUAL MAJOR OPEN SPACE FRAMEWORK PLAN

The Conceptual Major Open Space and Parks Framework Plan outlines the network of open spaces and parks within the Site. The character, size, and location of parks will vary based on their intended purpose, with potential placements in neighborhoods, or near non-residential land uses.

Each DA, or portion thereof, shall provide at least eighteen (18) percent of the total residential gross site area and at least ten (10) percent of the total non-residential gross site area as open space. This may include landscaped common areas, whether public or private, as well as any areas maintained by a homeowners' association (HOA) within public rights-of-way (excluding medians), drainage areas, trail corridors, landscape easements, parks, or other natural spaces created as part of the development.

Parks should serve as prominent features in their locations and meet the recreational needs of users. They shall be situated within each DA, ensuring that residents have convenient access to parks. The size, type, and number of parks will be established during the secondary planning process. The park requirements for multi-family use areas will be met by providing common open spaces within the multi-family development.

Refer to **Section 8.4: Open Space and Parks Standards** for open space and parks standards.



7.3 CONCEPTUAL PATH AND TRAIL FRAMEWORK PLAN

Paths and trails within a DA can include pedestrian paths, bike paths, or other multi-purpose trails. They may be situated alongside proposed street networks or within open space areas. Suitable surface materials can include native soil, stabilized decomposed granite, concrete, asphalt, or other materials that support the intended use of the paths or trails.

Paths and trails shall connect the external trail network on primary roadways, collector roads, and other major trails, as well as the more localized neighborhood level, based on the proposed street networks and open spaces. Character and standards for paths and trails are outlined in **Section 8.5: Path/Trail Character and Standards**. The Conceptual Path and Trail Framework Plan is illustrated in **Exhibit 7.3: Conceptual Path and Trail Framework Plan**. This Framework may be modified and updated through the secondary planning phase without requiring an amendment to the L-MPC.

Hierarchy of Path and Trails

A. Primary Roadway Path and Trails

1. The Primary Roadway Trails are the roads which border and bisect the Site (Hash Knife Draw Rd., Skyline Dr., Bella Vista Rd., Hunt Hwy., and Gantzel Rd.
2. The Primary Roadway Trails, per Major and Minor Arterial street sections as illustrated in ***Pinal County's Subdivision & Infrastructure Design Manual***, shall feature a concrete-paved path connected to the curb on one side, and a concrete-paved path set apart from the curb on the other side. These trails facilitate circulation throughout the site, providing both regional connections and connections into the DAs.
3. Primary Roadway Trails shall function as the primary bike circulation route, incorporating on-street bike lanes. These bike lanes will connect to the Collector Road Path and Trails and other on-street bike lanes or proposed bike paths.

