



MEETING DATE: April 18, 2024

TO: Pinal County Planning & Zoning Commission

CASE NO.: **PZ-050-21 & PZ-PD-050-21 (Bella Vista Storage)**

CASE COORDINATOR: Valerie Ann Lujan

Executive Summary:

IPlan Consulting –as the agent- on behalf of landowner, El Dorado Bella Vista LLC is requesting approval of a Rezoning with PAD allow development of a self-storage (RV & boat) facility on a ± 3.64 acre parcel, located at the SE corner of E. Skyline Drive and N. Sierra Vista drive in San Tan Valley.

If This Request is Approved:

The subject parcel will gain a favorable recommendation to the Board of Supervisors (BOS) to be rezoned to C-1 w/ PAD. Proceeding BOS, the applicant will be required to complete the site plan review process in order to establish the desired use.

Staff Recommendation/Issues for Consideration/Concern:

Staff recommends approval of the Bella Vista Storage Rezone w/PAD for the subject parcel, with attached stipulations.

LEGAL DESCRIPTION: W-240' OF NW NW NW OF SEC 11-3S-8E 3.64 AC

REQUESTED ACTION & PURPOSE:

PZ-050-21 – PUBLIC HEARING/ACTION: IPlan Consulting (agent) on behalf of El Dorado Bella Vista LLC (applicant & owner), requesting approval of a Rezone of ±3.64 acres from General Rural Zoning District (GR) to Neighborhood Commercial Zoning District (C-1), to allow for the development of a self-storage facility on Tax Parcel: 210-11-0030– legals on file – situated in a portion of Section 11, Township 03 South, Range 08 East, of the G.S.R.B.&M; located at the SE corner of E. Skyline Drive and N. Sierra Vista Drive in San Tan Valley, AZ.

PZ-PD-050-21 – PUBLIC HEARING/ACTION: IPlan Consulting (agent) on behalf of El Dorado Bella Vista LLC (applicant & owner), requesting approval of a Planned Area Development Overlay District; to apply Neighborhood Commercial Zoning (C-1) PAD developments standards on ±3.64 acres to allow for the development of a self-storage facility on Tax Parcel: 210-11-0030– legals on file – situated in a portion of Section 11, Township 03 South, Range 08 East, of the G.S.R.B.&M; located at the SE corner of E. Skyline Drive and N. Sierra Vista Drive in San Tan Valley, AZ.

LOCATION:

Located at the SE corner of E. Skyline Drive and N. Sierra Vista Drive in San Tan Valley, AZ.

SIZE:

±3.64 acres

COMMUNITY DEVELOPMENT
Planning Division

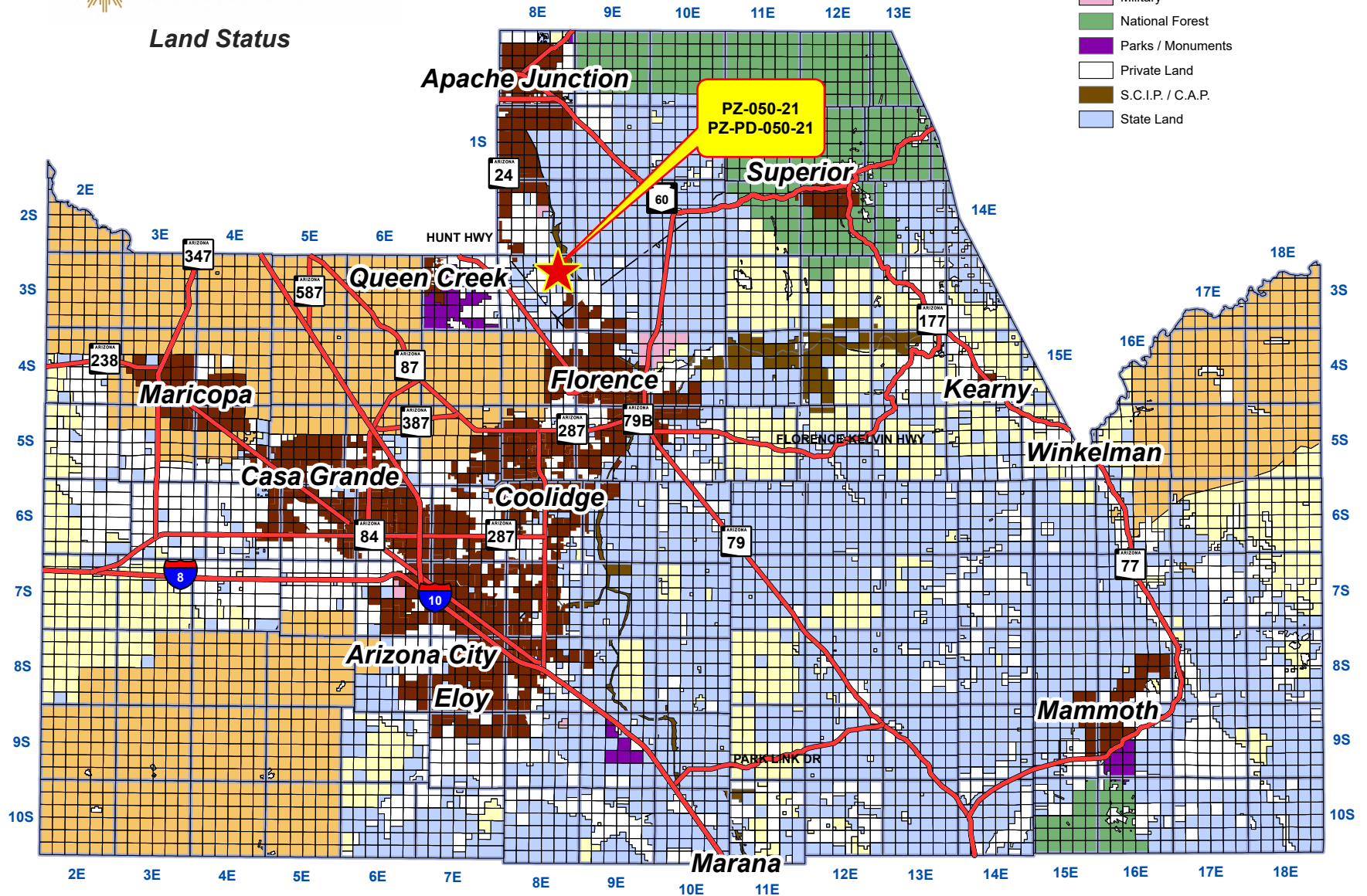


PINAL COUNTY
WIDE OPEN OPPORTUNITY

Land Status

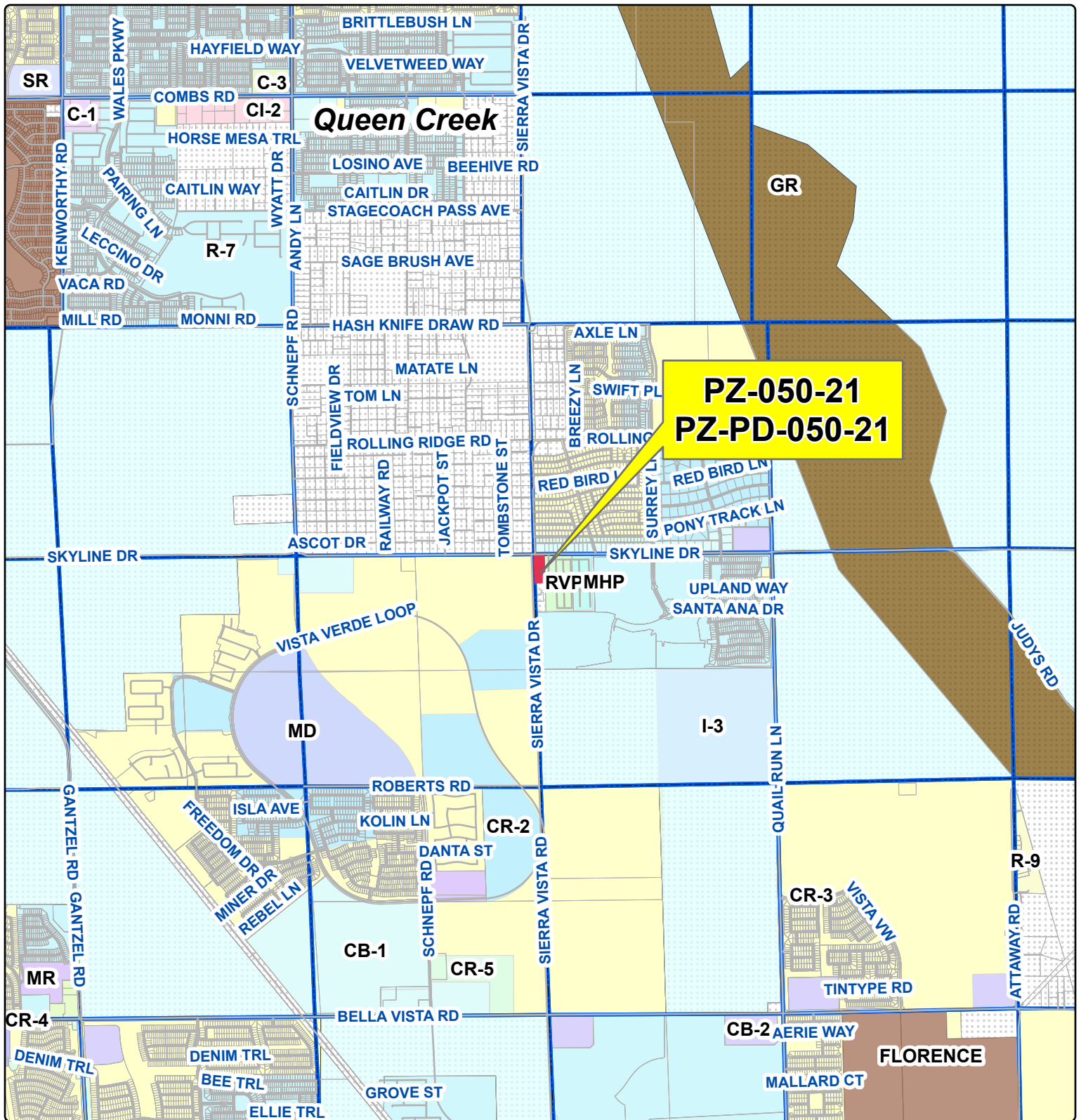
Legend

- B.L.M.
- Indian Community
- Military
- National Forest
- Parks / Monuments
- Private Land
- S.C.I.P. / C.A.P.
- State Land





Community Development



Community Development



PINAL COUNTY
WIDE OPEN OPPORTUNITY

Legal Description:

Situated in a portion of Section 11, Township 03 South, Range 08 East, of the G.S.R.B.&M; located at the SE corner of E. Skyline Drive and N. Sierra Vista Drive in San Tan Valley, AZ.

SEC 11, TWN 03S, RNG 08E



Sheet No.

1 of 1

Owner/Applicant: IPLAN CONSULTING
EL DORADO BELLA VISTA LLC

Drawn By: GIS / IT / LJT

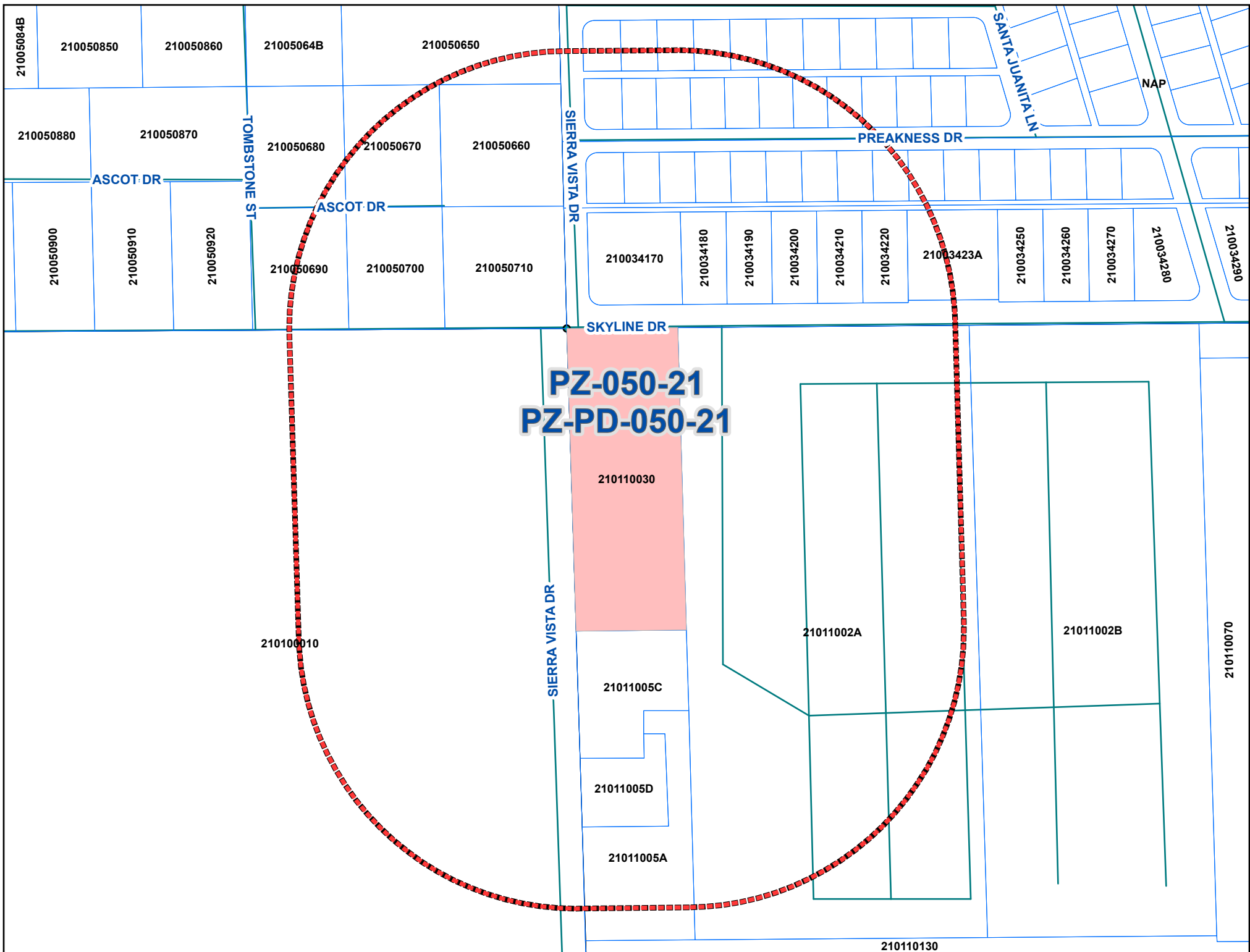
Date: 03/07/2024

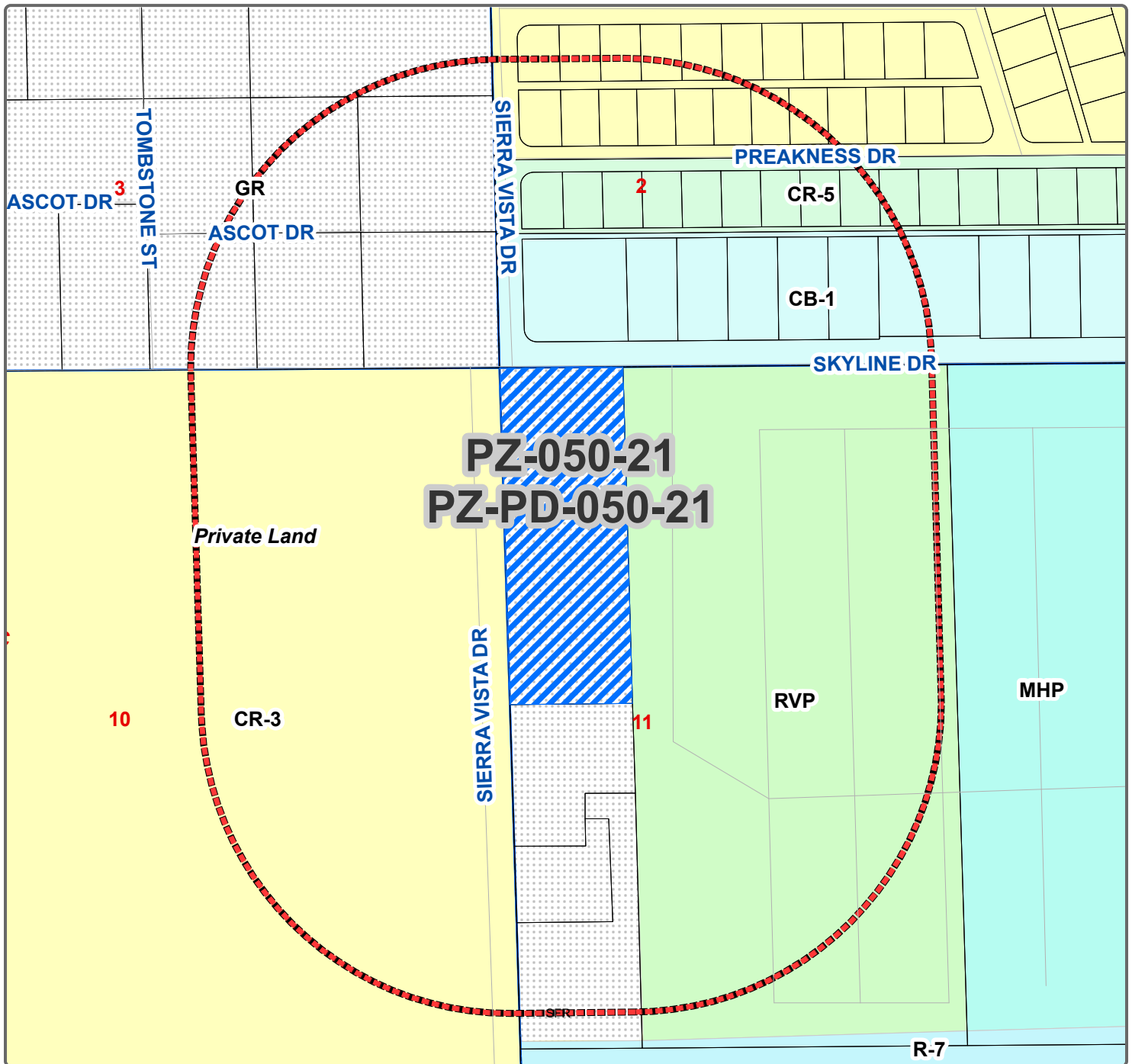
Section 11

Township 03S

Range 08E

Case Number: PZ-050-21, PZ-PD-050-21





Community Development

PZ-050-21 – PUBLIC HEARING/ACTION: IPlan Consulting (agent) on behalf of El Dorado Bella Vista LLC (applicant & owner), requesting approval of a Rezone of ±3.64 acres from General Rural Zoning District (GR) to Neighborhood Commercial Zoning District (C-1), to allow for the development of a self-storage facility on Tax Parcel: 210-11-0030—legals on file – situated in a portion of Section 11, Township 03 South, Range 08 East, of the G.S.R.B.&M; located at the SE corner of E. Skyline Drive and N. Sierra Vista Drive in San Tan Valley, AZ.

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Current Zoning: GR

Requested Zoning: Rezone w/ PAD

Current Land Use: STV-AP



PINAL COUNTY
WIDE OPEN OPPORTUNITY

Legal Description:

Situated in a portion of Section 11, Township 03 South, Range 08 East, of the G.S.R.B.&M; located at the SE corner of E. Skyline Drive and N. Sierra Vista Drive in San Tan Valley, AZ.

SEC 11, TWN 03S, RNG 08E



Owner/Applicant: IPLAN CONSULTING EL DORADO BELLA VISTA LLC		
Drawn By: GIS / IT /LJT	Date: 03/07/2024	
Section 11	Township 03S	Range 08E
Case Number: PZ-050-21, PZ-PD-050-21		

Sheet No.
1 of 1

COMPREHENSIVE PLAN:

The current land use designation for the subject property is Suburban Neighborhood per the San Tan Valley Special Area Plan (STV-AP), and will remain unchanged as a land use request is not part of this submission.

EXISTING ZONING AND LAND USE:

The subject parcels are currently General Rural (GR), and is undeveloped.

SURROUNDING ZONING AND LAND USE:

North: Local Business Zone (CB-1); vacant parcels along with a market and food establishment

South: General Rural (GR); extension to Skyline RV Park

East: Recreational Vehicle Park Zone (RVP) Manufactured Home Park Zone (MHP); Skyline RV Park

West: CR-3 PAD (Single Residence Zone); planned subdivision (Bella Vista Farms)

PUBLIC PARTICIPATION:

Neighborhood Meeting: October 25, 2021

Property mail out, Applicant: March 15, 2024

Newspaper Advertising: March 28, 2024

Site Posting, Applicant: March 20, 2024

Site Posting, County: March 28, 2024

FINDINGS/SITE DATA:

Flood Zone: The project site is In Flood Zone X - an area that is determined to be outside the 1% and 0.2% probability of flooding (formerly and commonly known as the “100-year floodplain”). No immediate issues that would ascertain an unfavorable recommendation are apparent regarding Flood Control. Applicant has provided a Preliminary Drainage Report and has been afforded comments from Flood Control, which are required to be adhered to at the Site Plan Review level. As so, a stipulation regarding this requirement is listed at the end of this report.

Access: The subject parcel is afforded legal access off of Skyline Drive. A Traffic Impact Statement (TIS) has been provided by the Applicant, and has been reviewed by County Engineering. Expectations have been communicated with the Applicant regarding required revisions at the Site Plan Review level. Engineering did not identify any immediate issues regarding the subject site at the Rezone level. To ensure all requirements regarding traffic, improvements, etc. are met stipulations have been provided and can be referenced at the end of this report.

Site History: Any significant historical documentation regarding land use and/or zoning for the subject parcel was unfound. The parcel is currently zoned General Rural (GR), which is considered the County’s base zone. This zoning has been maintained as no records were found to prove otherwise.

Of significance includes this project being within the County’s radar for a few years. The Applicant had initially approached the County with this project in 2021, but delayed in respect for County’s perspective until road improvements were made to the area that would better support this project type. The subject site is owned by the same developer of the adjacent Bella Vista Subdivision, and finds this project to be timely to support the needs of that influx of people as well as the existing community.

ANALYSIS:***Rezoning w/PAD***

The owner (El Dorado Bella Vista LLC) intends to rezone 3.64± acres from GR (General Rural) to C-1 (Neighborhood Commercial), with the specific use being a self-storage and RV/boat storage facility. Staff offers the below analysis referencing policy documents, which support the recommendation of approval.

The land use designation is set by the San Tan Valley Special Area Plan (STV-AP), and is Suburban Neighborhood. Whereas as land use change would be required for such project, Staff opted to utilize the flexibilities provisions within the PAD Chapter of County Code. In doing so, we are able to uphold a major consideration declared within the STV-AP which is to *work within existing permitted, vested, or proposed developments that support the preferred land use vision*.¹ Utilizing the PAD, Staff is able to accommodate the proposal while also preventing an unnecessary land use change and making the site more susceptible to undesirable uses that would otherwise not meet the intent of the long-range vision for this area as determine by the STV-AP.

A Rezone is required of this project because the proposed use is not supported in the zoning category of which the site is positioned in – GR general Rural. As stated in County Code, the proposed rezone district of C-1 Neighborhood Commercial is intended to provide for limited commercial uses that of which are in close proximity to residential development and to serve a more localized need.² The requested rezone would welcome a commercial use that is complementary to the surrounding uses and is beneficial to the community/neighborhood.

The STV-AP is very specific in which zoning categories is compatible per land use designation. The existing land use designation of Suburban Neighborhood allows for uses within C-1 (Neighborhood Commercial) zoning; which includes the use conveyed of this proposal. Per Section 2.175.030 of the PAD Overlay Chapter of County Code, it is afforded to change various aspects of development design standards. Through the PAD associated with this project, the development deviations include the following:

- 1) Development of 3.64 acre parcel (3 acre currently allowed);
- 2) Increase of density: FAR (0.83 proposed vs. 0.35 allowed); and
- 3) 2-story development (1 story is currently allowed).

Staff finds that with this approach the proposal is congruent to the STV-AP and complementary to the existing, surrounding development, and a suitable fit for future use projections.

COMMENTS

To date, the County has received one inquiry for this project. The letter asks that the Commission and Applicant recognize that this project will be a first major commercial development in the area, and as so should be held to set the standard for a quality development. Specifically, the inquiry called out attractive, water wise landscaping for a great street appearance, as well as solid screening walls to minimize any unsightly appearance. Staff engaged with this inquirer via phone and expressed that design standards as such are further reviewed at the site plan review process, but that the project is going to be required to have a block wall, and that the Applicant has provided landscaping plans.

PLANNING AND ZONING COMMISSION

At the public hearing, the Commission needs to be satisfied that the health, safety, and welfare of the County and adjacent properties will not be negatively impacted by this rezoning. Furthermore, the Commission must determine that this zone change will promote the orderly growth and economic development of the County, at this location and time, and this proposed development is compatible and consistent with the applicable goals and policies of the Pinal County Comprehensive Plan and rezone request.

THE BURDEN OF PROOF IS UPON THE APPLICANT TO PROVIDE THE NECESSARY AND REQUIRED INFORMATION AT THE PUBLIC HEARING. THE APPLICANT NEEDS TO BE PREPARED TO ADDRESS AND MITIGATE, AS APPLICABLE, THE FOLLOWING ISSUES AND CONCERNS:

¹ San Tan Valley Special Area Plan: *Implementation* p.80

² *Pinal County Development Services Code (2022)*; Chapter 2.315 §2.315.010

- A. LAND USE, PERIMETER WALLS, SIGNAGE, SETBACKS, INGRESS/EGRESS & LANDSCAPING
- B. PUBLIC SERVICES - SEWER, WATER, UTILITIES, DRAINAGE
- C. NEIGHBORHOOD IMPACT
- D. FLOOD CONTROL
- E. TRAFFIC IMPACT
- F. COMPATIBILITY/CONSISTENCY WITH PINAL COUNTY COMPREHENSIVE PLAN
- G. BENEFITS/DETRIMENTS TO PINAL COUNTY

STAFF SUMMARY:

The applicant, IPlan Consulting on behalf of landowner, El Dorado Bella Vista LLC, has submitted the proper application and evidence sufficient to warrant a staff recommendation as provided in the Ordinance. Staff provides the following findings together with the information on Page 1 of this staff report:

- 1. This land use request is for a Rezoning to C-1 w/PAD.
- 2. To date, 1 inquiry has been received for the rezone proposal.
- 3. The property has legal access.
- 4. The subject property is located within the Suburban Neighborhood land use designation of the San Tan Valley Special Area Plan of which the requested zoning is compatible with.
- 5. Granting of the rezoning will require, after the time of zoning approval, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals.

STAFF RECOMMENDATION (PZ-050-21 & PZ-PD-050-21): After a detailed review of the request, Pinal County Comprehensive Plan, and the Pinal County Development Services Code (PCDSC), staff recommends approval of this request, subject to the stipulations listed in the recommended motion.

If the Commission cannot find for all of the factors listed above, then staff recommends that the Commission forward this case to the Board of Supervisors with a recommendation of denial.

STAFF RECOMMEND MOTION (PZ-050-21 & PZ-PD-050-21): *I move the Pinal County Planning and Zoning Commission forward a recommendation of APPROVAL to the Board of Supervisors with its 16 stipulations as listed in the staff report.*

- 1. Approval of this Zone Change w/ PAD (**PZ-050-21 & PZ-PD-050-21**) will require, at the time of application for development, that the applicant/owner submit and secure from the applicable and appropriate Federal, State, County and Local regulatory agencies, all required applications, plans, permits, supporting documentation and approvals;
- 2. The applicant/property owner shall meet the requirements of the International Fire Code, as adopted by Pinal County and administered by the Pinal County Building Safety Department;
- 3. The Development Standards changed through **PZ-050-21 & PZ-PD-050-21** include only the following: 1) 3.64 maximum acre parcel for self-storage, 2) Increase of density: FAR 0.83, 3) 2-story development for main building. All other development standards are to abide by what is set forth in the underlying zoning category;
- 4. All proposed outdoor lighting must conform to the designated Lighting Zone for the Zoning District as set by requirements of the Pinal County Development Services Code;

5. The landscaping design of this project shall meet or exceed what has been provided within the **PZ-050-21 & PZ-PD-050-21** submissions (referenced as Exhibits 3-3.5), allowing only minor changes as deemed necessary at the site plan review level by Pinal County Planning Staff;
6. A 6 foot CMU wall will be required along the perimeter of the project;
7. Skyline Road has been identified as a “Route of Regional Significance”. Applicant will be required to comply with the “Regionally Significant Routes for Safety and Mobility, Final Report, December 2008” and the current “Access Management Manual” or as approved by the County Engineer;
8. Half-street right-of-way dedication will be required for Skyline Road. The required minimum half street right-of-way is Seventy-Five Feet (75’) for Skyline Road along the development’s frontage. Any additional right-of-way needed for any required infrastructure improvements, such as deceleration/turn lanes, (as identified in the approved Traffic Impact Analysis) for Skyline Road shall be the responsibility of the applicant;
9. A Traffic Impact Analysis (TIS) will be required to be submitted to the County Engineer at the time of Site Plan submittal for review and approval. All peripheral road and infrastructure improvements shall be per the approved Traffic Impact Analysis to mitigate impacts on all surrounding roadways to be completed at the developer’s cost. These may include construction of acceleration/deceleration lanes, left turn pockets, traffic signals or other public improvements as approved by the County Engineer. The TIS shall be in accordance with the current Pinal County TIS Guidelines and Procedures and shall be approved prior to the Site Plan approval;
10. Any additional right-of-way dedications needed for any required infrastructure improvements (as identified in the approved Traffic Impact Analysis) for any roadways shall be the responsibility of the applicant. All roadway and infrastructure improvements shall be in accordance with the current Pinal County Subdivision Standards or as approved by the County;
11. All right-of-way dedication shall be free and unencumbered;
12. Any roadway sections, alignments, access locations, and access movements shown in the rezoning application or PAD are conceptual only and have not been approved by the Pinal County Engineer;
13. A drainage report will be required to be submitted to the County Engineer at the time of Site Plan submittal for review and approval. The drainage report shall include a drainage plan that complies with the current Pinal County Drainage Manual and shall be approved prior to the Site Plan approval. The

approved Drainage Report and drainage plan shall include provisions to accommodate offsite runoff and shall provide retention for storm waters in an onsite retention/common retention area or as approved by the County Engineer;

14. Dust registration is required if 0.1 acres or more land is disturbed;
15. All construction activity must conform to the earthmoving activity requirements of the Pinal County Air Quality Control District; and
16. Project will be required to meet all requirements of the Pinal County Site Plan Review Process, and receive APPROVAL prior to construction of site.

If the Commission cannot find for all of the factors listed above, then staff recommends that the Commission forward this case to the Board of Supervisors with a recommendation of denial.

Date Prepared: 4/08/24 –val

Date Revised: 4/11/24 -val



APPLICATION FOR CHANGE OF ZONING REGULATIONS IN AN UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA
(All Applications Must Be Typed or Written in Ink)

Formal Zoning Change & Property Information:

(feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

1. Pinal County Staff Coordinator: Sangeeta Deokar
2. Date of Pre-application Review: 8 / 24 / 2021 Pre-Application Review No.: Z-PA-092 - 21
3. Current Zoning (*Please provide Acreage Breakdown*): GR - 3.64 acres
4. Requested Zoning (*Please provide Acreage Breakdown*): C-3 - 3.64 acres
5. Parcel Size(s): 3.64 acres
6. The existing use of the property is as follows: Vacant
7. The exact use proposed under this request: Personal Property Storage facility
8. What is the Comprehensive Plan Designation for the subject property: Proposed as Community Center
9. Is the property located within three (3) miles of an incorporated community? ☐ YES ☒ NO
10. Is an annexation into a municipality currently in progress? ☐ YES ☒ NO
11. Is there a zoning violation on the property for which the owner has been cited? ☐ YES ☒ NO
If yes, zoning violation # _____
12. Discuss any recent changes in the area that would support your application i.e.: zone change(s), subdivision approval, Planned Area Development (PAD), utility or street improvements, adopted comprehensive/area plan(s) or similar changes. The area is becoming more urbanized and needs property storage.

13. Explain why the proposed development is needed and necessary at this time. _____
Bella Vista Farms is about to develop which will bring hundreds of families into the area who will need temporary storage options. Nothing else exists nearby.

INV#: _____ AMT: _____ DATE: _____ CASE: _____ Xref: _____

COMMUNITY DEVELOPMENT
Planning Division

SUPPORTING INFORMATION

1. Note any services that are not available to the site. Discuss any improvements of services that would be paid for by the public: All services are available.

2. What is the amount of traffic to be generated (# of trips/day, deliveries/week)? Show ingress/egress on the site plan: This use sees minimal traffic. See TIS for details.

3. How many parking spaces are to be provided (employees and customers)? Indicate these parking spaces on the site plan: Five for customers. Employees park in back.

4. Is there a potential for excessive noise (I.E.; children, machinery) or the production of smoke, fumes, dust or glare with this proposed land use? If yes, how will you alleviate these problems for your neighbors?
The land use is extremely quiet.

5. What type of landscaping are you proposing to screen this use from your neighbors?
15-foot and 25-foot landscape buffers are proposed with 24" box trees planted 30-feet on center.

6. What type of signage are you proposing for the activity? Where will the signs be located?
One building mounted sign is proposed.

7. If the proposed land use involves any type of manufacturing or production process, provide a short synopsis of the processes utilizing diagrams, flowcharts and/or a short narrative: N/A

8. Explain how the appearance and operation of the proposed land use will maintain the integrity and character of the zone in which the use is requested: This project will adhere to the same architectural standards as the adjacent Bella Vista Farms.

9. Have you discussed possible conditions that may be placed on the approval with the Planning Department?
☐ YES ☒ NO
10. Do you understand that if a condition is violated, that there is a public process by which your zoning may be reverted? ☒ YES ☐ NO

I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing

El Dorado Bella Vista LLC	8501 N Scottsdale Rd, Scottsdale AZ 85253
Name of Applicant	Address

	BHinton@eldoradoholdings.net	602-955-2424
Signature of Applicant	E-Mail Address	Phone Number

Greg Davis - Iplan Consulting	3317 S. Higley Rd. #114-622 Gilbert, AZ 85297
Name of Agent/Representative	Address

	Greg@iplanconsulting.com	480-227-9850
Signature of Agent/Representative	E-Mail Address	Phone Number

The Agent/Representative has the authority to act on behalf of the landowner/applicant, which includes agreeing to stipulations. The agent will be the contact person for Planning staff and must be present at all hearings. Please use attached Agency Authorization form, if applicable.

El Dorado Bella Vista LLC	8501 N Scottsdale Rd, Scottsdale AZ 85253
Name of Landowner	Address

	BHinton@eldoradoholdings.net	602-955-2424
Signature of Landowner	E-Mail Address	Phone Number

If landowner is not the applicant, then applicant must submit a signed notarized consent form from the landowner with this application. Please use attached Consent to Permit form, if applicable.

AGENCY AUTHORIZATION

(To be completed by all landowners who do not represent themselves. Instructions for completing required information are in bold and brackets below lines. If applicant is a company, corporation, partnership, joint venture, trustee, etc., please use the corporate signature block and have the notary fill in the notarization section for corporations not individuals and cannot be submitted digitally)

TO: Pinal County Community Development
P.O. Box 2973
Florence, AZ 85232

El Dorado Bella Vista LLC (Arizona)

[Insert Name -- If a Corporation, Partnership or Association, Include State of Incorporation]

Hereinafter referred to as "Owner," is/are the owner(s) of ~4 acres located at
SEC of Skyline Drive and Sierra Vista Drive, and further identified

[Insert Address of Property]

As assessor parcel number 210110030 and legally described as follows:

[Insert Parcel Number]

Insert Legal Description Here OR Attach as Exhibit A

Said property is hereinafter referred to as the "Property."

Owner hereby appoints Iplan Consulting Corporation

[Insert Agent's Name. If the Agent Is a Company, Insert Company Name Only]

Hereinafter referred to as "Agent," to act on Owner's behalf in relation to the Property in obtaining approval from Pinal County for a minor land division and to file applications and make the necessary submittals for such approvals.

**[Individual PROPERTY OWNER signature block and acknowledgment.
DO NOT SIGN HERE IF SIGNING AS AN OFFICER OF A CORPORATION SIGN NEXT PAGE]**

[Signature]

[Signature]

[Address]

[Address]

Dated: _____

Dated: _____

STATE OF _____)

) ss.

(SEAL)

COUNTY OF _____)

The foregoing instrument was acknowledged before me, this _____ day of _____, 20____
by _____

My Commission Expires _____

Printed Name of Notary

Signature of Notary

CORPORATE PROPERTY OWNER SIGNATURE BLOCK AND ACKNOWLEDGMENT

The appropriate corporate officer or trustee signs this signature block NOT the block on the previous page

El Dorado Bella Vista LLC

[Insert Company's or Trust's Name]

By: Brad Hinto

[Signature of Authorized Officer, or Trustee]

Its: Vice President

[Insert Title]

Dated: 11/23/21

STATE OF Arizona)

) ss.

COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 23 day of Nov, 2021 by

Brad Hinto

Vice President

[Insert Signor's Name]

[Insert Title]

El Dorado Bella Vista LLC

Arizona

an,

[Name of Company or Trust]

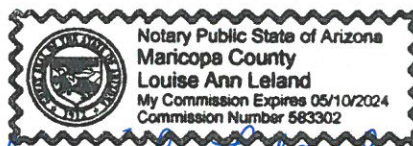
[Insert State of Incorporation, if applicable]

And who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

My Commission Expires: 5/10/24

Louise A Leland

Printed Name of Notary



Louise A Leland

Signature of Notary

ALTERNATE: Use the following acknowledgment only when a second company is signing

On behalf of the owner:

STATE OF _____)

) ss.

COUNTY OF _____)

(Seal)

The foregoing instrument was acknowledged before me, this _____ day of _____, 20____ by _____, who acknowledges himself/herself to be

[Insert Signor's Name]

_____, of _____

[Title of Office Held]

[Second Company]

As _____ for _____, and who being
[i.e. member, manager, etc.] [Owner's Name]

Authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

My Commission Expires _____

Printed Name of Notary

Signature of Notary



APPLICATION FOR PLANNED AREA DEVELOPMENT (PAD) OVERLAY DISTRICT IN AN UNINCORPORATED AREA OF
PINAL COUNTY, ARIZONA

(All Applications Must Be Typed or Written in Ink)

Formal PAD Application & Property Information:

(feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

1. Pinal County Staff Coordinator: Sangeeta Deokar
2. Date of Pre-application Review: 8 / 24 / 2021 Pre-Application Review No.: Z-PA- 092 - 21
3. Current Zoning (Please provide Acreage Breakdown): GR - 4 acres
4. Requested Zoning (Please provide Acreage Breakdown): C-3 - 4 acres
5. Parcel Size(s): 4 acres
6. The existing use of the property is as follows: vacant
7. The exact use proposed under this request: Personal property storage facility
8. What is the Comprehensive Plan Designation for the subject property: Proposed Community Center
9. Is the property located within three (3) miles of an incorporated community? ☐ YES ☒ NO
10. Is an annexation into a municipality currently in progress? ☐ YES ☒ NO
11. Is there a zoning violation on the property for which the owner has been cited? ☐ YES ☒ NO
If yes, zoning violation # _____
12. Is this a major PAD Amendment request (no zone accompanying change)? ☐ YES ☒ NO If yes what was the previous PAD case number PZ-PD- _____
13. Discuss any recent changes in the area that would support your application i.e.: zone change(s), subdivision approval, Planned Area Development (PAD), utility or street improvements, adopted comprehensive/area plan(s) or similar changes. The area is continuing to grow and needs closer storage options

14. Explain why the proposed development is needed and necessary at this time. Now is appropriate timing as Bella Vista Farms is just starting to develop.

INV#: _____ AMT: _____ DATE: _____ CASE: _____ Xref: _____

COMMUNITY DEVELOPMENT
Planning Division

I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed. All notices will be sent to the applicant unless otherwise directed in writing

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P.O. Box 2973
Florence, AZ 85232

El Dorado Bella Vista LLC (Arizona)

[Insert Name -- If a Corporation, Partnership or Association, Include State of Incorporation]

Hereinafter referred to as "Owner," is/are the owner(s) of ~4 acres located at
SEC of Skyline Drive and Sierra Vista Drive, and further identified

[Insert Address of Property]

As assessor parcel number 210110030 and legally described as follows:

[Insert Parcel Number]

Insert Legal Description Here OR Attach as Exhibit A

Said property is hereinafter referred to as the "Property."

Owner hereby appoints Iplan Consulting Corporation

[Insert Agent's Name. If the Agent Is a Company, Insert Company Name Only]

Hereinafter referred to as "Agent," to act on Owner's behalf in relation to the Property in obtaining approval from Pinal County for a minor land division and to file applications and make the necessary submittals for such approvals.

**[Individual PROPERTY OWNER signature block and acknowledgment.
DO NOT SIGN HERE IF SIGNING AS AN OFFICER OF A CORPORATION SIGN NEXT PAGE]**

[Signature]

[Signature]

[Address]

[Address]

Dated: _____

Dated: _____

STATE OF _____)

) ss.

(SEAL)

COUNTY OF _____)

The foregoing instrument was acknowledged before me, this _____ day of _____, 20____
by _____

My Commission Expires _____

Printed Name of Notary

Signature of Notary

CORPORATE PROPERTY OWNER SIGNATURE BLOCK AND ACKNOWLEDGMENT

The appropriate corporate officer or trustee signs this signature block NOT the block on the previous page

El Dorado Bella Vista LLC
[Insert Company's or Trust's Name]

By: Brad Hinto
[Signature of Authorized Officer, or Trustee]

Its: Vice President
[Insert Title]

Dated: 11/23/21

STATE OF Arizona)
) ss.

COUNTY OF Maricopa)

The foregoing instrument was acknowledged before me, this 23 day of Nov, 2021 by

Brad Hinto, Vice President
[Insert Signor's Name] [Insert Title]

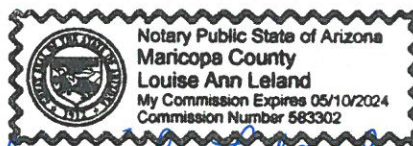
El Dorado Bella Vista LLC, Arizona an,
[Name of Company or Trust] [Insert State of Incorporation, if applicable]

And who being authorized to do so, executed the foregoing instrument on behalf of said entity for the purposes stated therein.

My Commission Expires: 5/10/24

Louise A Leland

Printed Name of Notary



Louise A Leland

Signature of Notary

ALTERNATE: Use the following acknowledgment only when a second company is signing

On behalf of the owner:

STATE OF _____)
) ss.

COUNTY OF _____)

(Seal)

The foregoing instrument was acknowledged before me, this _____ day of _____, 20____ by _____, who acknowledges himself/herself to be

[Insert Signor's Name]

_____, of _____
[Title of Office Held] [Second Company]

As _____ for _____, and who being
[i.e. member, manager, etc.] [Owner's Name]

Authorized to do so, executed the foregoing instrument on behalf of said entities for the purposes stated therein.

My Commission Expires _____

Printed Name of Notary

Signature of Notary



April 01, 2024

Mr. Gilbert Olgin
Planning Manager
Pinal County

Re: Bella Vista Storage – Rezoning – PZ-050-21

Mr. Olgin,

Please accept this letter as our formal request to modify our rezoning application request, PZ-025-21, from C-3 PAD to the C-1 PAD as recommended by Staff which is permitted under the current Comprehensive Plan land use classification of Suburban Neighborhood. Please let me know if you have any questions on the matter.

On behalf of El Dorado Bella Vista, LLC,

Greg Davis
Applicant Representative

Exhibit "A"

Parcel No. 1:

The West Half of the Northeast Quarter of Section 15, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona; except 1/16 of all gas, oil, metals and other minerals as reserved in patent from the State of Arizona

Parcel No. 2:

The East Half of Section 10, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona; except all gas, oil, metals and other minerals as reserved in patent from the State of Arizona.

Parcel No. 3:

The West 240 feet of the Northwest Quarter of the Northwest Quarter of the Northwest Quarter of Section 11, Township 3 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.