B. Collector Road Path and Trails

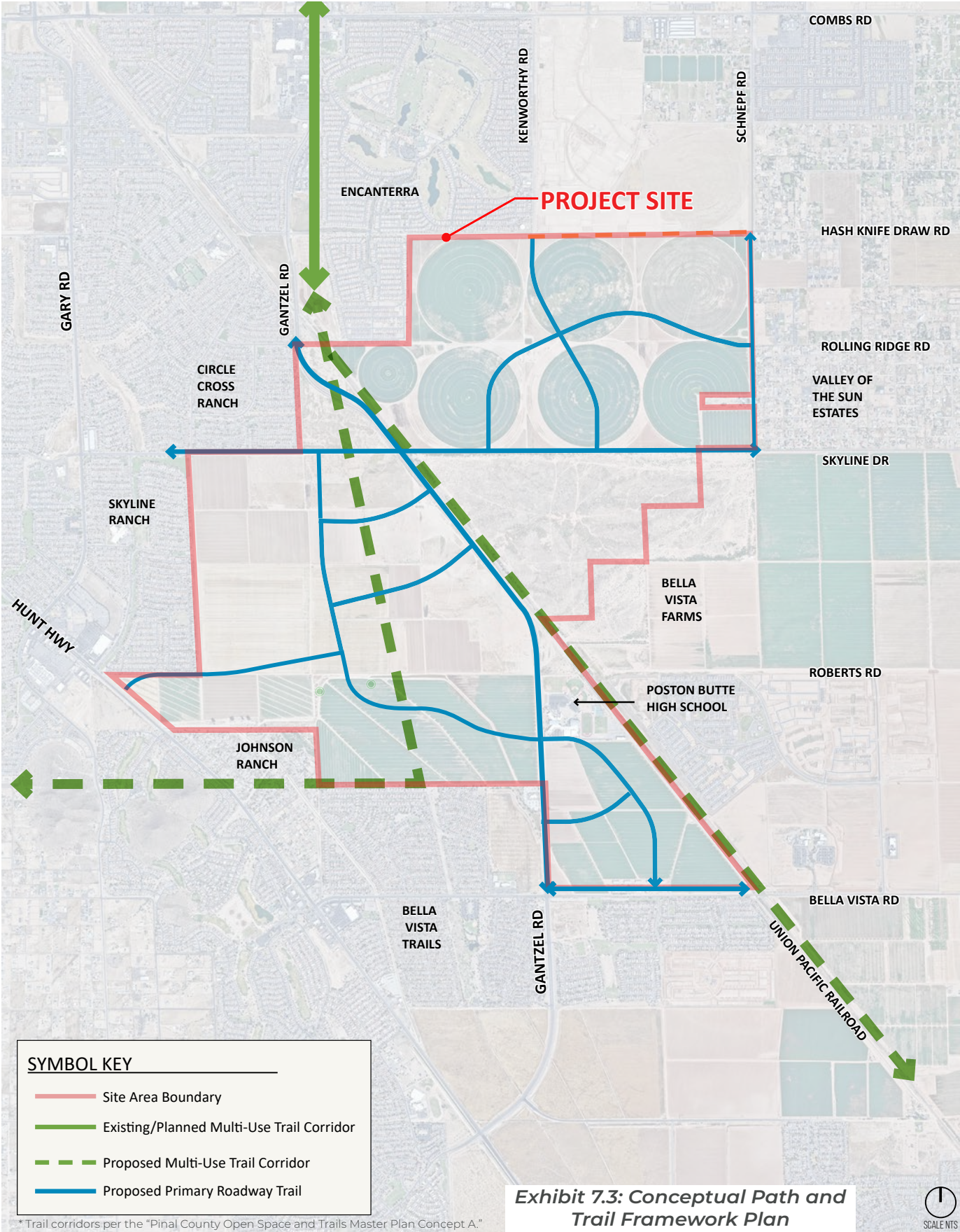
1. The Collector Road Path and Trails are roadway trails that link to the primary roadway network, offering intermediate-level connections within the DAs.
2. The Collector Road Path and Trails, per Major and Minor Collector street sections as illustrated in ***Pinal County's Subdivision & Infrastructure Design Manual***, shall feature a concrete-paved path connected to the

curb on one side, and a concrete-paved path set apart from the curb on the other side.

3. Major Collector Road Path and Trails, based on the proposed street conditions, will include on-street bike lanes. These bike lanes shall connect to the Primary Roadway Path and Trails, enabling longer distances to be covered within a comprehensive network of bike lanes.

C. Neighborhood Path and Trails

1. The Neighborhood Path and Trails encompass all other paths or trails within the community. These may include trails adjacent to streets, whether attached or detached from the curb, as well as paths that connect open space areas or lead to amenities. They also provide access to the Primary and Collector Roadway Paths and Trails, and other defined trail networks.
2. The Neighborhood Trails shall feature either concrete-paved or decomposed granite surfaces. This variety in surfacing accommodates a range of recreational activities, including walking, jogging, and biking. All paths or trails should be at least four (4) feet wide.



08

DEVELOPMENT THEMES AND OVERALL PROJECT CHARACTER

Each land purchaser is responsible for following all applicable County standards unless otherwise specified herein, including but not limited to the Development Service Code, Subdivision and Infrastructure Design Manual, Drainage Manual - Volume 1 & 2, and the Open Space and Recreational Area Guideline Manual.

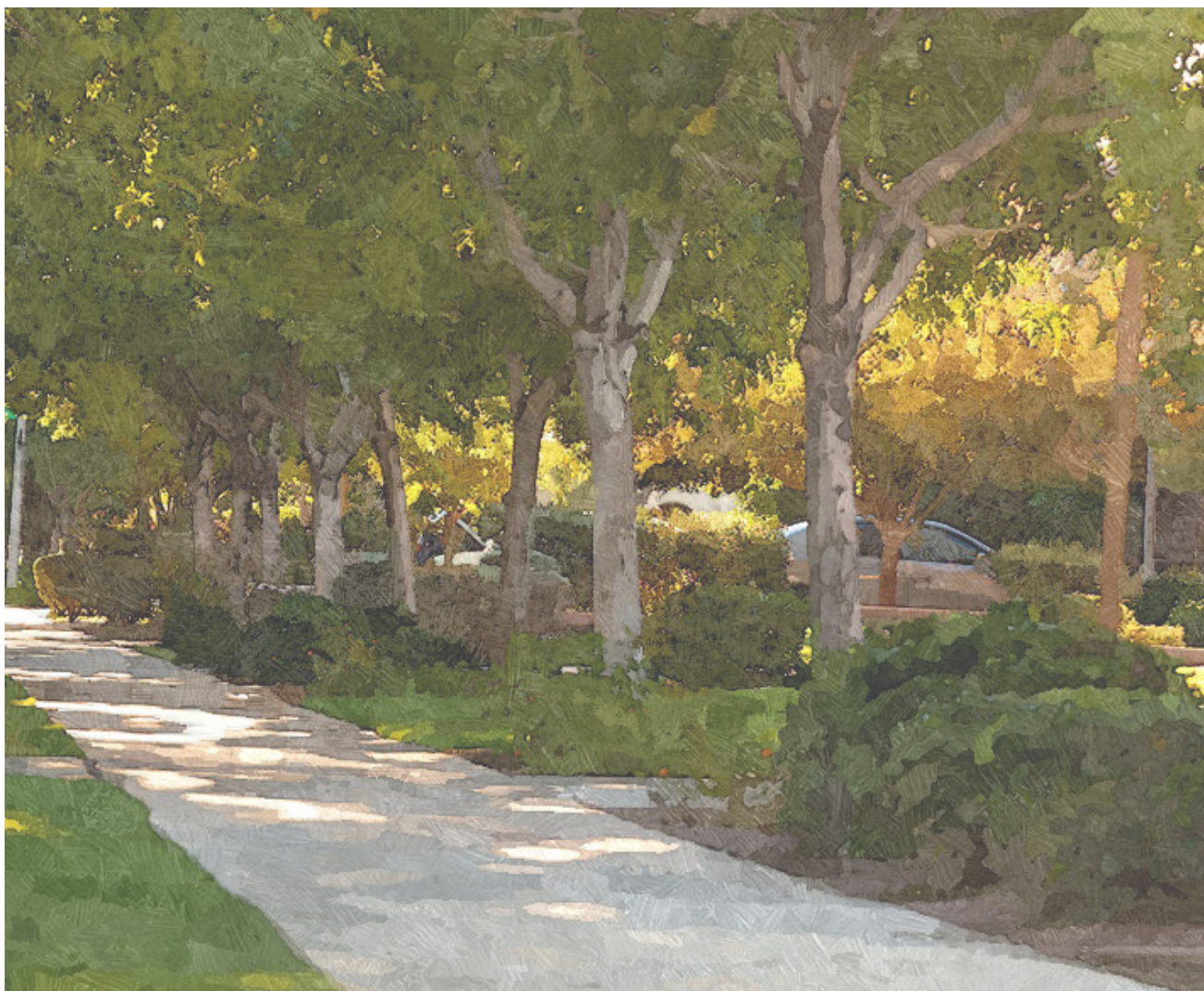
8.1 SITE PLANNING STANDARDS

The goal for site planning associated with community and neighborhood development shall focus on opportunities that reinforce the ability to create unique and distinctive environments. The careful design integration of the street system, the open space and park system, the trail network and the layout of the neighborhoods provides the greatest tools to ensure an attractive and inviting setting. At the same time, all site planning and site design recommendations shall take special care to focus on the relationship between residential privacy needs with the aspirations and opportunities for community engagement. All site planning recommendations shall have at its basis the need for safe, convenient and functional environments. The primary goals for site planning and design are:

- Establishing diverse development patterns to create engaging street scenes, open spaces, and parks.
- Ensuring clear, safe, and adequate pedestrian access points from adjacent trail corridors to planned amenities within neighborhoods.
- Integrating design features that foster a sense of place and identity, encouraging social interaction.

8.2 STREET STANDARDS