AFFIDAVIT OF PROPERTY VALUE

1. ASSESSOR'S PARCEL IDENTIFICATION NUMBER(s)

Primary Parcel: 210-10-0010

BOOK MAP PARCEL SPLIT LETTER

Does this sale include any parcels that are being split / divided?

Check one: Yes ☐ No ☒

How many parcels, other than the Primary Parcel, are included in this sale? 3

Please list the additional parcels below (no more than four):

210-10-002A 210-11-003

210-15-001B

FOR RECORDER'S USE ONLY

PINAL COUNTY

DATE/TIME: 12/21/2012 1158

FEE NUMBER: 2012-109709

2. SELLER'S NAME AND ADDRESS:

Bella Sierra LLC

4159 West Milky Way
Chandler, AZ 85226

3. BUYER'S NAME AND ADDRESS:

El Dorado Bella Vista LLC

426 N. 44th Street Ste. 100
Phoenix, AZ 85008

(b) Are the Buyer and Seller related? Yes ☐ No ☒

If Yes, state relationship:

4. ADDRESS OF PROPERTY:

W of SWC Skyline Dr. & Sierra Vista Dr. Pinal County
SEC Skyline Dr. & N. Sierra Vista Dr. Pinal County

5. MAIL TAX BILL TO:

Buyer at above 3(a)

6. PROPERTY TYPE (for Primary Parcel): NOTE: Check Only One Box

- a. ☐ Vacant Land f. ☐ Commercial or Industrial Use
b. ☐ Single Family Residence g. ☒ Agricultural
c. ☐ Condo or Townhouse h. ☐ Mobile or Manufactured Home
d. ☐ 2-4 Plex i. ☐ Other Use; Specify:
e. ☐ Apartment Building

7. RESIDENTIAL BUYER'S USE: If you checked b, c, d or h in Item 6 above, please check one of the following:

- ☐ To Be used as a primary residence ☐ Owner occupied, not a primary residence
☐ To be rented to someone other than a "family member."

See second page for definition of a "family member."

8. If you checked e or f in Item 6 above, indicate the number of units:

For Apartmentx, Motels/Hotels, Mobile Home/RV Parks,, etc.

9. TYPE OF DEED OR INSTRUMENT (Check Only One Box):

- a. ☐ Warranty Deed d. ☐ Contract or Agreement
b. ☒ Special Warranty Deed e. ☐ Quit Claim Deed
c. ☐ Joint Tenancy Deed f. ☐ Other:

10. SALE PRICE: \$14,839,781.77

11. DATE OF SALE (Numeric Digits): 12 / 21 / 12
Month / Year

12. DOWN PAYMENT: \$0.00

13. METHOD OF FINANCING:

- a. ☒ Cash (100% of Sale Price) c. ☐ New loan(s) from financial institution:
b. ☐ Barter or trade (1) ☐ Conventional
c. ☐ Assumption of existing loan(s) (2) ☐ VA
d. ☐ Seller Loan (Carryback) (3) ☐ FHA
f. ☐ Other financing; Specify:

14. PERSONAL PROPERTY (see second page for definition):

- (a) Did the Sale Price in Item 10 include Personal Property that impacted the Sale Price by 5% or more? Yes ☐ No ☒
(b) If Yes, provide the dollar amount of the Personal Property:

\$0.00 00 AND

briefly describe the
Personal Property: NA

15. PARTIAL INTEREST: If only a partial ownership interest is being sold,

briefly describe the partial interest: NA

16. SOLAR / ENERGY EFFICIENT COMPONENTS:

- (a) Did the Sale Price in Item 10 include solar energy devices, energy efficient building components, renewable energy equipment or combined heat and power systems that impacted the Sale Price by 5% or more? Yes ☐ No ☒
If Yes, briefly describe the solar / energy efficient components:

17. PARTY COMPLETING AFFIDAVIT (Name, Address, Phone):

THOMAS TITLE & ESCROW, LLC
16435 N. Scottsdale Rd., Ste. 405, Scottsdale, AZ-85254
Phone (480) 222-1116

18. LEGAL DESCRIPTION (attach copy if necessary):

See Exhibit "A" attached hereto and made a part hereof

THE UNDERSIGNED BEING DULY SWORN, ON OATH, SAYS THAT THE FOREGOING INFORMATION IS A TRUE AND CORRECT STATEMENT OF THE FACTS PERTAINING TO THE TRANSFER OF THE ABOVE DESCRIBED PROPERTY.

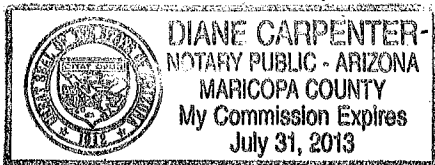
Signature of Seller/Agent

State of Arizona, County of Maricopa

Subscribed and sworn to before me on this 21 day of Dec 2012

Notary Public

Notary Expiration Date



Signature of Buyer/Agent

State of Arizona, County of Maricopa

Subscribed and sworn to before me on this 21 day of Dec 2012

Notary Public

Notary Expiration Date

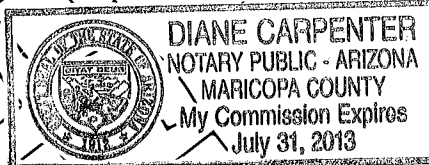


EXHIBIT A

PARCEL NO. 1:

THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

EXCEPT 1/16 OF ALL GAS, OIL, METALS AND OTHER MINERALS AS RESERVED IN PATENT FROM THE STATE OF ARIZONA.

PARCEL NO. 2:

THE EAST HALF OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

EXCEPT ALL GAS, OIL, METALS AND OTHER MINERALS AS RESERVED IN PATENT FROM THE STATE OF ARIZONA.

PARCEL NO. 3:

THE WEST 240 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

SPECIAL REPORT

SCHEDULE A

First Amended

1. ☐ This report is for informational purposes only and is not to be considered as a commitment to issue any form of Title Insurance Policy. This report is for the sole use and benefit of the parties set forth in Number 2 below and liability is hereby limited to the amount of the fee paid.

This report was prepared from only those items of public record shown in the title plant indices of the issuing company to show the condition of title as reflected by same. Those items to which the hereinafter described land is subject are set forth in Schedule B, Part Two. No attempt has been made to reflect the condition of title relating to the items set forth in Schedule B, Part One.

2. ☐ For the use and benefit of:

El Dorado Bella Vista LLC

3. ☐ The Title to the fee estate in the land described herein is at this date hereof vested in:

El Dorado Bella Vista LLC, an Arizona limited liability company

4. ☐ The land referred to in this report is situated in Pinal County, Arizona, and is described as:

SEE EXHIBIT "A" ATTACHED HEREIN

Search made to February 21, 2024 at 7:30 A.M.

FIRST AMERICAN TITLE INSURANCE COMPANY

By: Mike S. Jones/smr (602)567-8149

EXHIBIT "A"

THE WEST 240 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT
RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

SCHEDULE B**PART ONE:**

1. ☐ Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.

Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. ☐ Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or by making inquiry of persons in possession thereof.
3. ☐ Easements, liens, or encumbrances, or claims thereof, which are not shown by the public records.
4. ☐ Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. ☐ (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water; whether or not the aforementioned matters excepted are shown by the public records.
6. ☐ Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
7. ☐ Lack of a right of access to and from the land.

SCHEDULE B
First Amended

(All recording data refers to records in the office of the County Recorder in the County in which the land is situated.)

EXCEPTIONS:

1. ☐ Second installment of 2023 taxes, a lien, payable on or before March 1, 2024, and delinquent May 1, 2024.

Taxes for the full year of 2024.

(The first half is due October 1, 2024 and is delinquent November 1, 2024. The second half is due March 1, 2025 and is delinquent May 1, 2025 .)

2. ☐ Any charge upon said land by reason of its inclusion in Central Arizona Water Conservation District.
3. ☐ Any charge upon said land by reason of its inclusion in Central Arizona Groundwater Replenishment District.
4. ☐ Any charge upon said land by reason of its inclusion in New Magma Irrigation and Drainage District.
5. ☐ An easement for gas pipe line and incidental purposes in the document recorded as Book 85 of Deeds, Page 130 and in Book 85 of Deeds Page 131.
6. ☐ An easement for public highway and incidental purposes in the document recorded as Docket 163, Page 279.
7. ☐ The terms and provisions contained in the document entitled "Notice of Certificated Water Service Area" recorded November 13, 1996 as 1996-037834 of Official Records.
8. ☐ Case No. PZ-PD-016-98 Planned Area Development Overlay District Resolution recorded in 1998-042797 of Official Records.
9. ☐ Case No. PX-016-98 Zone Change Resolution recorded as 1998-042798 of Official Records.
10. ☐ All matters as set forth in State of Arizona Department of Water Resources Certificate of Assured Water Supply, recorded July 10, 2006 as 2006-097299 of Official Records.
11. ☐ The terms and provisions contained in the document entitled "Donation Agreement" recorded October 25, 2006 as 2006-148393 of Official Records.

Assignment and Assumption of Donation Agreement recorded August 15, 2019 as 2019-066753 of Official Records.

12. ☐ All matters as set forth in Results of Survey, recorded as 2010-013403 of Record of Survey.
13. ☐ All matters as set forth in Record of Survey, recorded as 2015-072102 of Record of Survey.

14. ☐ We find no outstanding voluntary liens of record affecting subject property. An inquiry should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any security interest in the subject property.
15. ☐ Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act, 1930 (7 U.S.C. §§499a, et seq.) or the Packers and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

Consideration for the deletion of this exception is highly fact intensive. Please contact the underwriter assigned to your file as soon as possible to discuss.

16. ☐ Water rights, claims or title to water, whether or not shown by the public records.

End of Schedule B

First American Title Insurance Company National Commercial Services



The First American Corporation

PRIVACY POLICY

We Are Committed to Safeguarding Customer Information

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information - particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information you provide to us. Therefore, together with our parent company, The First American Corporation, we have adopted this Privacy Policy to govern the use and handling of your personal information.

Applicability

This Privacy Policy governs our use of the information which you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from public records or from another person or entity. First American has also adopted broader guidelines that govern our use of personal information regardless of its source. First American calls these guidelines its Fair Information Values, a copy of which can be found on our web site at www.firstam.com.

Types of Information

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- ☐ Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means;
- ☐ Information about your transactions with us, our affiliated companies, or others; and
- ☐ Information we receive from a consumer reporting agency.

Use of Information

We request information from you for our own legitimate business purposes and not for the benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis. We may also provide all of the types of nonpublic personal information listed above to one or more of our affiliated companies. Such affiliated companies include financial services providers, such as title insurers, property and casualty insurers, and trust and investment advisory companies, or companies involved in real estate services, such as appraisal companies, home warranty companies, and escrow companies. Furthermore, we may also provide all information we collect, as described above, to companies that perform marketing services on our behalf, on behalf of our affiliated companies, or to other financial institutions with whom we or our affiliated companies have joint marketing agreements.

Former Customers

Even if you are no longer our customer, our Privacy Policy will continue to apply.

Confidentiality and Security

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products and services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy and First American's Fair Information Values. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

DWG: F:\Projects\012-2691__SRV\ALTA\12-2691 ALTA.dwg USER: evincent
DATE: Dec 18, 2012 3:23pm XREFS: EDWARD_VINCENT_LS_AZ

- SECOND INSTALLMENT OF 2012 TAXES, A LIEN, PAYABLE ON OR BEFORE MARCH 1, 2013 AND DELINQUENT MAY 1, 2013.
[THIS ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
2. RESERVATIONS OR EXCEPTIONS IN PATENTS, OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF.
[THIS ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
3. THE RIGHT TO ENTER UPON THE LAND AND PROSPECT FOR AND REMOVE ALL COAL, OIL, GAS, MINERALS OR OTHER SUBSTANCES, AS RESERVED IN THE PATENT TO SAID LAND.
[THIS ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, AND AGREEMENTS, COVENANTS, CONDITIONS OR RIGHTS INCIDENT THERETO, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THIS EXCEPTION IS NOT LIMITED BY REASON OF DISCLOSURE OF ANY MATTER RELATING TO WATER RIGHTS AS MAY BE SET FORTH ELSEWHERE IN SCHEDULE B.
[THIS ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
5. ANY CHARGE UPON THE LAND BY REASON OF ITS INCLUSION IN CENTRAL ARIZONA WATER CONSERVATION DISTRICT; NEW MAGMA IRRIGATION AND DRAINAGE DISTRICT AND PINAL COUNTY FLOOD CONTROL DISTRICT.
[THIS ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
6. AN EASEMENT FOR PIPE LINE AND ROAD AND INCIDENTAL PURPOSES RECORDED AS BOOK 85 OF DEEDS, PAGE 130 AND 131, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 3)
[THE DESCRIPTION IS BLANKET IN NATURE AND THE ONLY GAS LINE FOUND WAS 0.5 MILES EAST OF PARCEL 3].
7. AN EASEMENT FOR ELECTRIC TRANSMISSION LINE WITH DOWN-GUYS AND ANCHORS AND INCIDENTAL PURPOSES RECORDED AS DOCKET 53, PAGE 187, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 2) [EASEMENT IS OF INDETERMINATE WIDTH]
8. AN EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES RECORDED AS DOCKET 53, PAGE 590, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 2)
9. AN EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES RECORDED AS DOCKET 163, PAGE 279, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 3)
10. INTENTIONALLY OMITTED
11. AN EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES RECORDED AS DOCKET 327, PAGE 341, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 2)
12. AN EASEMENT FOR HIGHWAY AND INCIDENTAL PURPOSES RECORDED AS DOCKET 403, PAGE 392, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 1) [DOES NOT AFFECT SUBJECT PARCEL]
13. AN EASEMENT FOR TRANSMISSION LINE AND INCIDENTAL PURPOSES RECORDED AS DOCKET 718, PAGE 294, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 1)
14. ALL MATTERS AS SET FORTH IN AGREEMENT RELATING TO EXERCISE OF RESERVED RIGHT OF WAY, RECORDED JANUARY 16, 1985, AS DOCKET 1350, PAGE 644, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 2)
15. AN EASEMENT FOR UNDERGROUND POWER AND INCIDENTAL PURPOSES RECORDED AS 2000-000528, OF OFFICIAL RECORDS. (AFFECTS PARCEL NO. 3)
[DOES NOT AFFECT SUBJECT PARCEL].
16. ALL MATTERS AS SET FORTH IN PINAL COUNTY RESOLUTION NO. 83000-GP, RECORDED OCTOBER 13, 2000, AS 2000-042583, OF OFFICIAL RECORDS.
[AFFECTS ALL PARCELS. ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
17. ALL MATTERS AS SET FORTH IN PINAL COUNTY ORDINANCE NO. 120000-BS (RESIDENTIAL FIREPLACE RESTRICTIONS), RECORDED JANUARY 5, 2001, AS 2001-000756, OF OFFICIAL RECORDS. [AFFECTS ALL PARCELS. ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
18. THE EFFECT OF INCLUSION WITHIN THE FLOOD CONTROL DISTRICT OF SAID COUNTY AS DISCLOSED BY INSTRUMENT RECORDED AS 2011-016507, OF OFFICIAL RECORDS.
[AFFECTS PARCELS 2 AND 3. ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
19. ALL MATTERS AS SET FORTH IN TOLLING AGREEMENT, RECORDED, AS 2011-42464, OF OFFICIAL RECORDS. [AFFECTS ALL PARCELS. ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
20. THE EFFECT OF A RECORD OF SURVEY MAP PURPORTING TO SHOW THE LAND RECORDED AS 2011-92540 OF OFFICIAL RECORDS, (AFFECTS PARCEL NO. 1 AND 2)
[ITEM HAS NO IMPACT AND SHOWS NO ADDITIONAL EASEMENTS THAT AFFECT THIS SURVEY]
21. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT WOULD BE DISCLOSED BY A CORRECT ALTA/ACSM SURVEY.
[REFERS TO THIS SURVEY]
22. ANY FACTS ABOUT THE LAND THAT AN INSPECTION OR INQUIRY OF PARTIES IN POSSESSION WOULD DISCLOSE AND THAT ARE NOT SHOWN BY THE PUBLIC RECORDS.
[ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]
23. ANY RIGHTS, INTEREST OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS. NOTE: THIS MATTER WILL BE MORE FULLY SET FORTH OR DELETED UPON COMPLIANCE WITH THE APPLICABLE REQUIREMENT.
[THIS ITEM IS LEGAL IN NATURE AND CANNOT BE SHOWN GRAPHICALLY.]

PARCEL NO. 1:

THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

EXCEPT 1/16 OF ALL GAS, OIL, METALS AND OTHER MINERALS AS RESERVED IN PATENT FROM THE STATE OF ARIZONA.

PARCEL NO. 2:

THE EAST HALF OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

EXCEPT ALL GAS, OIL, METALS AND OTHER MINERALS AS RESERVED IN PATENT FROM THE STATE OF ARIZONA.

PARCEL NO. 3:

THE WEST 240 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

1. THE TERM "ITEM" AS USED HEREIN, IS ONLY USED TO IDENTIFY NUMBERS IN NOTES – SCHEDULE B, PART 2.
2. PER ARIZONA REVISED STATUTES 32–151. THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR FINDINGS THAT ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.
3. ONLY THOSE EASEMENTS AND EXCEPTIONS SHOWN IN THE COMMITMENT FOR TITLE INSURANCE TITLE NO. 121769–33 FIRST AMENDED DATED NOVEMBER 23, 2012, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WERE CONSIDERED FOR THIS SURVEY AND AN INDEPENDENT TITLE SEARCH BY OLSSON ASSOCIATES OR THE CERTIFYING SURVEYOR WAS NOT PERFORMED.
4. THE BASIS OF BEARING IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 8 EAST OF THE GLA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA. SAID LINE HAVING A BEARING OF N89°40'04"E.
5. PROPERTY ADDRESS IS 34220 N. SIERRA VISTA DRIVE, SANTAN VALLEY, ARIZONA PER THE ASSESSORS RECORDS OF PINAL COUNTY, ARIZONA. (TABLE A, ITEM 2).
6. THE SURVEYED PROPERTY IS LOCATED IN FLOOD ZONE X. ZONE X IS IDENTIFIED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE ABOVE INFORMATION IS ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 04021C0475E, HAVING AN EFFECTIVE DATE OF DECEMBER 4, 2007. (TABLE A, ITEM 3.)
7. IN REGARDS TO AREA, GROSS AREA IS THE ENTIRE PARCEL, NET AREA IS THE ENTIRE PARCEL LESS ANY ROAD RIGHTS OF WAY.

PARCEL 1,	GROSS AREA = 3,586,007 SQUARE FEET OR 82.3234 ACRES, NET AREA IS THE SAME.
PARCEL 2	GROSS AREA = 14,397,080 SQ. FT. OR 330.572 ACRES
	NET AREA = 14,179,768 SQUARE FEET OR 325.523 ACRES
PARCEL 3	GROSS AREA = 158,935 SQUARE FEET OR 3.649 ACRES
	NET AREA = 149,333 SQUARE FEET OR 3.428 ACRES
TOTAL	GROSS AREA = 18,142,022 SQUARE FEET OR 416.483 ACRES
	NET AREA = 17,915,108 SQUARE FEET OR 411.274 ACRES



TO: EL DORADO BELLA VISTA, LLC, AN ARIZONA LIMITED LIABILITY COMPANY
BELLA SIERRA, LLC, AN ARIZONA LIMITED LIABILITY COMPANY.
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8 & 11(g) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 07, 2012.















DATE OF PLAT OR MAP: DECEMBER 12, 2012.

[illegible]

OLSSON[®]
ASSOCIATES

7250 North 16th Street, Suite 210
Phoenix, AZ 85020-5282
TEL 602.748.1000
FAX 602.748.1001
www.ollissonassociates.com



_____	SECTION LINE
_____	QUARTER SECTION LINE
_____	SIXTEENTH SECTION LINE
_____	PROPERTY LINE
_____	OFFSITE PROPERTY LINE
-----	EASEMENT LINE (AS NOTED)
_____ P-OH _____	OVERHEAD POWER
  	PROPERTY CORNER FOUND (AS NOTED)
	SCHEDULE B ITEM
	BOLLARD
	SIGN
	WATER WELL
	WATER VALVE
	TELEPHONE PEDESTAL
	TRANSFORMER
	ELECTRIC BOX
	ELECTRIC CABINET
	ABANDONED POWER POLE
	GUY WIRE

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ALTA/ACSM LAND TITLE SURVEY	
PORTIONS OF SECTIONS 10, 11 & 15, T. 3 S., R.4 E., G&SRM, PINAL COUNTY, ARIZONA	

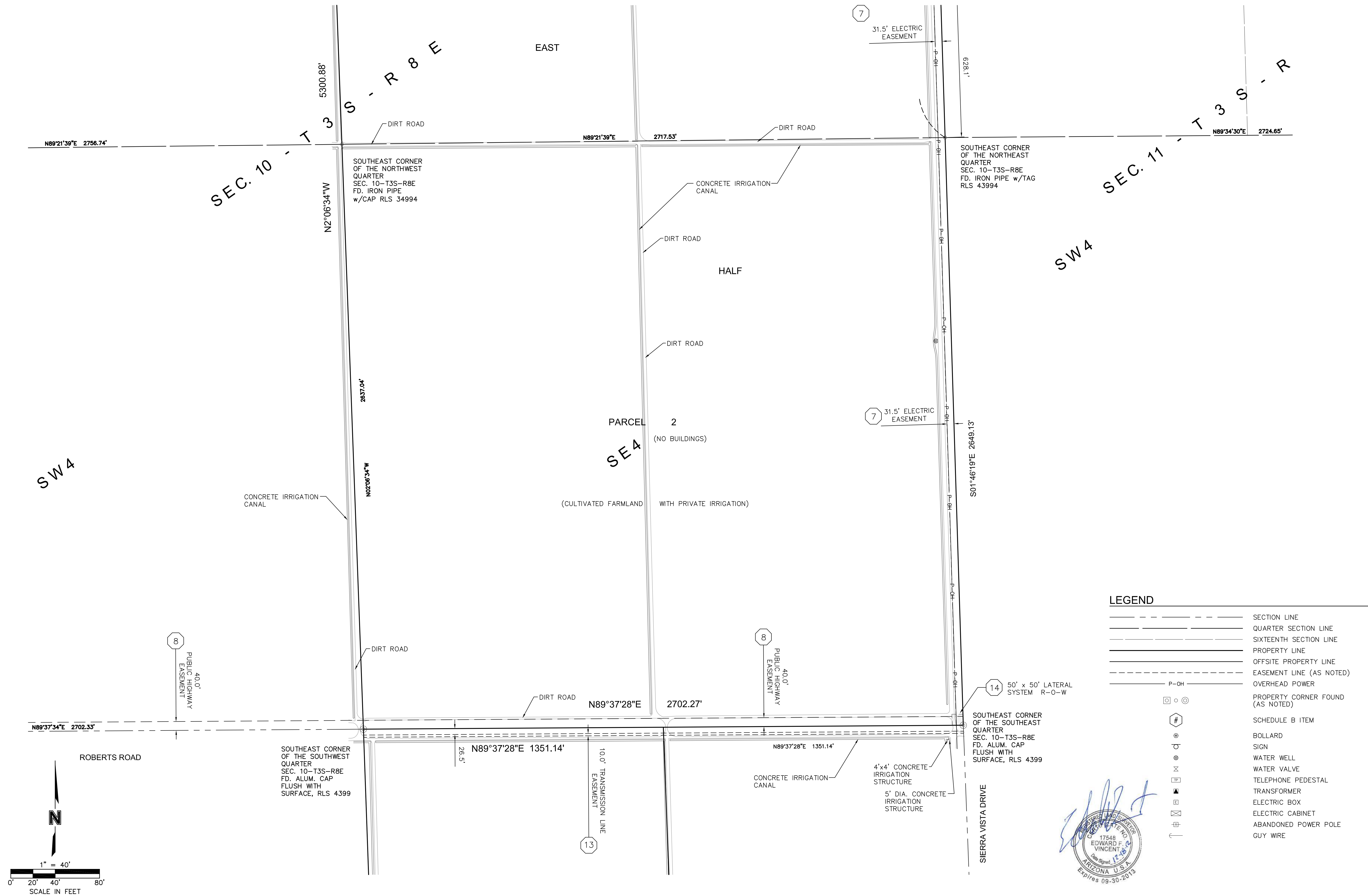
drawn by:	EFV
designed by:	N/A
checked by:	EFV
project no.:	12-2691-1
date:	12/12/12

SHEET
2 of 4

DWG: F:\Projects\012-2691_SRVY\ALTA\12-2691 ALTA.dwg USER: evincent
DATE: Dec 18, 2012 3:24pm XREFS: EDWARD_VINCENT_LS_AZ

ALTA/ACSM LAND TITLE SURVEY

PORTIONS OF SECTIONS 10, 11 & 15, T. 3 S., R.4 E., G&SRM, PINAL COUNTY, ARIZONA



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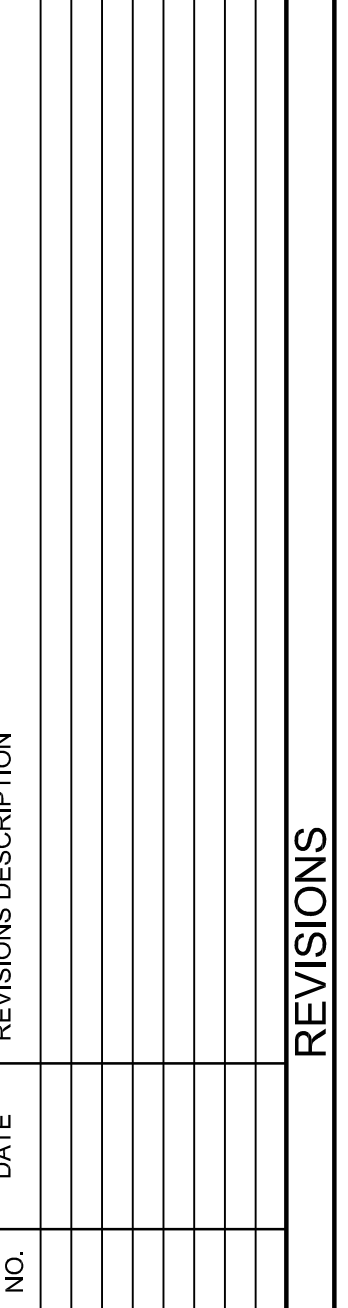
ALTA/ACSM LAND TITLE SURVEY	
PORTIONS OF SECTIONS 10, 11 & 15, T. 3 S., R. 4 E., G&SRM, PINAL COUNTY, ARIZONA	

drawn by: _____ EFV
designed by: _____ N/A
checked by: _____ EFV
project no.: _____ 12-2691-1
date: _____ 12/12/12

SHEET
3 of 4

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ALTA/ACSM LAND TITLE SURVEY

PORTIONS OF SECTIONS 10, 11 & 15, T. 3 S., R.4 E.,
G&SRM, PINAL COUNTY, ARIZONA

Drawn by:	EFV
Assigned by:	N/A
Checked by:	EFV
Project no.:	12-2691-1
Date:	12/12/12

SHEET
4 of 4

DWG: F:\Projects\012-2691_SRVY\ALTA\12-2691 ALTA.dwg USER: evincent
DATE: Dec 18, 2012 3:26pm XREFS: EDWARD_VINCENT_LS_AZ

Bella Vista Storage

PZ-050-21
PZ-PD-050-21

Planned Area Development Rezoning Project Narrative

Submitted to: **Pinal
County Planning
Department**
31 N. Pinal Street – Building F
Florence, AZ 85132

Submitted on Behalf of:
El Dorado Bella Vista, LLC
8501 North Scottsdale Road, Suite 120
Scottsdale, AZ 85253

Prepared by:
IPLAN CONSULTING
3317 S. Higley Road, Suite 114-622
Gilbert, AZ 85297

**March
2024**

El Dorado Bella Vista LLC, the owner of the property, is requesting to amend the Zoning Map for an approximate 3.65 acre property which is located on the southside of Skyline Drive, at the Sierra Vista road alignment in the San Tan Valley area of the County. The property APN is 210110030.

The subject property is currently vacant and is zoned General Rural (GR). We are requesting to rezone the property to C-1 (Commercial) with a Planned Area Development (PAD) overlay to allow the self-storage and RV storage use on a site over 3 acres, permit a two-story building height, and an increased Floor Area Ratio (FAR). The Comprehensive Plan designation of Suburban Neighborhood (SN) is not changing and supports the proposed C-1 zoning category.

SITE AERIAL MAP



LOCATION AND ACCESSIBILITY:

The subject site is located adjacent to the Bella Vista Farms master plan and has frontage directly onto Skyline Drive. Although the Sierra Vista Road alignment is adjacent on the west side of the property, that road ends at Skyline and does not continue south into the Bella Vista Farms development. As such, our only point of access is Skyline Drive.

RELATIONSHIP TO SURROUNDING PROPERTIES:

The property is in agricultural use right now which will not change until the property is ready for development. As mentioned, the site fronts onto Skyline Drive with a large ranchette neighborhood beyond. An existing mobile home and RV park adjoins the property to the east. A semi-occupied homestead shares our south boundary and features several mobile home trailers in various states of disrepair. The Bella Vista Farms Master Planned community is along our western boundary.

ADJACENT LAND USE TABLE

Direction	Comprehensive Plan Land Use Classification	Existing Zoning	Existing Use
On-Site	Suburban Neighborhood	C-1 (proposed)	Vacant / Agriculture
North	Suburban Neighborhood	CB-1	Commercial / Vacant
South	Suburban Neighborhood	GR	Residential
East	Suburban Neighborhood	RVP	Mobile Home / RV Park
West	Suburban Neighborhood	CR-3 PAD	Bella Vista Farms

DESCRIPTION OF PROPOSAL:

The proposed use for the subject 3.65 acre site is a personal property storage facility. The facility features approximately 139,000 square feet of building area split between one three-story (two stories above ground and one basement level) main building and six single story storage buildings. The main building houses the business office, meeting room space, and specialized storage areas. In all, approximately 500 storage spaces are proposed which range in size from 5' x 5' to 10' x 30'. In addition 21 RV parking spaces are proposed.

LAND USE TABLE

Site Area:	3.65 acres (158,935 sf) <input type="checkbox"/>
Total Building Area:	138,250 sf
Lot Coverage:	49% <input type="checkbox"/>
Open Space Area:	1.77 acres (28,305 sf) - 19% of the site area <input type="checkbox"/>
Land Use:	Suburban Neighborhood
Proposed Zoning:	C-1 Commercial with PAD overlay <input type="checkbox"/>

Primary access to the site is from the main entrance on Skyline Drive. This entry features a 30-foot wide driveway that leads to five parking spaces and the main building which houses the office and the climate controlled storage units. A passcode controlled gate restricts access into the facility beyond the office area. Once through the gate, the driveway reduces to 25-feet in width which still meets all customer and emergency service needs. The drive circulates to all to the interior storage buildings with no dead ends and all turns meeting the emergency service requirements. The circulation through the site is a simple loop drive that is private but designed to meet County standards for vehicular circulation. Parking is provided both outside the entry gate and interior to the project. A total of 20 parking spaces and 2 loading areas are planned in addition to the curb side parking along each internal drive.

The project has been designed to meet the County's C-1 Development regulations with four exceptions.

1. Increasing the maximum acreage from 3.0 acres to 3.7 acres.

The parcel already exists at this size and removing 0.7 acres does not benefit the County, neighbors, or developer thus should remain a portion of the project. The proposed use is creates very little traffic, noise and light even with the additional 0.7 acres.

2. increasing the allowable building height from 19-feet and one-story to 33-feet and two stories (above ground).

The C-1 zoning district allows two story commercial buildings by right but there is a provision limiting height to 19-feet when adjacent to single family residential land uses which we have to the East (RVP) south (GR) and west (CR-3 PAD). Only our north building is over 19-feet and features extra buffering to the east and west to offset the 2nd story height. Furthermore, this building is used for personal property storage thus has very limited use and will not create a privacy issue to the RVP to the east. The future single family homes to the west will be over 100-feet away and therefore not impacted by this building height. The existing home to the south is buffered by a 25-foot landscape setback and then 500+ feet of setback to the 2-story building.

3. increasing the Maximum Floor Area Ratio (FAR) from 0.35 to 0.95.

Differing from Lot Coverage, FAR measures total building area in relation to total site area. This specific FAR maximum requirement is not Code derived and is instead mentioned in the San Tan Valley Area Plan for commercial development in Suburban Neighborhood areas. The intent of this provision is to avoid intensive commercial development in residential areas that would inundate those areas with nuisances such as traffic, noise, and light. The proposed self-storage use requires a higher amount of FAR due to the nature of the use (storage of personal belongings), but it is clearly not an intense use and actually results in very little impact on adjacent uses thus meets the intent of the restriction's purpose.

4.□Allowing outdoor storage for RVs/vehicles internal to the project.

Although not overtly prohibited in the C-1 zoning district, the land use of Outdoor Storage is not permitted as a standalone use in C-1. The long-term development plan for this property is to be completely for indoor storage though we do plan to offer RV storage initially. Given that we have a RV park adjacent to our property we do not see any detriment to utilizing a portion of the site for RV parking use. Furthermore, the RV parking area is completely surrounded by the storage buildings so will be fully screened from adjacent properties.

Inclusive of the above deviations, we believe the proposed C-1 use is compatible with the adjacent land uses and will be complimentary to the area which features several commercial properties. Furthermore, we agree with Staff that utilizing the C-1 zoning district instead of the more intense C-3, which would not require the deviations, is a better fit for the area to limit future, more intense uses that would likely not be compatible with the area.

DEVELOPMENT STANDARDS TABLE

Development Standard	C-1 Code	Proposed
Minimum Parcel Area	0 Acres	0 Acres
Maximum Parcel Area	3.0 Acres	3.7 Acres
Maximum Lot Coverage	100%	49%
Maximum Floor Area Ratio (FAR)	0.35	0.95
Minimum Front Setback (north)	20 Feet	20 Feet
Minimum Rear Setback (south)	25 Feet	25 Feet
Minimum Side Setback (east & west)	0 Feet ¹	15 Feet ¹
Minimum Landscaping perimeter	10 Feet	10 Feet
Minimum Distance Between Buildings	0 Feet	10 Feet
Maximum Building Height	19-Feet & 1-story	33-Feet & 2-story²

Note 1 – Storage use requires a 15-foot landscape setback when adjacent to residential zoned land

Note 2 – Above ground.

Although architecture is not a component of the zoning request, we want to share our preliminary main building elevation as we believe it reflects the commitment to quality El Dorado has to everyone of their projects regardless of the land use. The building design utilizes a combination of masonry that is accentuated with earth tone colors that is then contrasted with the fenestration which results in a clean modern look but not too modern that it doesn't fit into its surroundings.

CONCEPTUAL ARCHITECTURE



AMENDED USES:

No modifications are proposed to the permitted uses identified in C-1 Commercial Zoning District of the County's Zoning Ordinance.

COMPREHENSIVE PLAN CONFORMANCE:

The proposed land use and zoning district (C-1) is permitted in the applicable Comprehensive Plan land use classification of Suburban Neighborhood and is consistent with the properties in the area which include commercial zoning to the north, an RV park to the east, and a medium density residential community to the south and west. As such, the proposed amendment will be in conformance with both the goals and policies of the County Comprehensive Plan as well as the RSRSM – Access Management Manual. In fact, the project will further several of the goals and policies of the Comprehensive Plan as identified below:

- Growth Area: The San Tan Valley area has been a targeted growth corridor for a long time in the County and projects like this provide for a more orderly and quality level of growth avoiding the pitfalls associated with “leap-frog” development.
- Land Use: The County Comprehensive Plan identifies the need for a more balanced inventory of land uses and this proposal will add more commercial inventory to the this area of the County.

SAN TAN VALLEY AREA PLAN COMPLIANCE:

As aforementioned in this narrative, the San Tan Valley area has seen exceptional growth for most of the last two decades. So much so that the County prepared a regional sub-area plan study that resulted in the adoption of the San Tan Area Plan. This plan provides the guidance for future development in this region and is the primary document we analyzed when developing our proposed land use change. We believe the proposal is consistent with the following goals, policies, and themes of the San Tan Area Plan:

- The project will feature a combination of one- and two-story buildings.
- The is located along Skyline Drive which is a Principal Arterial street.
- Although the main office building is two-story, the perimeter buildings are single story with landscape tracts to help transition to the adjacent residential uses.
- The project features landscape tracts to help buffer this commercial use from the adjacent residential land uses.

RSRSM COMPLIANCE:

Bella Vista Storage is located along Skyline Drive which is a Principal Arterial level street thus the site is adequately served by regional transportation routes. This proposal will be providing an additional 28-feet along the Skyline Road frontage in order to achieve the 75-foot half-street width required for a Principal Aterial right-of-way. All required road improvements (or cash in-lieu) for Skyline Drive will be made in conformance with Pinal County standards.

COMMUNITY/PUBLIC SERVICES:

This project will be contributing to the provision of community services for this area. Emergency service to this property, if needed, are provided by the Pinal County Sherriff’s office who has a satellite location within ½ mile of the project. Fire and medical emergency services are provided by Rural Metro who also utilizes the Sherriff’s satellite office nearby.

UTILITIES:

All utilities are in proximity to the site and the proposed storage use will have a very limited impact to the utility/service providers for this property, which are identified below.

Water/Sewer	Epcor	480-837-9522
Electric	Salt River Project	602-236-2872
Gas	Mesa Gas	480-644-4500
Telephone	Century Link	602-870-2972
Cable	Cox Communications	480-773-6226
Police	Pinal County Sherriff	520-866-5111
Fire/Medical	Rural Metro	480-627-6000
Solid Waste	Waste Management	602-268-2222

SCHOOL IMPACT:

Bella Vista Storage is a commercial project and will have no impact.

OWNERSHIP AND CONTROL:

The project is being planned and developed by El Dorado Holdings who is also the master developer of the Bella Vista Farms community. It is currently the intent of El Dorado Holdings to own and manage the proposed development as part of their commercial portfolio.

PHASING/TIMING OF DEVELOPMENT:

It is our intention to start the construction documents for this project as soon as the Site Plan is approved by the County which could result in construction starting in mid-to-late 2025.

WALLS AND FENCES:

The accompanying OSRAP includes detailed information regarding the proposed design and placement for the project walls and fencing.

LANDSCAPING:

Landscaping is provided along the perimeter of the project as required by the County’s Zoning Code. All landscaping is consistent with the ADWR water use restrictions and there will be a Property Owner’s Association (POA) created to properly maintain the project landscaping.

DRAINAGE STATEMENT:

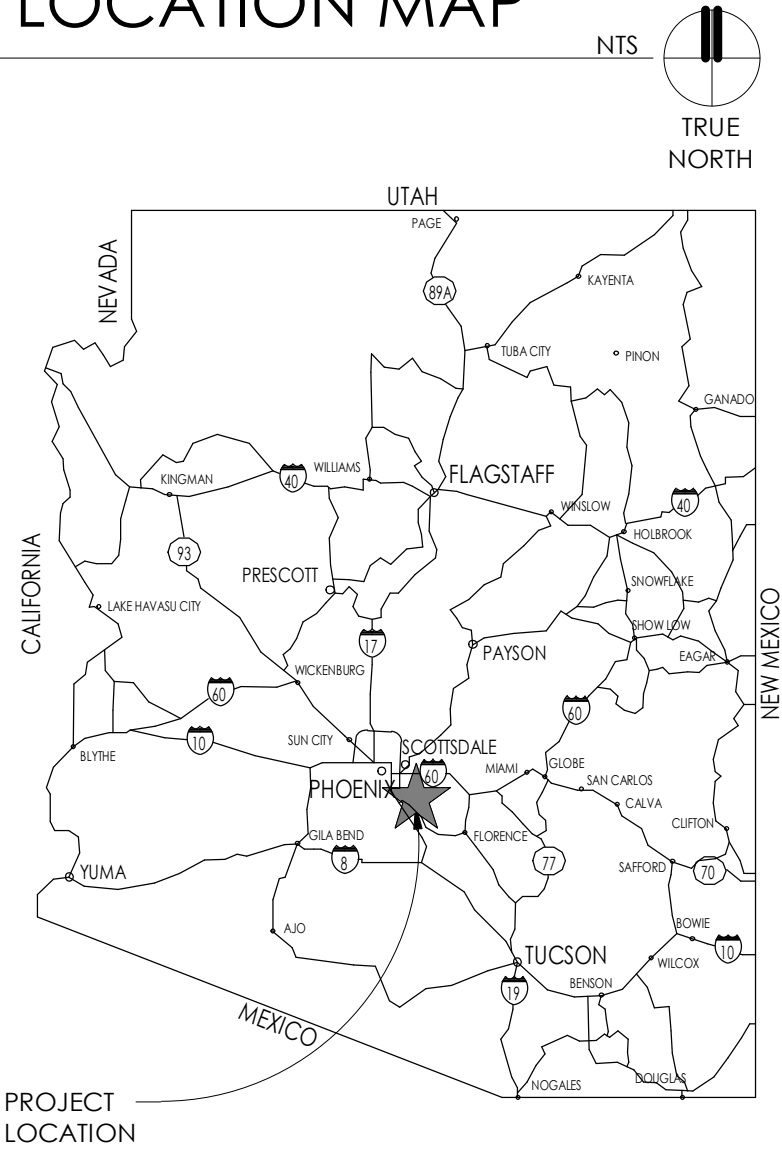
The subject site area is relatively flat with a slight grade drop as you move west across the property. The site has been preliminary engineered to be outside of any regional drainage demand areas. That said, this site will be designed to adequately accommodate all on-site drainage demands as well as the half-street drainage from Skyline Drive as needed.

CONCLUSION:

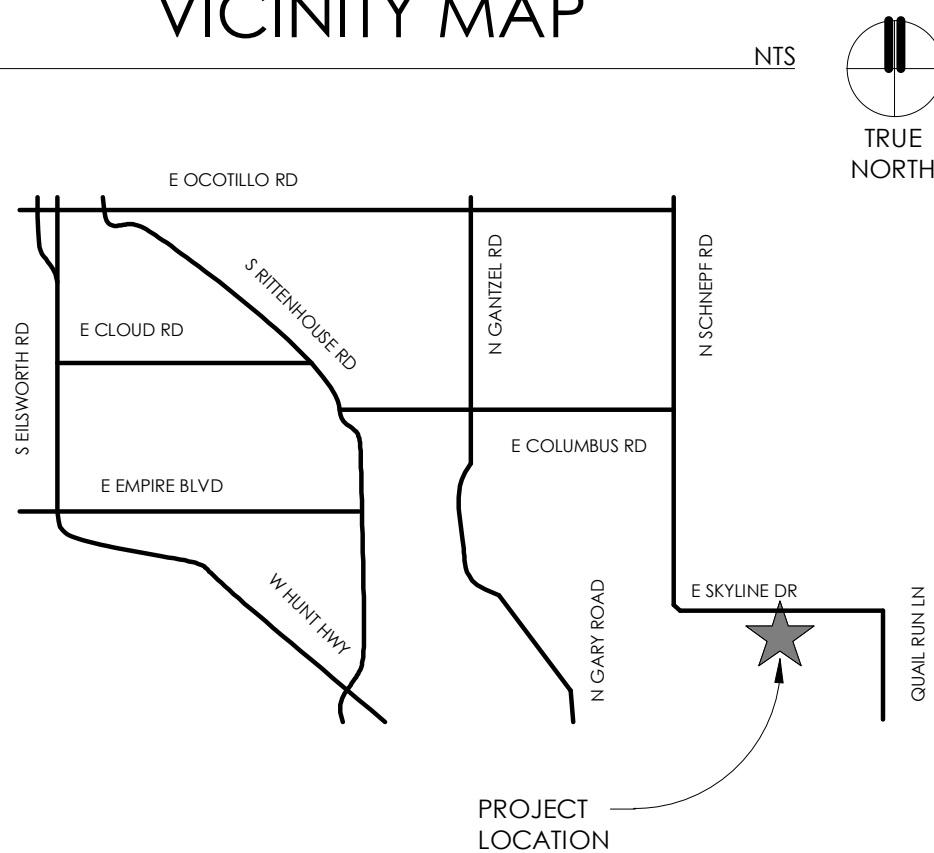
El Dorado Holdings has an excellent history in building high quality, sustainable projects. Their adjacent Bella Vista Farms is an exciting project that features over 5,000 homes and those homeowners will need a personal storage option as they move and perhaps out in the future. Currently, the closest property storage facility is over three miles away in San Tan Valley which would result in more traffic if that need is not met by this location. Furthermore, the property’s location along a major street like Skyline Drive will spur additional commercial service uses for the residents in this area of the County.