Effective street design standards are crucial for creating unique neighborhoods that prioritize both safety and convenience for all users, including pedestrians, cyclists, and drivers. A well-designed street layout can foster a strong sense of place while ensuring smooth vehicular circulation. Integrating elements like tree-lined streets, pedestrian pathways, and designated bike lanes not only improves the aesthetic appeal of the neighborhood but also encourages alternative modes of transportation. By considering factors such as connectivity, accessibility, and the surrounding environment, street design can contribute to vibrant, sustainable communities where residents feel safe and connected, while traffic flows efficiently and responsibly. The County has established street standards, which are outlined in the ***Development Services Code*** and in the “***Pinal County’s Subdivision & Infrastructure Design Manual***.”



8.3 ARCHITECTURE CHARACTER AND STANDARDS

A variety of architectural styles is a key element necessary for a vibrant and diverse community. The architectural character of the residences must have details and materials that are authentic to the architectural style being portrayed. The architectural styles listed below for the Site have been included for their timelessness in style and quality of detail. However, this list is not meant to be exhaustive. Additional architectural styles may be considered to create a more diverse mix of product types.

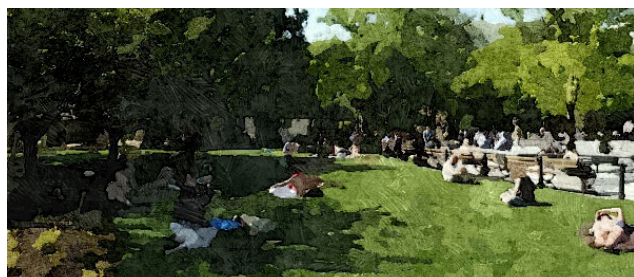
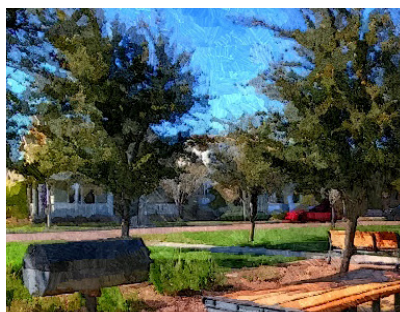
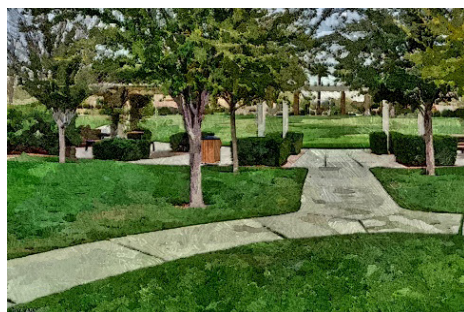
- Spanish Colonial, Territorial Ranch, Modern Prairie, Craftsman/Bungalow, Mid-Century Modern, Modern Farmhouse, and Traditional Southwest.