DEVELOPMENT PLAN
FOR BELLA VISTA STORAGE

LOCATION MAP



VICINITY MAP



PROJECT INFORMATION

SOUTH EAST CORNER SKYLINE DRIVE & SIERRA VISTA DRIVE
SAN TAN VALLEY, ARIZONA
W-240' OF NW NW NW OF SEC 11-3S-8E 3.64 AC

PARCEL NUMBER:

210-11-0030

EXISTING ZONING:

GR

NEW ZONING:

C-1

FLOOD ZONE:

N/A

SITE AREA:

3.64 ACRES

OWNER

EL DORADO HOLDING INC.
8501 N SCOTTSDALE DR STE 120
PARADISE VALLEY, AZ 85253

FIRM PREPARING THE PLAN - ARCHITECT

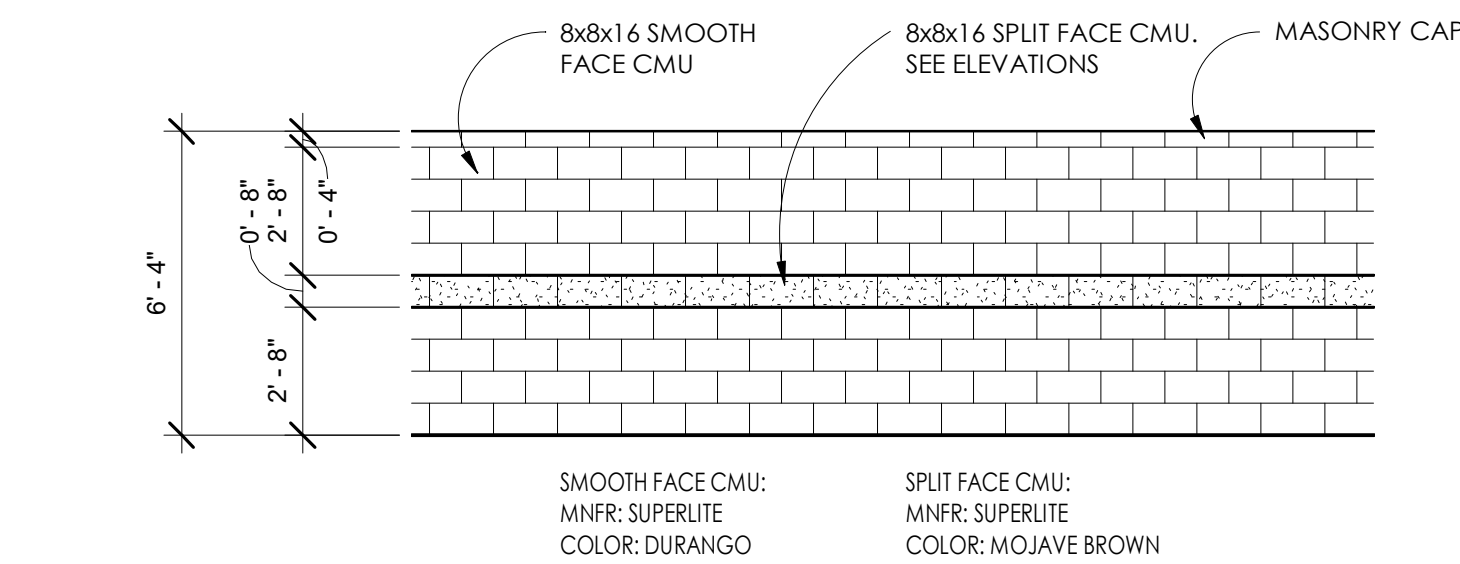
SPS+ ARCHITECTS, LLP
(480) 991-0800

APPLICANT - IPLAN CONSULTING

GREG DAVIS
GREGDAVIS@IPLANCONSULTING.COM
(480) 227-9850

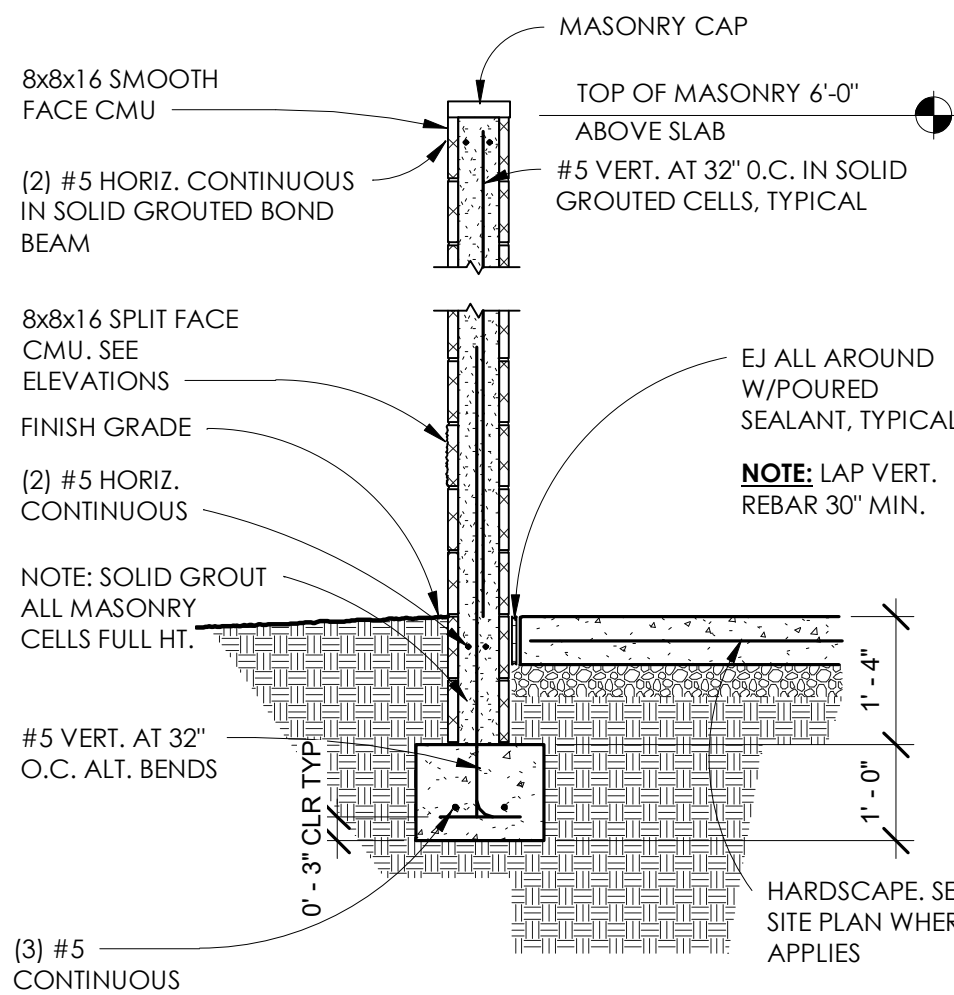
QUANTITATIVE DEVELOPMENT DATA TABLES

- TOTAL GROSS ACREAGE OF SITE: 3.43 ACRES (149,357 SF)
- TOTAL AREA OF OPEN SPACE: 28,305 SF
- TOTAL NET AREA OF ALL INTENDED USES: 72,639 SF
- LOT COVERAGE: 48.6%
- MAX HEIGHT: 33' 0", 2 STORIES



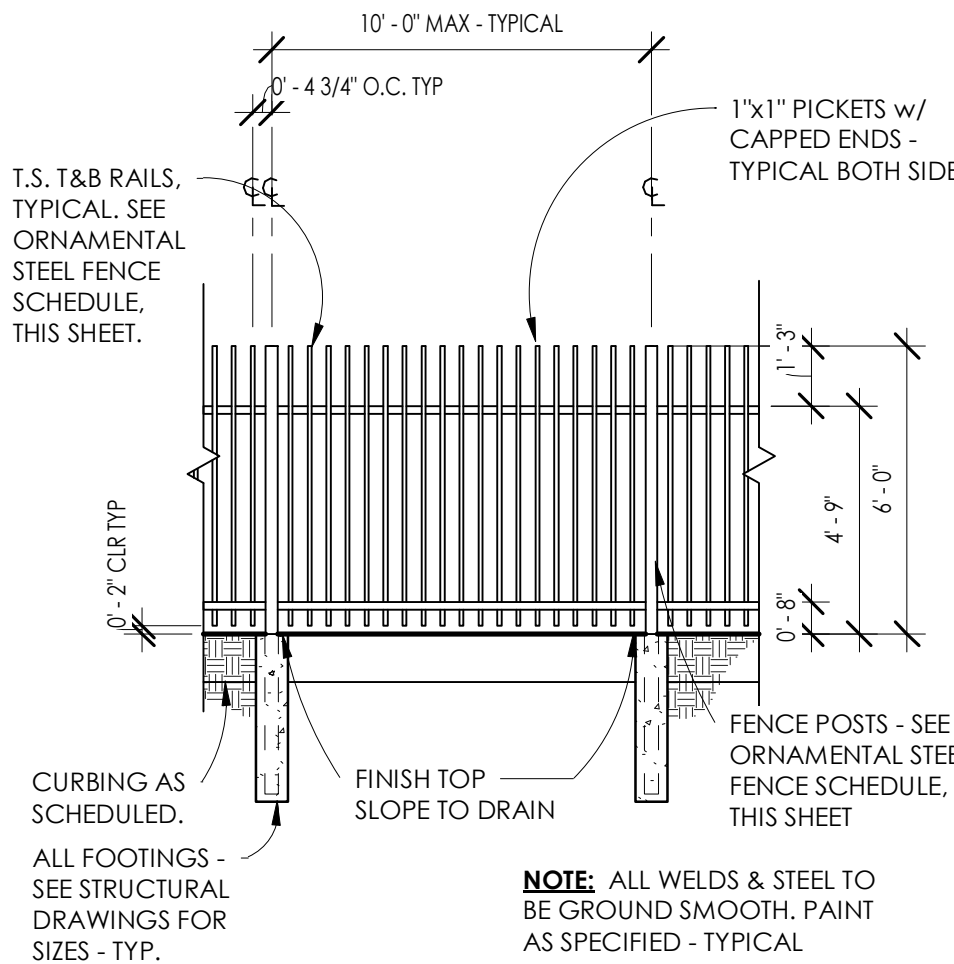
CMU ELEVATION

1/4" = 1'-0"



CMU FENCE

1/2" = 1'-0"



STEEL FENCE ELEVATION - TYP

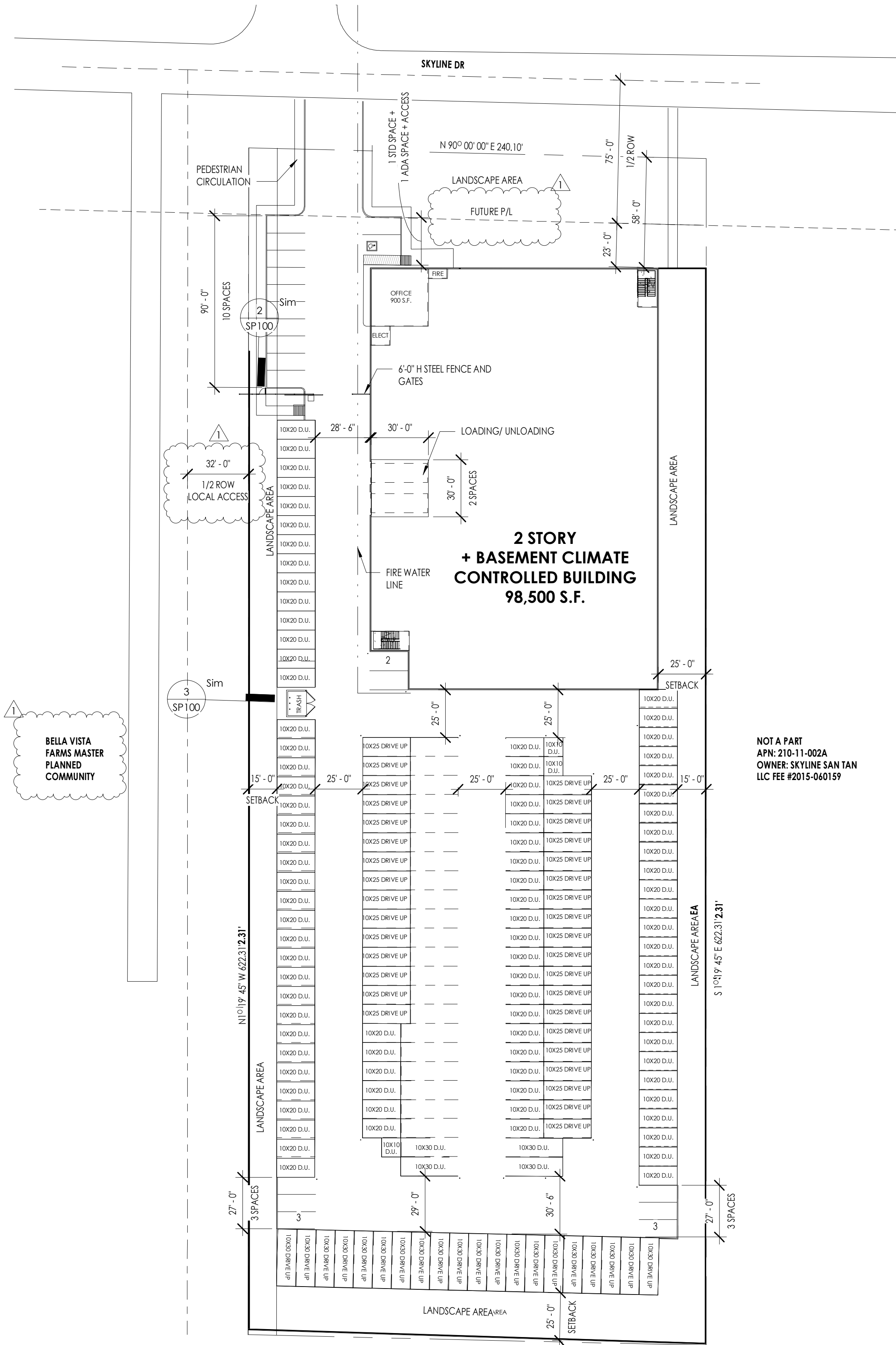
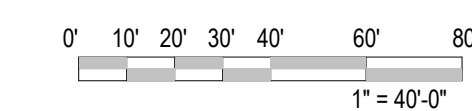
1/4" = 1'-0"

DRIVE UP UNITS			
UNIT WIDTH	UNIT LENGTH	COUNT	AREA
10	10	3	300 SF
10	20	91	18,200 SF
10	25	49	12,250 SF
10	30	30	9,000 SF
TOTAL		175	39,750 SF

CLIMATE CONTROLLED	
BUILDING AREA	LEASABLE AREA
98,500 SF	73,875 SF

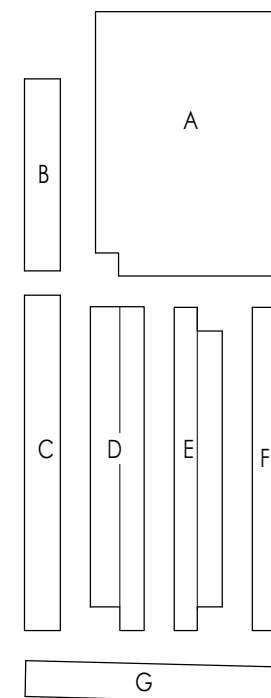
SITE PLAN

1" = 40'-0"



NOT A PART
APN: 210-11-005C
OWNER: BREWER S GRANT
FEE #2007-101966

NOT A PART
APN: 210-11-002A
OWNER: SKYLINE SAN TAN
LIC FEE #2015-060159



KEY PLAN

1" = 160'-0"

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REVISIONS		
MARK	DATE	DESCRIPTION
1	3/28/24	Coordination

REVIEWED BY: CAIN G
DRAWN BY: GRACE S

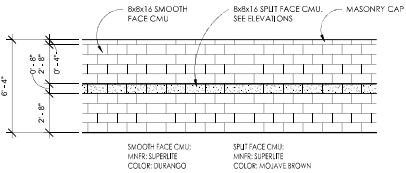
ORIGINAL ISSUE
DATE: 07/02/22

JOB No: 21113

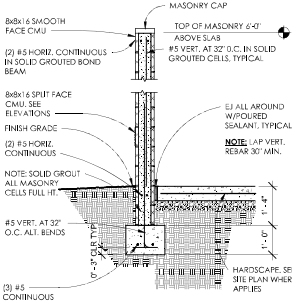
SHEET:

WALL PLAN

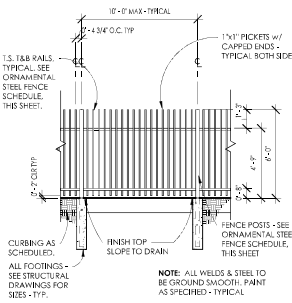
EXISTING CMU WALLS



CMU ELEVATION



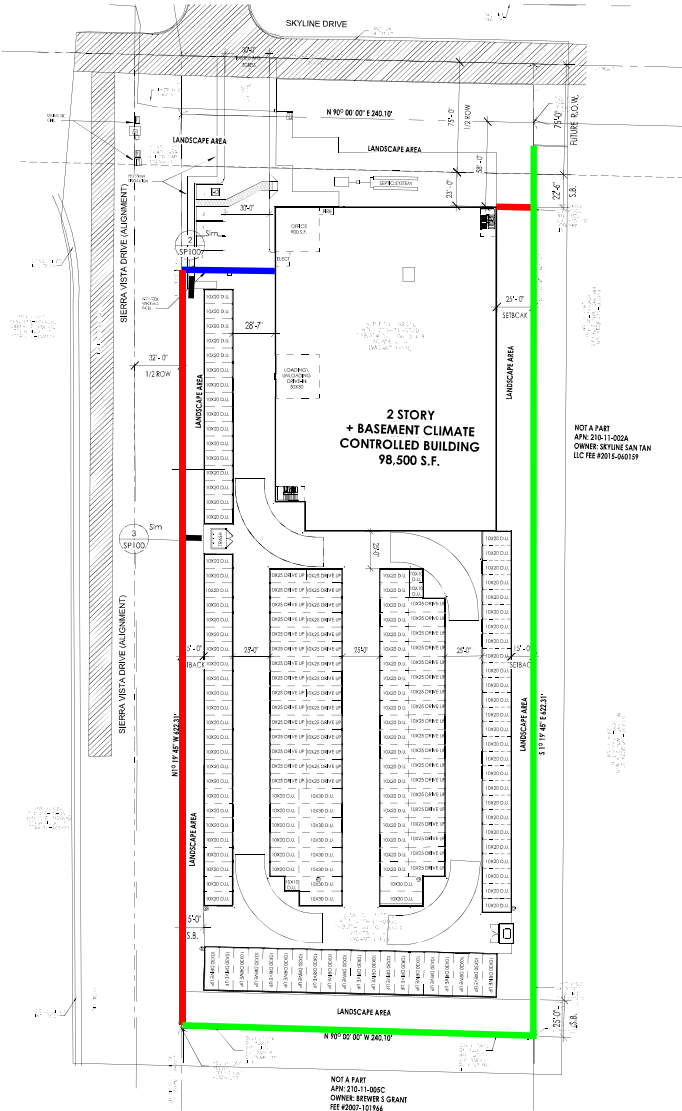
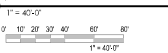
CMU FENCE



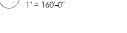
STEEL FENCE ELEVATION - TYP



WALL PLAN



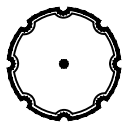
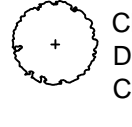





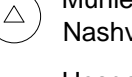

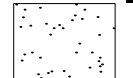
KEY PLAN



BELLA VISTA STORAGE DEVELOPMENNT

SEC SKYLINE DR. & SIERRA VISTA DR.
PINAL COUNTY, ARIZONA 85042

PLANTING MATERIAL LEGEND












TREES	SIZE	NOTES	QTY
 Ulmus parvifolia Evergreen Elm Caliper Size: 1.5"	24" Box H 5'-8" W 3'-4"	*ADWR	10
 Chilopsis linearis Desert Willow Caliper Size: 1.5"	24" Box H 5'-7" W 3'-4"	*ADWR	32
GROUNDCOVERS			QTY
 Lantana montevidensis Trailing Lantana 'Gold'	5 Gallon	*ADWR	130
 Lantana mo. 'Dallas Red' Dallas Red Lantana	5 Gallon	*ADWR	20
SHRUBS / ACCENTS			QTY
 Tecoma stans Yellow Bells	5 Gallon	*ADWR	70
 Leucophyllum frutescens 'Green Cloud' Texas Sage 'Green Cloud'	5 Gallon	*ADWR	43
 Calliandra x 'Sierra Star' Sierra Star Red Fairy Duster	5 Gallon	*ADWR	60
 Muhlenbergia rigida 'Nashville' Nashville Muhly Grass	5 Gallon	*ADWR	121
 Hesperaloe parviflora Red Yucca 'Brake Light'	5 Gallon	*ADWR	51
LANDSCAPE MATERIALS			
 Decomposed Granite, 3/4" screened, "Mahogany" 2" deep in planting areas per plan.			32,300 sq. ft.