8.4 OPEN SPACE PARKS CHARACTER AND STANDARDS

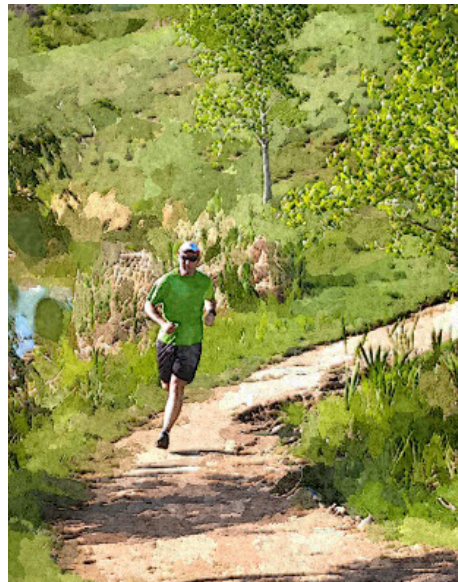
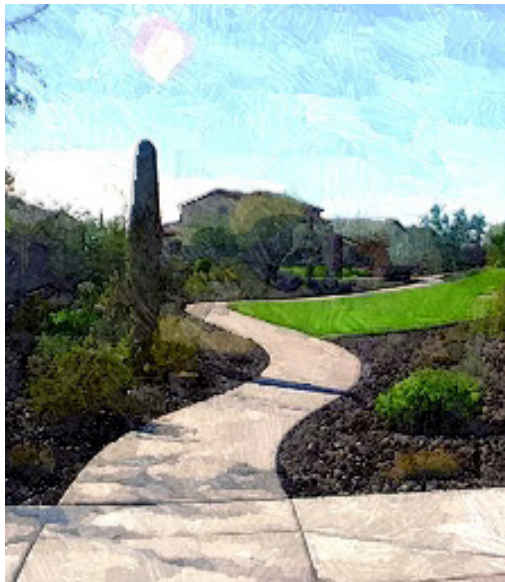
A key design component for each DA and community is the integration of open spaces, parks, and the surrounding trail system. This open space and parks network should reinforce the community's design, character, and thematic elements, with an emphasis on promoting health and wellness, fostering community engagement, and providing strong connections to nature.

The hierarchy of open spaces and parks should offer a diverse range of recreational opportunities to serve residents of all ages and interests. These spaces shall be designed to accommodate various user needs and encourage active living. Open space and park designs shall adhere to applicable portions of the County's **"Open Space and Recreation Area Guideline Manual,"** ensuring consistency and quality in the planning and development of these essential community features.



8.5 PATH/TRAIL CHARACTER AND STANDARDS

Pedestrian connectivity is a key element in creating a walkable, vibrant community that promotes health, accessibility, and social interaction. Well-designed pedestrian pathways connect neighborhoods, parks, recreational areas, and commercial hubs, ensuring residents can move easily and safely throughout the Site. These connections encourage walking and cycling as viable alternatives to driving, reducing traffic congestion and promoting a healthier lifestyle. Additionally, pedestrian-friendly designs foster community engagement by providing opportunities for outdoor living and creating spaces where people can interact, relax, and enjoy nature. Prioritizing pedestrian connectivity not only enhances mobility but also strengthens the overall sense of place and community within a development.



8.6 LANDSCAPE CHARACTER AND STANDARDS

The landscape treatments of open spaces and parks shall reinforce the overall design, character, and theming of each DA. While each DA may feature a distinct landscape aesthetic, it shall ensure a consistent level of quality and finish across the Site. The following parameters shall be adhered to:

- Plant materials in public rights-of-way and common areas must conform to the most current version of the Arizona Department of Water Resources (ADWR) “Low Water Use/ Drought-Tolerant Plant List” for the Phoenix Active Management Area (AMA).