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant



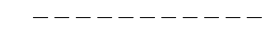


*SVT = Sight Visibility Triangle

IRRIGATION LEGEND

SYSTEM DESIGNED USING A RESIDUAL PRESSURE OF 80 PSI
SYMBOL

 WATER METER	PER AVONDALE STANDARDS, NEW IRRIGATION METER - 1.5" SIZE, REF. AVONDALE A1300 DETAIL BACKFLOW PREVENTER ASSEMBLY, FEBCO 825-Y, 1.5" SIZE PER PLAN, PROVIDE METAL ENCLOSURE.
 RPFBA	
 CONTROLLER	
 CONTROLLER	CONTROLLER A & B = 10 STATION DIG LEIT X, PROVIDE LEMA 1600 HE SOLENOID ACTUATOR FOR EACH VALVE, STEEL POST MOUNT AND LOCKING ENCLOSURE, PROVIDE LIGHTNING AND GROUNDING PROTECTION
 GATE VALVE	NIBCO MODEL# T-113, SIZE PER LINE
 BALL VALVE	BRONZE MATERIAL SPEARS MODEL# TRUE UNION 2000, SIZE PER LINE SCH. 80 PVC MATERIAL
 DRIP VALVE	HUNTER ICV SERIES WITH 150 MESH WYE-STRAINER
 FLUSH CAP	SIZE PER PLAN SPEARS FLUSH CAP 1/2" FLUSH VALVE
 PRESSURE REG.	SENNIGER 30 PSI - LOCATE IN SEPARATE BOXES MEDIUM FLOW 2-20GPM - 30 PSI (100 MESH)
N/S EMITTER - SP	BOWSMITH 1.0 GPH (1 PER PLANT)
 EMITTER - MP	BOWSMITH 1.0 GPH 6 PORT (2 PER TREE) GROUPS OF SHRUBS WITHIN 6' EXISTING/ NEW TREES RECEIVE DEEP WATER TUBES FOR EMITTERS CONNECT TO EXISTING POTABLE WATER SERVICE
 SERVICE POINT	

PIPE LEGEND

	MAINLINE - SIZE PER PLAN PVC SCH. 40
	TREE LATERAL PVC SCH. 40 - SOLVENT WELD
	SHRUB LATERAL PVC SCH. 40 - SOLVENT WELD
	PIPE SLEEVE PVC SCH. 80 - 2 X PIPE SIZE MINIMUM
	WIRE SLEEVE PVC SCH. 80 - MINIMUM 1 1/2" SIZE

PINAL COUNTY GENERAL LANDSCAPE NOTES

- DEVELOPER SHALL OBTAIN A PINAL COUNTY RIGHT-OF-WAY USE PERMIT PRIOR TO ANY WORK BEING PERFORMED WITHIN THE COUNTY RIGHT-OF-WAY. CONTACT PINAL COUNTY PUBLIC WORKS INSPECTION SECTION AT LEAST SEVEN (7) WORKING DAYS PRIOR TO WORK.
- ALL PLANT MATERIAL PLACED WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE ON THE ACTIVE MANAGEMENT AREA LOW WATER USE PLAN LIST AND APPROVED BY THE ARIZONA DEPARTMENT OF WATER RESOURCES.
- ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ARIZONA NURSERYMEN'S ASSOCIATION OR ARIZONA ASSOCIATION OF NURSERYMEN.
- ALL TREES PLACE IN PUBLIC RIGHTS-OF-WAY SHALL BE PRUNED UP AND MAINTAINED AT A SEVEN (7) FOOT MINIMUM CANOPY HEIGHT.
- ALL PLANT MATERIAL PLACED WITHIN SIGHT VISIBILITY TRIANGLE EASEMENTS SHALL HAVE A MAXIMUM GROWTH HEIGHT OF 24 INCHES. TOTAL HEIGHT OF LANDSCAPING WITH THE SIGHT VISIBILITY TRIANGLE EASEMENTS SHALL NOT EXCEED 24 INCHES (MEASURED FROM TOP OF CURB) INCLUDING ALL BERMS/MOUNDS.
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SHEET INDEX

SHEET	TITLE
L0.1	LANDSCAPE COVER
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L3.0	LANDSCAPE DETAILS
L4.0-L4.1	IRRIGATION DETAILS

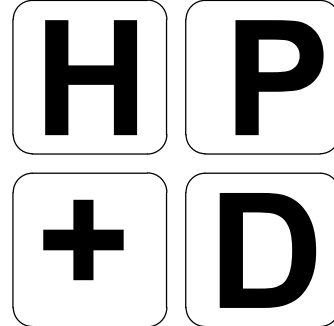
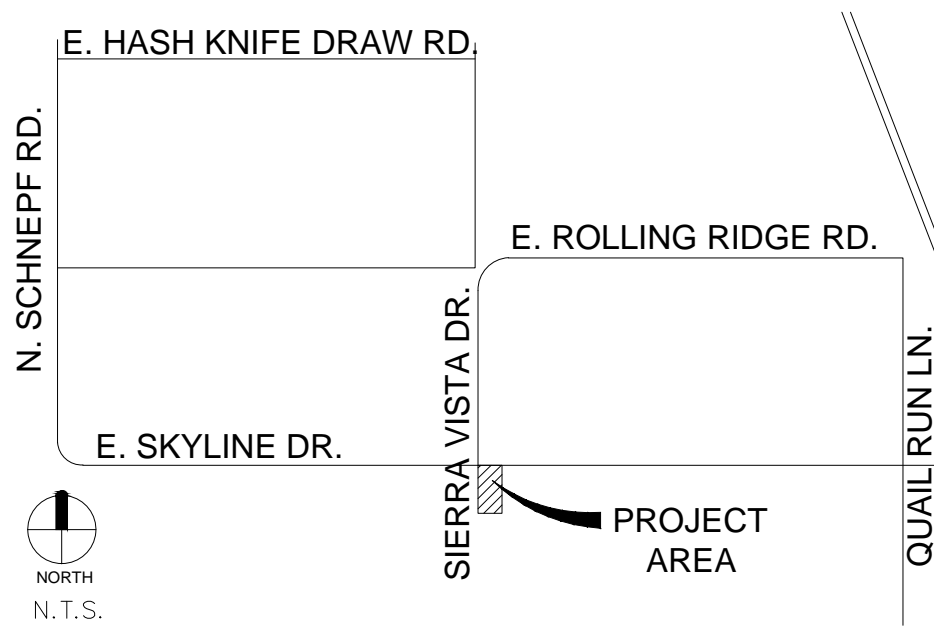
OWNER CONTACT

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL ROAD, SUITE 204
MESA, ARIZONA 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

SITE ADDRESS

VICINITY MAP



HARRINGTON
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BELLA VISTA STORAGE

SEC E. Skyline Dr. & Sierra Vista Dr.
Phoenix, Arizona 85042

REV. COMMENT DATE

Final Submittal	04.27.22
Preliminary Submittal	11.19.21
ISSUE	DATE

LANDSCAPE PACKAGE

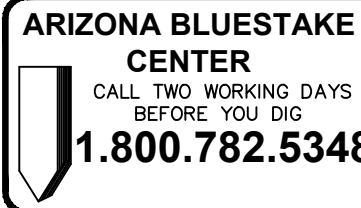
April 27, 2022

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PROJ. NO.:	2021-062
CASE NO.:	

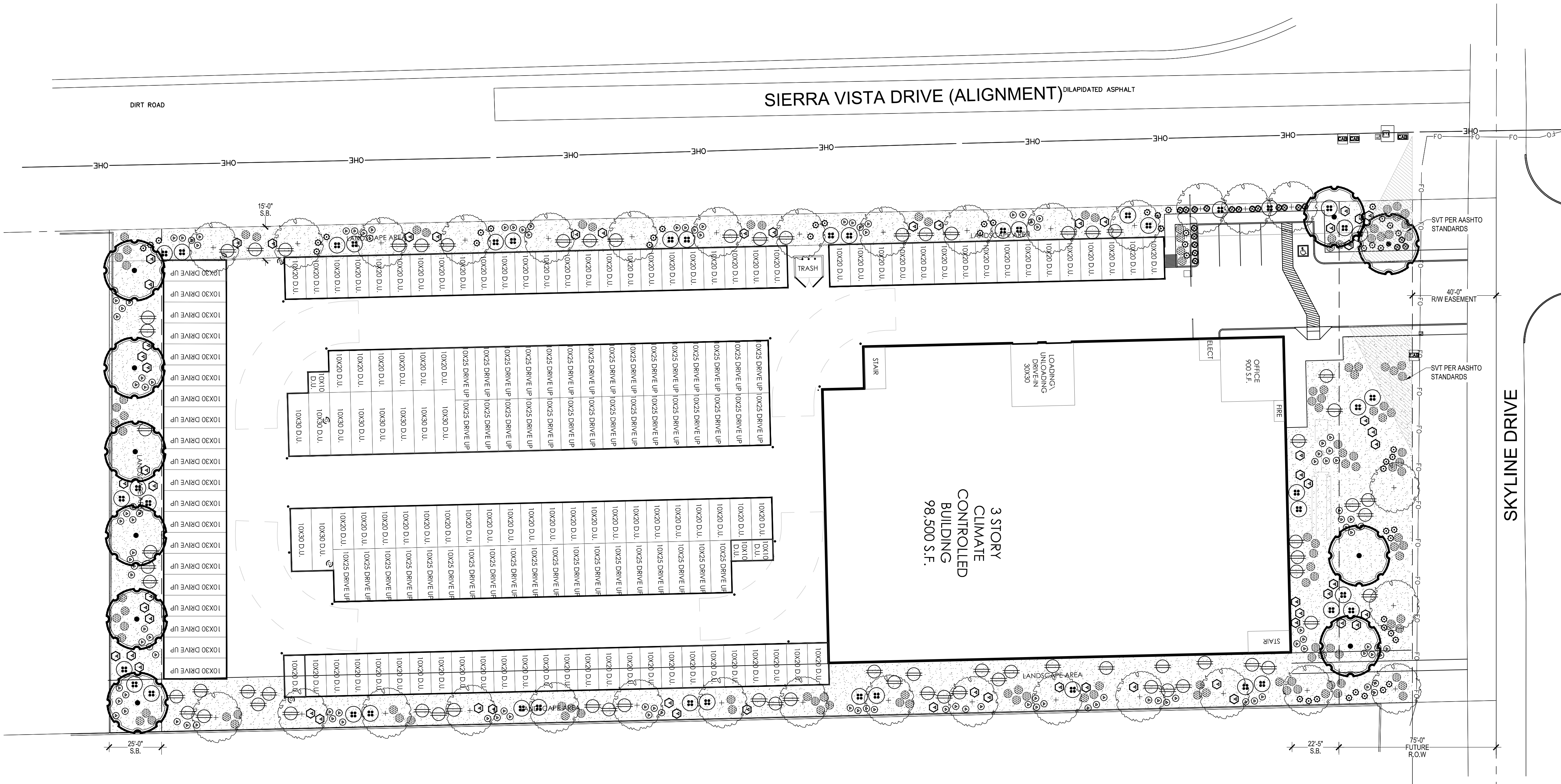
LANDSCAPE
COVER

L0.1

1 of 6



BELLA VISTA STORAGE
SEC E. SKYLINE DRIVE & SIERRA VISTA DRIVE
PINAL COUNTY, ARIZONA 85140



PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Ulmus parvifolia Evergreen Elm Caliper Size: 1.5"	24" Box H 5'-8" W 3'-4"	*ADWR	10
Chiopsis linearis Desert Willow Caliper Size: 1.5"	24" Box H 5'-7" W 3'-4"	*ADWR	32
GROUNDCOVERS			QTY
Lantana montevidensis Trailing Lantana 'Gold'	5 Gallon	*ADWR	130
Lantana mo. 'Dallas Red' Dallas Red Lantana	5 Gallon	*ADWR	20
SHRUBS / ACCENTS			QTY
Tecoma stans Yellow Bells	5 Gallon	*ADWR	70
Leucophyllum frutescens 'Green Cloud' Texas Sage 'Green Cloud'	5 Gallon	*ADWR	43
Calliandra x 'Sierra Star' Sierra Star Red Fairy Duster	5 Gallon	*ADWR	60
Muhlenbergia rigida 'Nashville' Nashville Muhly Grass	5 Gallon	*ADWR	121
Hesperaloe parviflora Red Yucca 'Brake Light'	5 Gallon	*ADWR	51

LANDSCAPE MATERIALS	
Decomposed Granite. 3/4" screened, 'Mahogany' 2" deep in planting areas per plan.	32,300 sq. ft.

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

*SVT = Sight Visibility Triangle

SITE LANDSCAPE NOTES

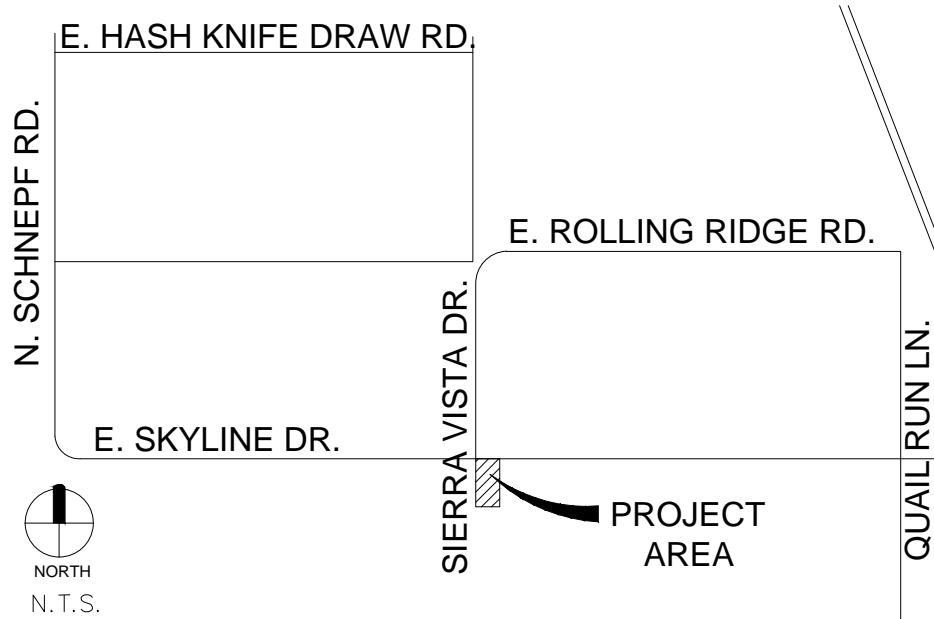
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VICINITY MAP



PINAL COUNTY GENERAL LANDSCAPE NOTES

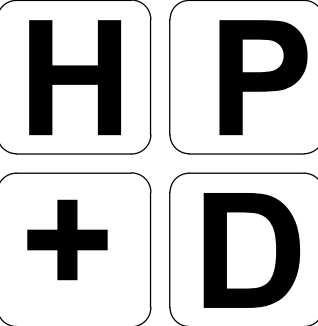
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OPEN SPACE CALCULATION

OPEN SPACE TOTAL AREA	REQUIRED	PROVIDED
149,440 SF NET AREA	18% MINIMUM / 26,900 SF	21.6% / 32,300 SF



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BELLA VISTA STORAGE

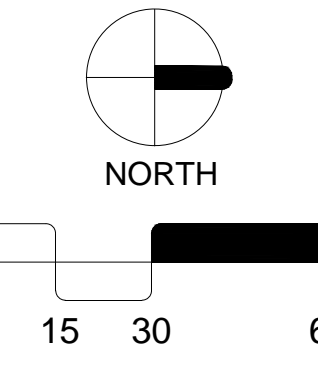
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April 27, 2022
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CASE NO.:



LANDSCAPE PLAN

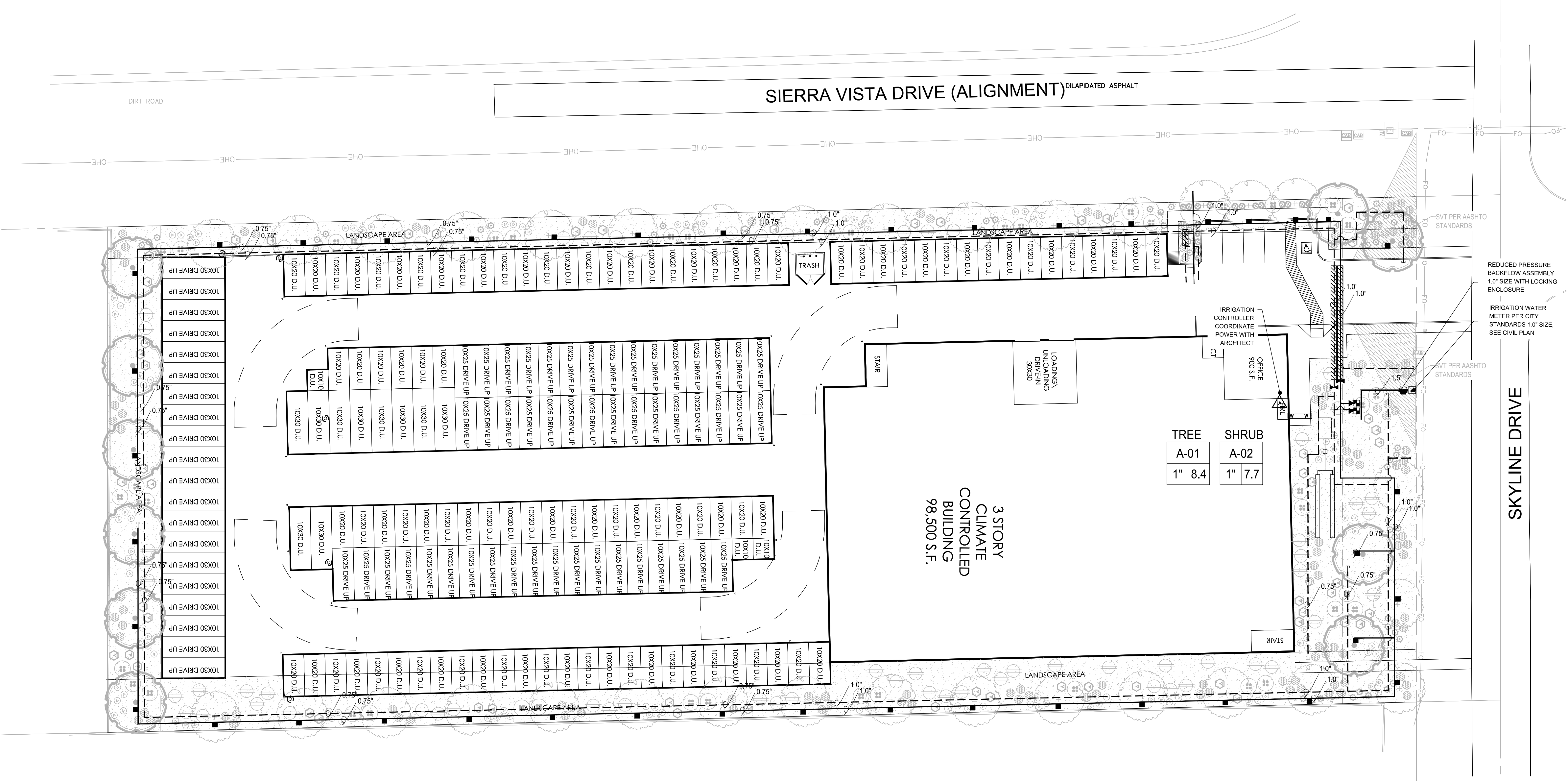
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BELLA VISTA STORAGE
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PINAL COUNTY, ARIZONA 85140

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IRRIGATION LEGEND

SYSTEM DESIGNED USING A RESIDUAL PRESSURE OF 80 PSI

SYMBOL

WATER METER

RPBFA

CONTROLLER

CONTROLLER A & B = 10 STATION DIG LEIT X, PROVIDE LEMA 1600 HE SOLENOID ACTUATOR FOR EACH VALVE, STEEL POST MOUNT AND LOCKING ENCLOSURE, PROVIDE LIGHTNING AND GROUNDING PROTECTION

GATE VALVE

BALL VALVE

DRIP VALVE

FLUSH CAP

PRESSURE REG.

EMITTER - SP

EMITTER - MP

SERVICE POINT

PIPE LEGEND

MAINLINE - SIZE PER PLAN

PVC SCH. 40

TREE LATERAL

PVC SCH. 40 - SOLVENT WELD

SHRUB LATERAL

PVC SCH. 40 - SOLVENT WELD

PIPE SLEEVE

PVC SCH. 80 - 2 X PIPE SIZE MINIMUM

WIRE SLEEVE

PVC SCH. 80 - MINIMUM 1 1/2" SIZE

PER AVONDALE STANDARDS, NEW IRRIGATION METER - 1.5" SIZE, REF. AVONDALE A1300 DETAIL BACKFLOW PREVENTER ASSEMBLY, FEBCO 825-Y, 1.5" SIZE PER PLAN, PROVIDE METAL ENCLOSURE.