8.7 FENCE/WALL CHARACTER AND STANDARDS

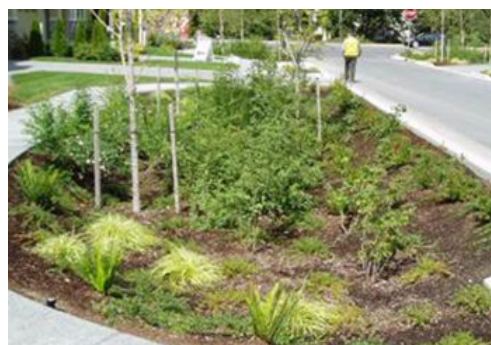
The design and use of fencing and walls within a community are essential for establishing community identity, ensuring privacy and security in residential areas, and providing protection from roadway and environmental noise. A well-considered hierarchy of fences and walls creates visual interest and variety, while maintaining continuity throughout the DA. These structures not only enhance the neighborhoods character but also help to screen streets and adjacent land uses, improving overall aesthetics and functionality. Walls should be designed to complement the visual context of the community and its specific neighborhoods.

Materials used for walls within the Site should be selected to complement the architectural style and overall aesthetic of the community. The specific types of walls and fences will be determined during the Tentative Plat or Site Plan submission process. Acceptable materials for construction include masonry, brick, painted block, stone, stucco, architectural metal, board-formed concrete, concrete, split-face masonry, and single-score or patterned integrally colored masonry block. The height and placement of walls and fences shall be governed by the County's **Development Services Code** to ensure consistency with the surrounding environment and adherence to local regulations.



8.8 STORMWATER DRAINAGE AND RETENTION STANDARDS

Stormwater management shall follow the guidelines outlined in the ***Pinal County Drainage Manual – Volume 1 & 2***. Various methods of managing stormwater shall be employed, with an emphasis on flexible and creative design solutions that support the development of neighborhoods, parks, and other uses. Alternative or additional stormwater management methods, including Low-Impact Development (LID) options, may be proposed as part of the design process. For further guidance, the “***Greater Phoenix Metro Green Infrastructure Handbook: Low-Impact Development Details for Alternative Stormwater Management***” should also be consulted.





8.9 PARKING STANDARDS

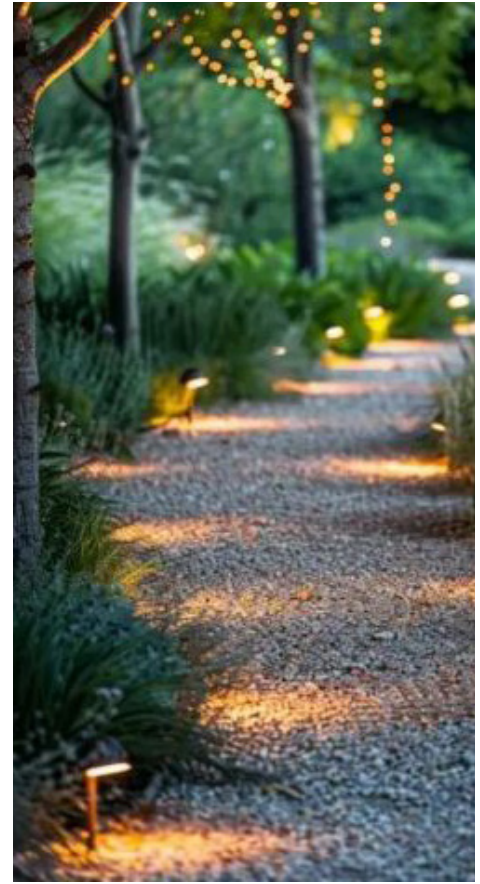
Parking standards shall be governed by the County's ***Development Services Code***.

8.10 LIGHTING CHARACTER AND STANDARDS

The use and intensity of lighting shall be determined by specific land use criteria and the hierarchy of roadways. This approach balances aesthetics and safety by regulating both the quality and quantity of night-time illumination. Design criteria and references are provided in the documents referenced at the beginning of this section. All landscape lighting must comply with the ***Pinal County Light Pollution Code and ARS Section 11-251*** and shall be fully shielded.

The following lighting character images illustrate the expected quality and finish of the site's lighting. Lighting regulations shall promote designs that ensure appropriate night-time illumination while managing energy consumption, minimizing light trespass, and reducing negative impacts on surrounding areas and the night sky.





8.11 SIGNAGE CHARACTER AND STANDARDS

Signage is essential for creating a sense of arrival, establishing character, and providing wayfinding for both pedestrians and vehicles. Each DA, or portion thereof, shall create a Comprehensive Sign Package as outlined in the County's **Development Services Code**. The package shall address the following signage criteria: placement, quantity, size, context, and other relevant considerations. While signage design may vary across different DAs, it shall consistently align with the overall character and identity of the site. To ensure visual continuity, all signage should adhere to high standards of quality and finishes. Example signage character images are provided below.





09

INFRASTRUCTURE

9.1 INFRASTRUCTURE MASTER PLANS

9.1.1 Master Water Plan

The Master Water Plan will be deferred. Once completed, this L-MPC shall be amended administratively to include such plan. A “Conceptual Water Assessment” report has been provided in the appendix.

9.1.2 Wastewater Infrastructure Master Plan

The Wastewater Infrastructure Master Plan will be deferred. Once completed, this L-MPC shall be amended administratively to include such plan. A “Conceptual Wastewater Assessment” report has been provided in the appendix.

9.1.3 Master Drainage Plan

The Master Drainage Plan will be deferred. Once completed, this L-MPC shall be amended administratively to include such plan. A “Conceptual Drainage Assessment” report has been provided in the appendix.

9.2 UTILITIES

Developers will need to closely coordinate and collaborate with each utility provider to ensure that all necessary services—such as water, electricity, gas, and telecommunications are properly integrated into the project. This cooperation is essential for verifying that utility infrastructure is correctly coordinated to meet required standards, and functions efficiently to support the development. The following utility providers currently serve the San Tan Valley area. As new providers may begin operations in the coming years, developers should plan to coordinate with them as needed.

- **Electric:** SRP
- **Telephone, Cable, and Internet:** Cox, Century Link/Level 3
- **Natural Gas:** City of Mesa Gas
- **Solid Waste Disposal:** Republic Services or Waste Management