NIBCO MODEL# T-113, SIZE PER LINE BRONZE MATERIAL SPEARS MODEL# TRUE UNION 2000, SIZE PER LINE SCH. 80 PVC MATERIAL

HUNTER ICV SERIES WITH 150 MESH WYE-STRAINER SIZE PER PLAN SPEARS FLUSH CAP 1/2" FLUSH VALVE SENNIGER 30 PSI - LOCATE IN SEPARATE BOXES MEDIUM FLOW 2-20GPM - 30 PSI (100 MESH)

BOWSMITH 1.0 GPH (1 PER PLANT) BOWSMITH 1.0 GPH 6 PORT (2 PER TREE) GROUPS OF SHRUBS WITHIN 6'. EXISTING/ NEW TREES RECEIVE DEEP WATER TUBES FOR EMITTERS

CONNECT TO EXISTING POTABLE WATER SERVICE

MAINLINE - SIZE PER PLAN

PVC SCH. 40

TREE LATERAL

PVC SCH. 40 - SOLVENT WELD

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PVC SCH. 40 - SOLVENT WELD

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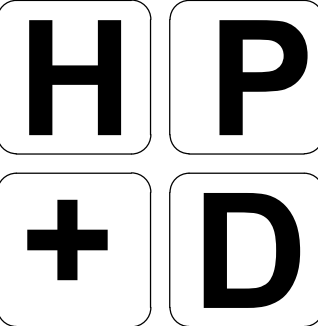
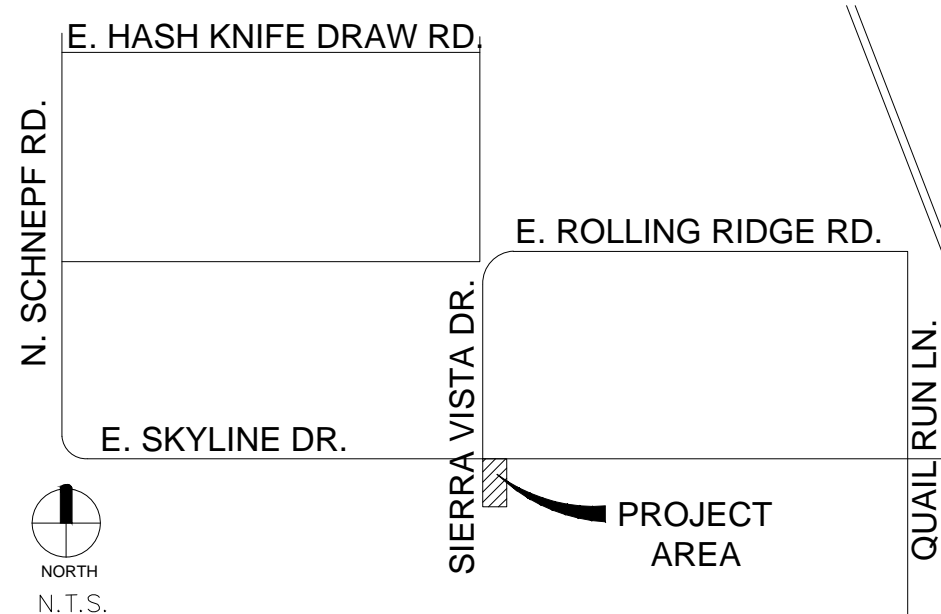
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VICINITY MAP



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BELLA VISTA STORAGE

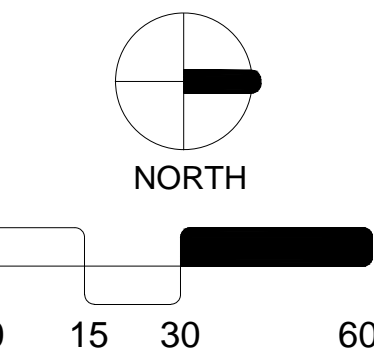
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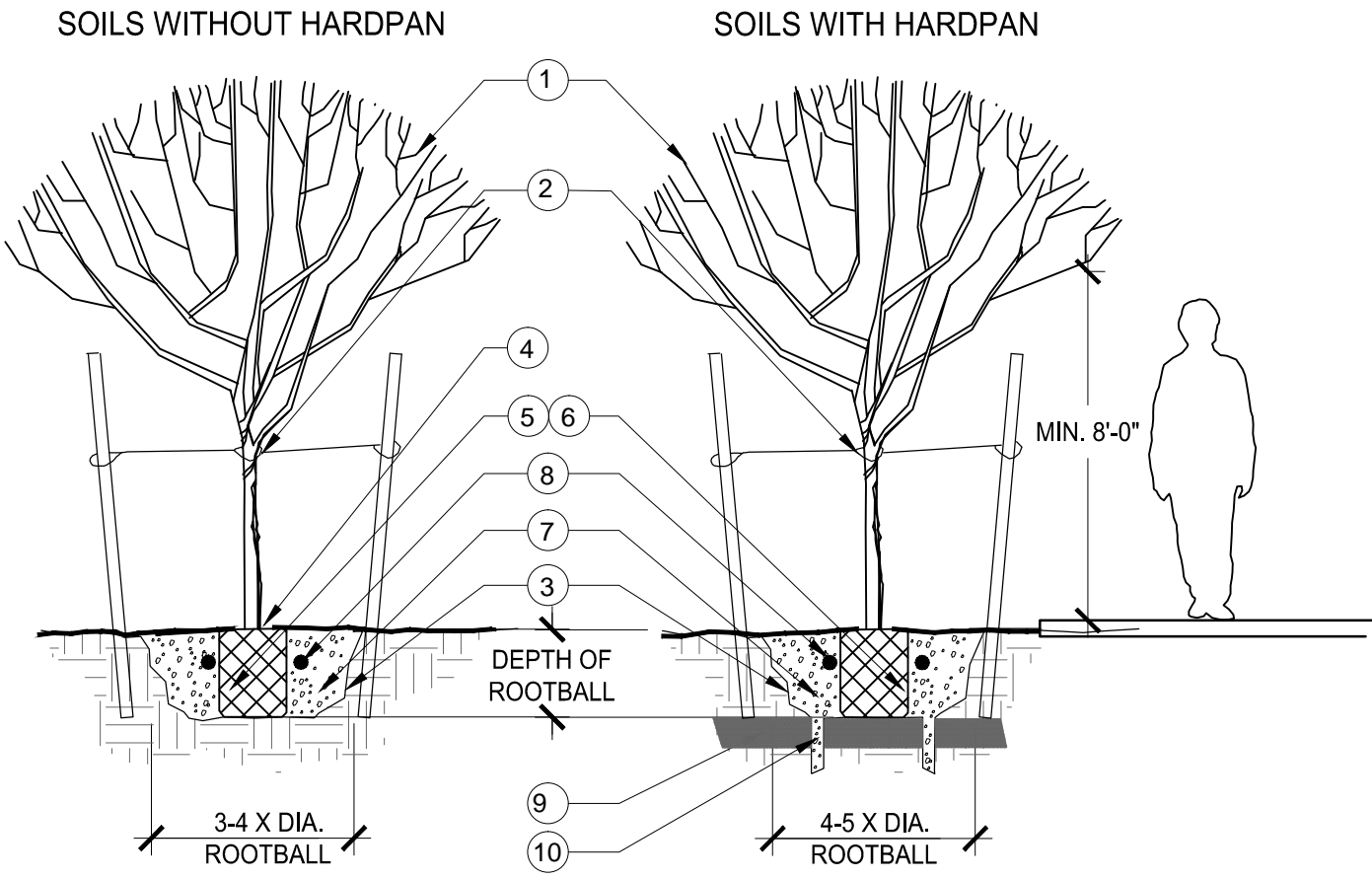
IRRIGATION
PLAN

L2.0

ARIZONA BLUESTAKE
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CALL TWO WORKING DAYS
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EXHIBIT 3.3

FERTILIZER TABLET SCHEDULE
AGRIFORM FERTILIZER TABLETS OR EQUAL.
PLACE TABLETS DOWN ALONG PLANT ROOTBALL
1 PER 1 GAL.,
2 PER 5 GAL.,
4 PER 15 GAL.,
6 PER 24"BOX
6 PER 36" BOX OR LARGER

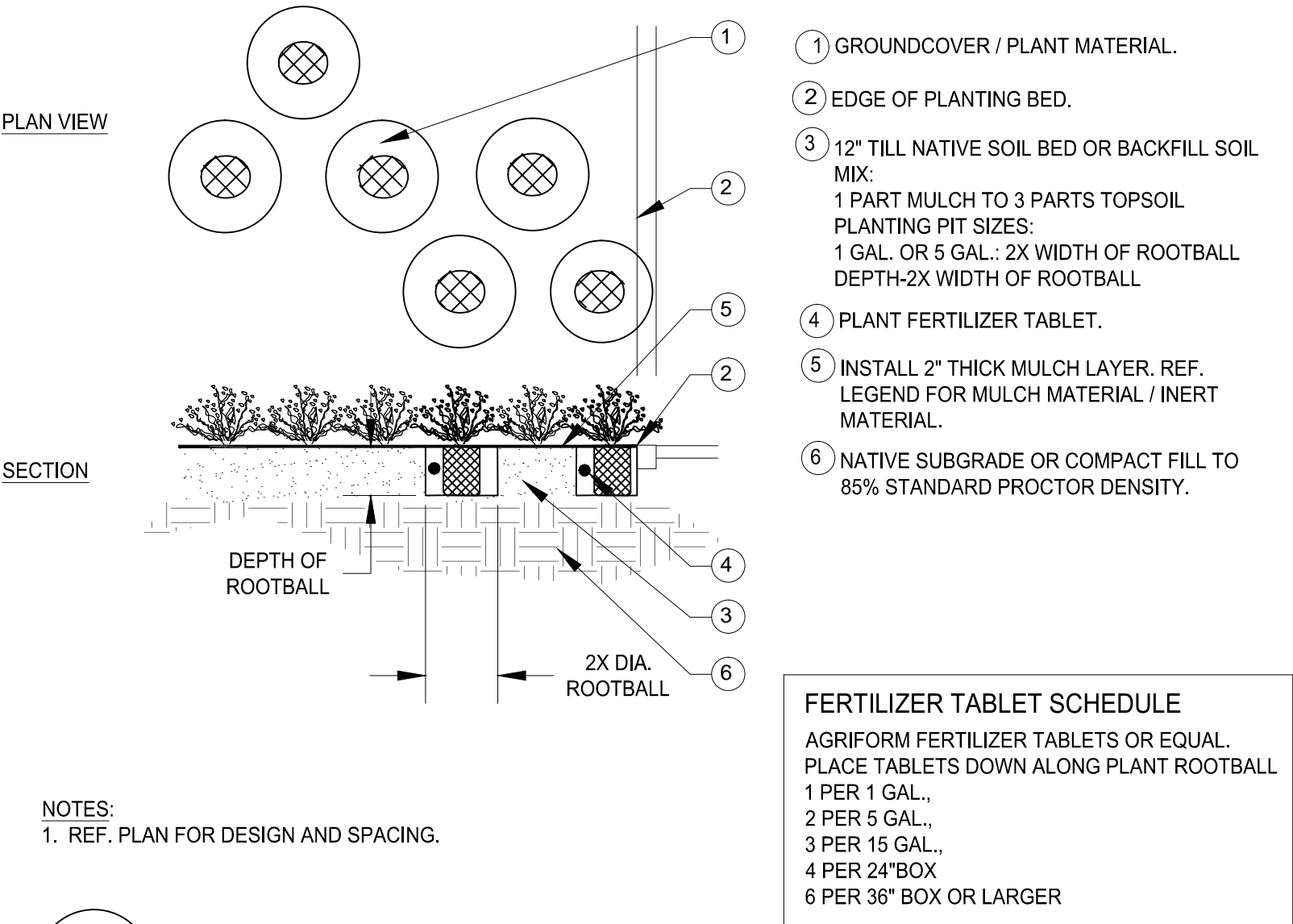


1. TREE.
2. REF. STAKING DETAIL.
3. WALLS OF UNDISTURBED SOIL SHOULD BE SLOPED WITH ROUGH EDGES.
4. TOP OF ROOTBALL FLUSH OR SLIGHTLY ABOVE FINISH GRADE.
5. PLACE ROOTBALL ON UNDISTURBED SOIL.
6. FREE OR CUT CIRCLING ROOTS (UNLESS PLANTS ARE KNOWN TO HAVE SENSITIVE ROOTS HANDLED WITH MINIMAL DISTURBANCE).
7. BACKFILL: PER SOIL AMENDMENT MIX OR NATIVE MATERIAL IF NONE DESCRIBED.
8. FERTILIZER TABLET. REFER TO FERTILIZER TABLET SCHEDULE.
9. UNDISTURBED HARDPAN
10. DIG A MIN. OF 3 DRAINAGE CHIMNEY HOLES BESIDE ROOT BALL AND THROUGH HARDPAN

NOTES:
1. TRIM AND MAINTAIN TO PROVIDE A MINIMUM 8'-0" CLEARANCE FROM PATH TO TREE CANOPY.

1 TREE PLANTING

SCALE: N.T.S.



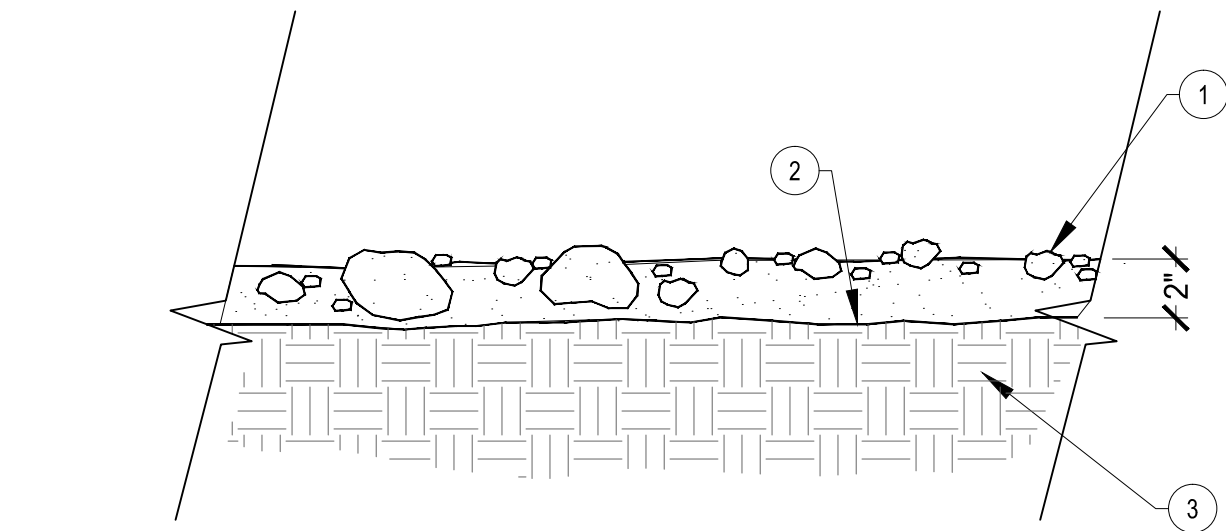
NOTES:
1. REF. PLAN FOR DESIGN AND SPACING.

1. GROUNDCOVER / PLANT MATERIAL.
2. EDGE OF PLANTING BED.
3. 12" TILL NATIVE SOIL BED OR BACKFILL SOIL MIX:
1 PART MULCH TO 3 PARTS TOPSOIL
PLANTING PIT SIZES:
1 GAL. OR 5 GAL.: 2X WIDTH OF ROOTBALL
DEPTH-2X WIDTH OF ROOTBALL
4. PLANT FERTILIZER TABLET.
5. INSTALL 2" THICK MULCH LAYER. REF. LEGEND FOR MULCH MATERIAL / INERT MATERIAL.
6. NATIVE SUBGRADE OR COMPACT FILL TO 85% STANDARD PROCTOR DENSITY.

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4 GROUNDCOVER PLANTING

SCALE: N.T.S.

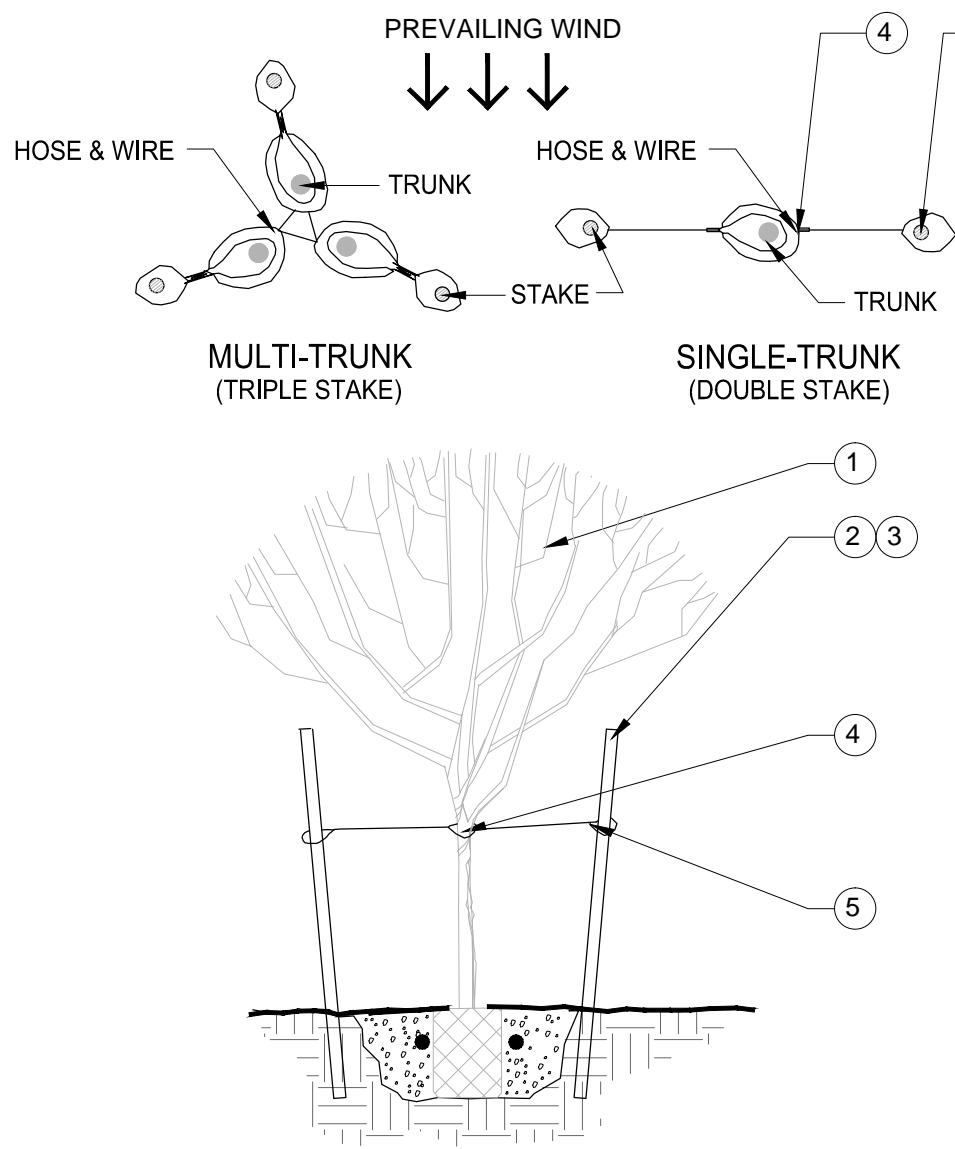


1. DECOMPOSED GRANITE PER PLANTING LEGEND
2. FINISH GRADE PER PLANS
3. ENSURE PLANTING AREAS ARE FREE OF DEBRIS AND WEEDS
COMPACT TO 85% PROCTOR DENSITY. PRE-TREAT FINISH GRADED LANDSCAPE AREAS WITH PRE-EMERGENT CHEMICAL APPLICATION

NOTES:
1. COORDINATE FINAL GRADES WITH LANDSCAPE ARCHITECT AND PER PLANS.
2. REAPPLY DG TO AREAS THAT SETTLE.WET DG ROCK AFTER INSTALL TO REMOVE DUST AND SETTLE ROCK.
3. WASH DG FROM ADJACENT PAVEMENTS.
4. APPLY POST EMERGENT WEED CONTROL AFTER LANDSCAPE INSTALL COMPLETED.

7 GRANITE INSTALLATION

SCALE: N.T.S.

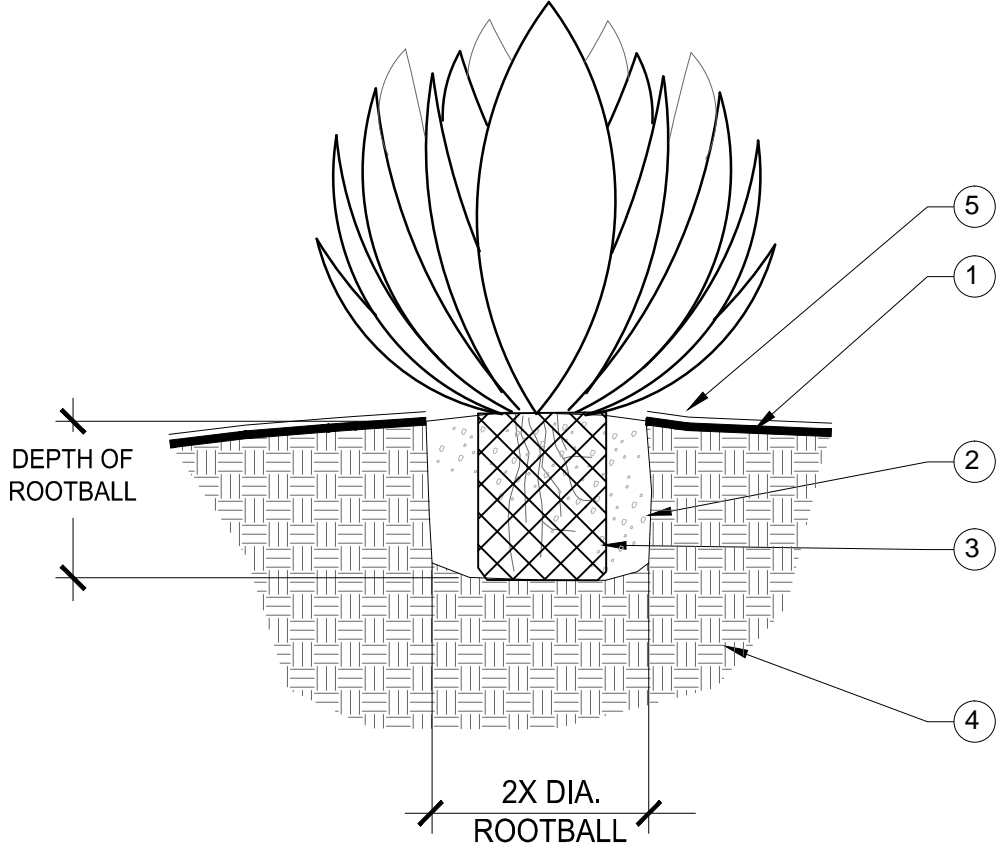


1. TREE PLANTING, REF. DETAIL.
2. 2" DIA. LODGEPOLE OR 2" SQ. STAKES DRIVEN VERTICALLY OR SLIGHT ANGLE IN UNDISTURBED SOIL. 8" TALL FOR #15 GAL. SIZE, 10" TALL FOR 24" BOX OR LARGER. NOTCH EACH STAKE WITH 3/4" CUT TO SECURE WIRE AT.
3. PLACE OR CUT STAKES OFF BELOW THE CANOPY TO PREVENT DAMAGE TO OVERHEAD BRANCHES.
4. PLACE HOSE AND WIRE 6" ABOVE STRESS POINT OF TREE. NOTCH BACKSIDE OF POLY. USE 1/2" ID RUBBER HOSE 12"-15" LONG MIN.
5. #12 DOUBLE STAND GALVANIZED WIRE, WRAP MINIMUM TWICE AROUND STAKE AND SECURE. WRAP MINIMUM OF 5X TO TIGHTEN WIRE END.