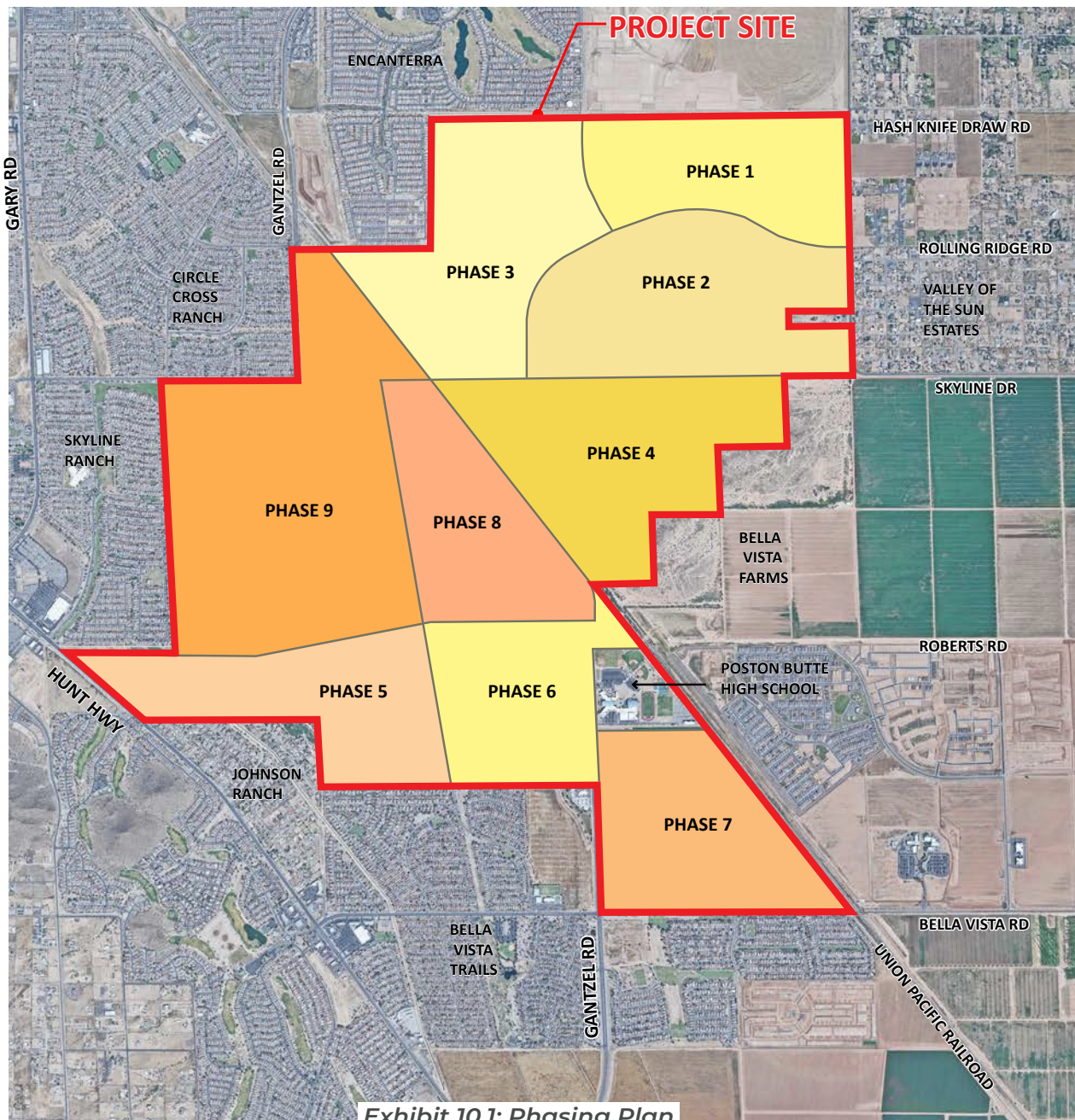
10

PHASING

10.1 PHASING PLAN

The Phasing Plan provides a conceptual snapshot of how the DAs could be developed based on assumptions to date. The Phasing Plan and development of the Site is governed by many factors including grading and drainage considerations and existing infrastructure, access, and transportation.

The provided plan is intended for reference only and may change and evolve over time based on economics, existing infrastructure, future infrastructure, existing transportation, and new transportation infrastructure. Ultimately, the phasing of development is at the discretion of the Arizona State Land Commissioner.



11

CONCLUSION

11.1 CONCLUSION STATEMENT

This proposal is seeking L-MPC zoning approval for the approximate three thousand and two hundred (3,200) acres Site strategically located in the heart of San Tan Valley. The Site benefits from its prime position along key transportation routes, making it an ideal location for a diverse mix of residential, employment, and commercial development. The L-MPC zoning designation offers flexibility in terms of land uses, density, and intensity, allowing the development to adapt and respond to the evolving needs of the community over time. This flexibility ensures the project can remain aligned with changing market conditions while fostering a cohesive and dynamic community. The vision for the development spans multiple decades, supporting a well-balanced integration of various uses that will enhance both residential and commercial growth, ultimately improving the quality of life for residents.

APPENDIX

APPENDIX

Refer to Appendix documents including:

- Example Land Use Budget Tracking Tables
- Conceptual Water Assessment Report
- Conceptual Wastewater Assessment Report
- Conceptual Drainage Assessment Report
- Master Transportation Plan
- Low Water Use, Drought Tolerant Plant List
- Greater Phoenix Metro Green Infrastructure Handbook, Low Impact Development Details for Alternative Stormwater Management



SWABACK_{pllc}
Architects + Planners

7550 E. McDonald Drive,
Scottsdale, AZ 85251

2024