NOTES:
1. TYPICALLY LARGE SALVAGED TREES DO NOT NEED STAKING.
2. THE CONTRACTOR MAY USE THEIR OWN DISCRETION IN STAKING TREES OF 52" BOX OR LARGER AND SHOULD REVIEW SITE SPECIFIC CONDITIONS AND EACH TREE TO DETERMINE IF STAKING IS NECESSARY.
3.DO NOT DISTURB IRRIGATION SYSTEM DURING STAKING.
4. DOUBLE STAKE SINGLE TRUNK TREES, TRIPLE STAKE MULTI-TRUNK TREES.

2 TREE STAKING DETAIL

SCALE: N.T.S.

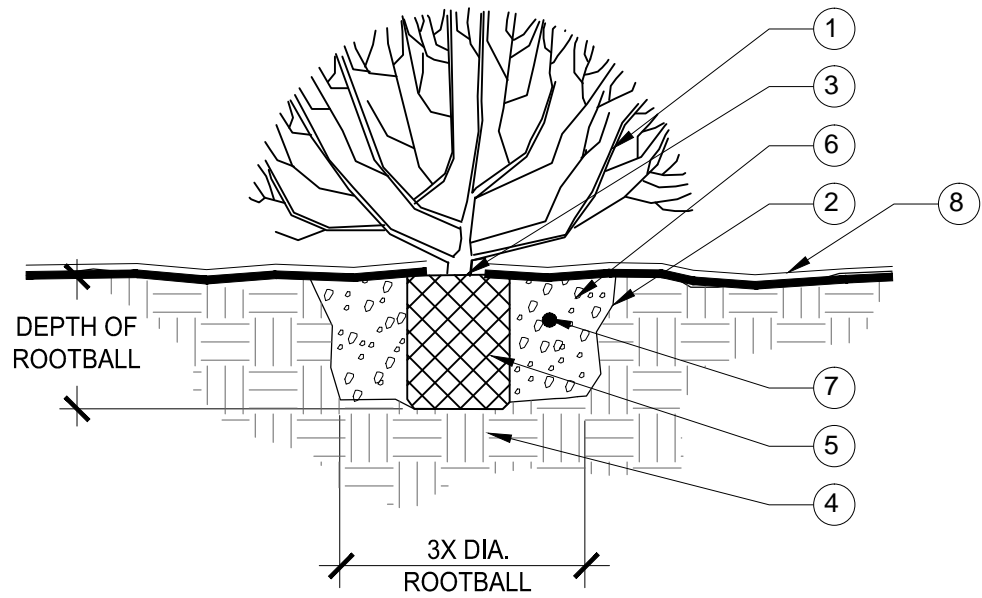


1. FINISH GRADE. SLOPE AWAY FROM BASE OF PLANT.
2. PLANTING PIT TO BE AS DEEP AS ROOTS.
3. BACKFILL TO BE NATIVE SOIL TREATED WITH SOIL SULFUR. HAND TAMP IN PLACE. WATER ONLY AT TIME OF PLANTING.
4. NATIVE SOIL. REMOVE ROCK 1" OR LARGER FROM BACKFILL.
5. INERT MULCH OR DG. REFER TO LEGEND.

NOTES:
1. IN AREAS WHERE CALICHE OR HARDPAN OCCURS BENEATH THE ROOTS, BORE THROUGH IT WITH AN 8" DIAMETER HOLE 12" DEEP.
2. PLANT AT SAME LEVEL AS FINISH GRADE OF ORIGINAL SOIL LINE OF BASE OF PLANT.

5 ACCENT PLANTING - CONTAINER

SCALE: N.T.S.



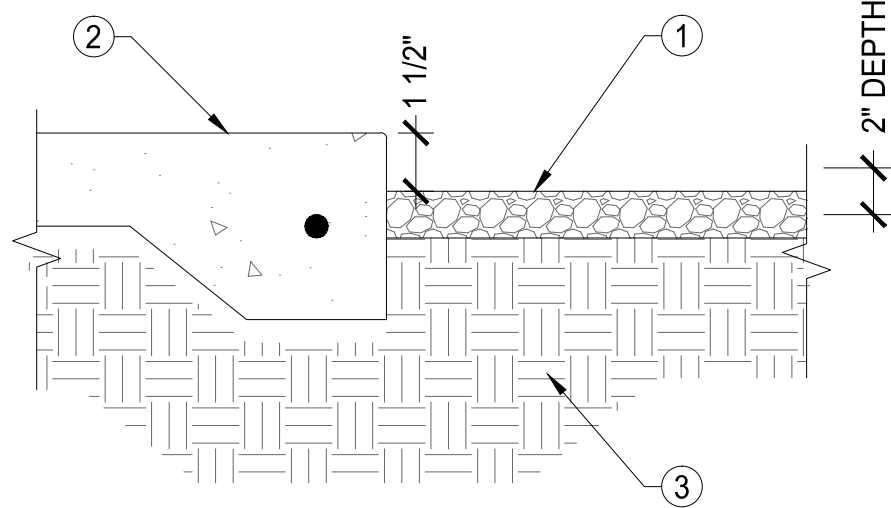
1. PLANT.
2. WALLS OF UNDISTURBED SOIL SHOULD BE SLOPED WITH ROUGH EDGES.
3. TOP OF ROOTBALL FLUSH OR SLIGHTLY ABOVE FINISH GRADE.
4. PLACE ROOTBALL ON UNDISTURBED SOIL
5. FREE OR CUT CIRCLING ROOTS (UNLESS PLANTS ARE KNOWN TO HAVE SENSITIVE ROOTS HANDLE WITH MINIMAL DISTURBANCE).
6. BACKFILL: PER SPECIFIED SOIL AMENDMENT MIX, OR NATIVE MATERIAL IF NONE DESCRIBED. REMOVE ALL ROCK 1" OR GREATER FROM BACKFILL.
7. FERTILIZER TABLET. REFER TO FERTILIZER TABLET SCHEDULE .
8. INERT MULCH OR DG. REFER TO LEGEND.

NOTES:
1. PROVIDE ADEQUATE DRAINAGE. REFER TO DETAIL REGARDING SOILS WITH HARDPAN OR CALICHE.

FERTILIZER TABLET SCHEDULE
AGRIFORM FERTILIZER TABLETS OR EQUAL.
PLACE TABLETS DOWN ALONG PLANT ROOTBALL
1 PER 1 GAL.,
2 PER 5 GAL.,
4 PER 15 GAL.,
6 PER 24"BOX
6 PER 36" BOX OR LARGER

3 SHRUB PLANTING

SCALE: N.T.S.

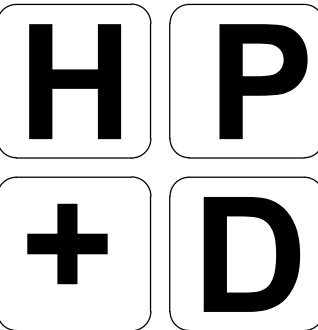


1. DECOMPOSED GRANITE PER PLANTING LEGEND
2. CONCRETE CURB OR WALK PER CIVIL PLANS
3. ENSURE PLANTING AREAS ARE FREE OF DEBRIS AND WEEDS. COMPACT TO 85% PROCTOR DENSITY. PRE-TREAT FINISH GRADED LANDSCAPE AREAS WITH PRE-EMERGENT CHEMICAL APPLICATION

NOTES:
1. COORDINATE FINAL GRADES WITH LANDSCAPE ARCHITECT AND PER CIVIL PLANS.
2. REAPPLY DG TO AREAS THAT SETTLE.
3. WET DG ROCK AFTER INSTALL TO REMOVE DUST AND SETTLE ROCK.
4. WASH DG FROM ADJACENT PAVEMENTS.
5. APPLY POST EMERGENT WEED CONTROL AFTER LANDSCAPE INSTALL COMPLETED.

6 CONCRETE / GRANITE TRANSITION

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SEC E. Skyline Dr. & Sierra Vista Dr.
Phoenix, Arizona 85042

REV.	COMMENT	DATE

Final Submittal	04.27.22
Preliminary Submittal	11.19.21
ISSUE	DATE

LANDSCAPE PACKAGE

April 27, 2022
DRAWN BY: TKW
CHECK BY: JEH
PROJ. NO.: 2021-062
CASE NO.:

LANDSCAPE
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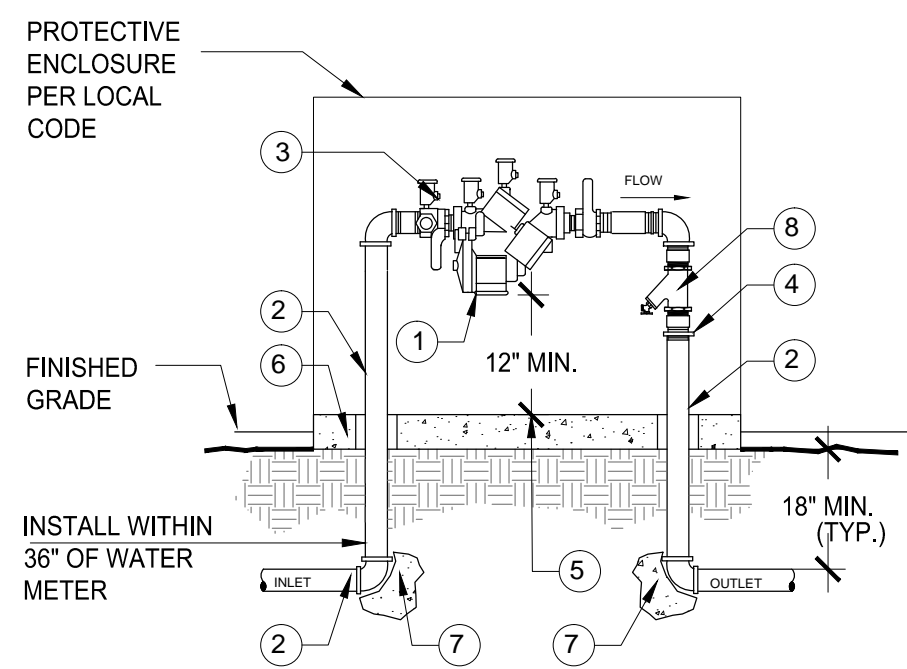
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4 of 6

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EXHIBIT 3.4



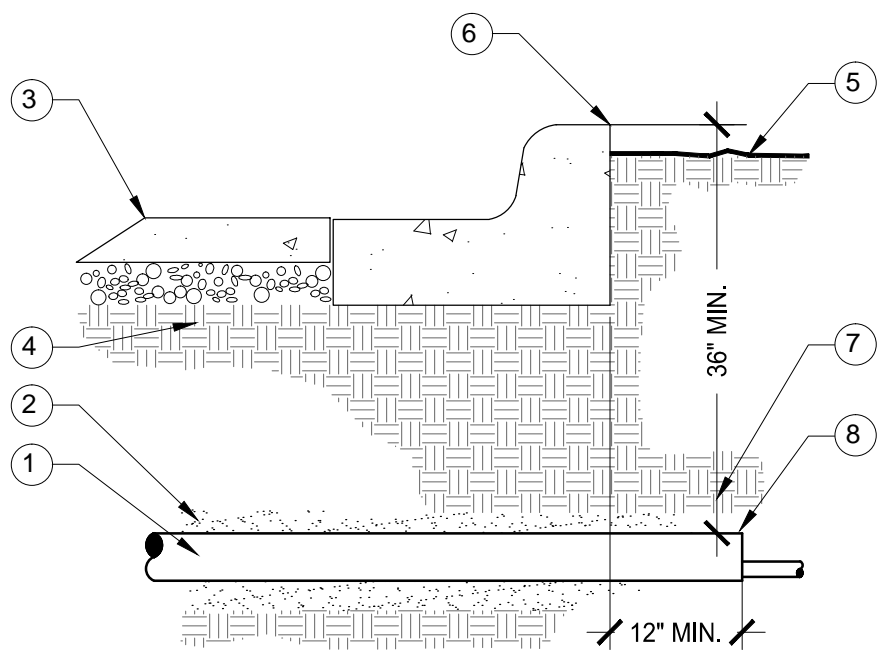
- NOTES:
1. INSTALL PER LOCAL CODES.
 2. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, INSPECTIONS PER GOVERNING CODE.
 3. ADAPT INLET/OUTLET TO MAIN AS REQ'D.
 4. ASSEMBLY SHALL BE INSTALLED LEVEL AND NOT IN A FLOOD PLAIN.
 5. ASSEMBLY SHALL BE TESTED PRIOR TO BEING ACCEPTED.

- 1 APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY, BALL VALVES INCLUDED.
- 2 PIPING SHALL BE TYPE "K" HARD COPPER PIPE AND FITTINGS (3/4" THRU 2-1/2") USING LEAD-FREE SOLDER.
- 3 BRASS PLUGS ARE REQUIRED ON ALL TEST COCKS.
- 4 BRASS OR COPPER UNION (INSTALL ON DISCHARGE SIDE).
- 5 HEIGHT REQUIREMENTS FOR ASSEMBLIES (12" MIN., 24" MAX.).
- 6 4" CONCRETE PAD, CLASS B
- 7 THRUST BLOCKS FOR 2" OR GREATER.
- 8 BRASS Y-STRAINER, (30 MESH).

6. ASSEMBLY SHALL NOT BE INSTALLED ANY CLOSER THAN 18" FROM A WALL OR OBSTRUCTION, (IF TEST COCKS FACE THE WALL, OR 12" FROM A WALL IF TEST COCKS FACE AWAY).
7. CONCRETE SUPPORT PAD SHALL BE A MINIMUM OF 4" LARGER IN ALL DIMENSIONS THAN ENCLOSURE.
8. FINISHED GRADE UNDERNEATH ASSEMBLY SHALL BE AT 95% COMPACTION.
9. CONCRETE PAD PENETRATIONS TO BE 1" LARGER THAN PIPE SIZE.

1 BACKFLOW PREVENTER

SCALE: N.T.S.

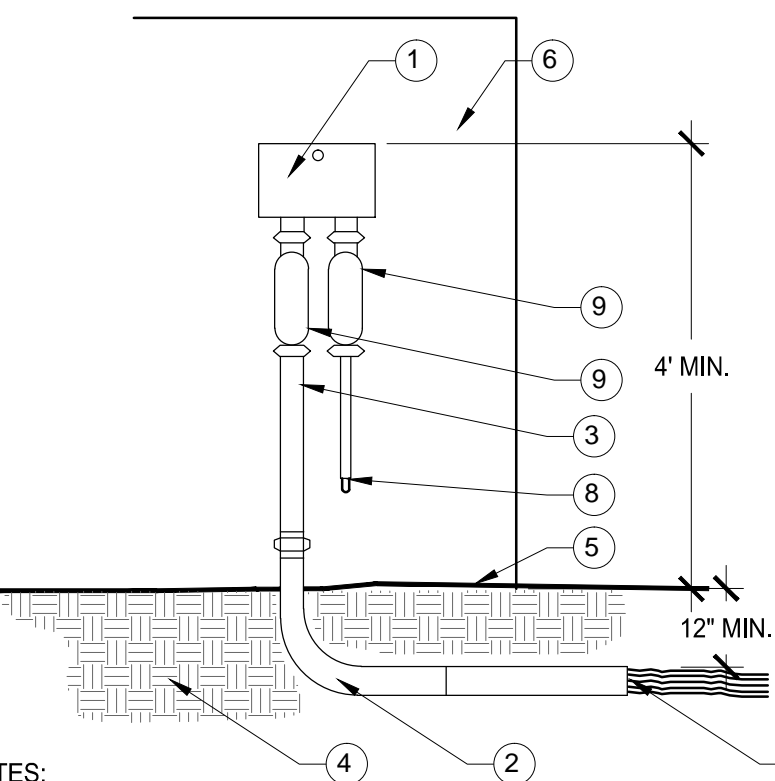


- NOTES:
1. CAP SLEEVES UNTIL USE.
 2. MULTIPLE SLEEVES REQUIRE 4" SEPERATION WITHIN SAME SLEEVE TRENCH.
 3. PROVIDE SEPERATE WATER LINE AND WIRE SLEEVES AS REQUIRED. NO WIRES IN WATER SLEEVES.

- 1 SCH. 40 PVC SLEEVE. TWICE DIAMETER OF SERVICE PIPE. SEE SLEEVE/PIPE SCHEDULE.
- 2 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 3 PAVING.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 DISCRETELY PAINT OR MARK EDGE OF PAVING, CURB, OR WALK AT SLEEVE LOCATIONS.
- 7 36" MIN. DEPTH OR PER LOCAL CODE.
- 8 EXTEND SLEEVES 12" BEYOND EDGES.

4 IRRIGATION SLEEVE

SCALE: N.T.S.

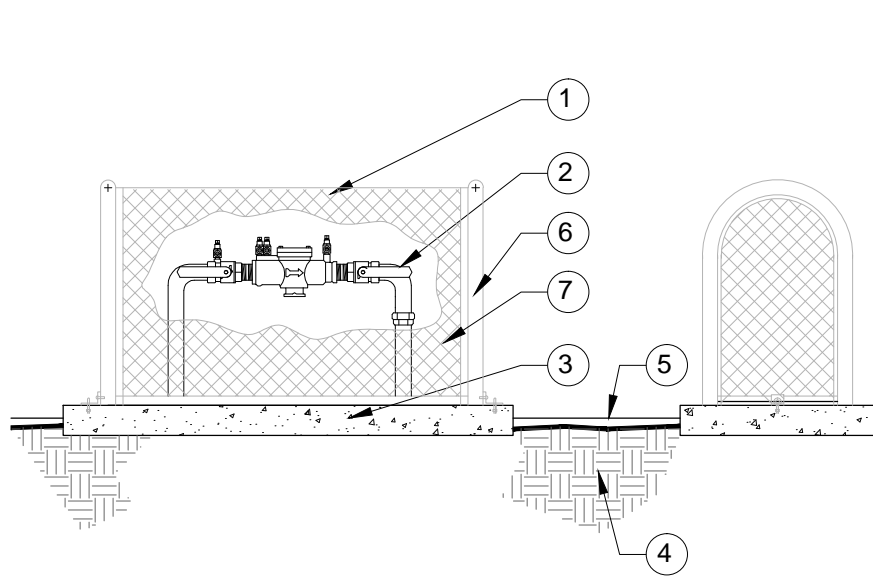


- NOTES:
1. INSTALL WIRING PER LOCAL CODE AND MFG. RECOMMENDATIONS.
 2. PROVIDE LIGHTNING PROTECTION AND GROUNDING FOR CONTROLLER.
 3. PROVIDE LOCK FOR CONTROLLER ENCLOSURE.
 4. PLACE WEATHERPROOF COPY OF CONTROLLER SCHEDULE INSIDE ENCLOSURE.

- 1 WALL MOUNTED CONTROLLER. PROVIDE LOCKING ENCLOSURE. LOCATE PER PLAN.
- 2 PVC SCH 40 ELL SWEEP FOR ELECTRICAL CONDUIT
- 3 STEEL CONDUIT.
- 4 COMPACT SOIL AROUND CONTROLLER CONDUIT TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 WALL SURFACE.
- 7 CONTROL VALVE WIRES AND SENSOR WIRE FEED.
- 8 120V POWER AND GROUND SOURCE. COORDINATE WITH ELECTRICAL CONTRACTOR.
- 9 J-BOX.

7 CONTROLLER, WALL MOUNT

SCALE: N.T.S.



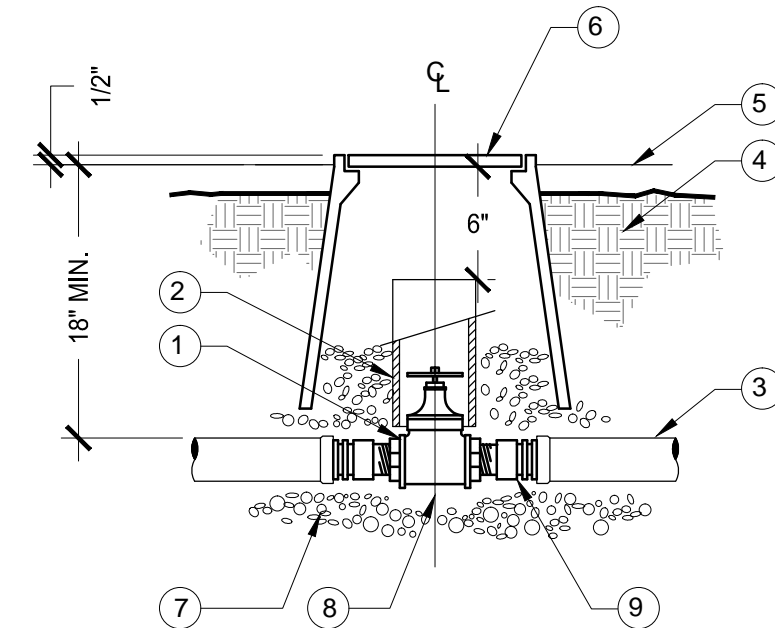
- NOTES:
1. CONCRETE PAD SHALL BE SET PARALLEL W/ GRADE.
 2. TEFLON SEAL ALL THREAD JOINTS.
 3. SET EYEBOLT WITH BOTTOM OF CIRCLE FLUSH WITH CONCRETE BASE THEN EYEBOLT CANNOT BE TURNED WHEN BRACKET IS IN PLACE.
 4. BOLT BRACKET TO ENCLOSURE ON ENDS OR BOTH SIDES. USE 1/4"X 1 1/4" TAMPER-PROOF BOLTS WITH HEX NUTS AND WASHERS PROVIDED.

- 1 METAL BACKFLOW ENCLOSURE, PAINT PER OWNER DIRECTION.
- 2 BACKFLOW PREVENTER.
- 3 4" CONCRETE PAD, CLASS B (2000 PSI), EXTEND 4" AROUND ENCLOSURE.
- 4 COMPACT SOIL AROUND BACKFLOW ENCLOSURE TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 TUBE STEEL FRAME,
- 7 EXPANDED METAL, #12 GAUGE, SIDES AND TOP.

5. WELD ENCLOSURE SOLID AT ALL JOINTS.
6. TOOL EXPOSED CONCRETE EDGES TO 3/8" RADIUS.
7. MIN. CLEARANCE INSIDE CAGE TO BE 6".

2 BACKFLOW PREVENTER ENCLOSURE

SCALE: N.T.S.

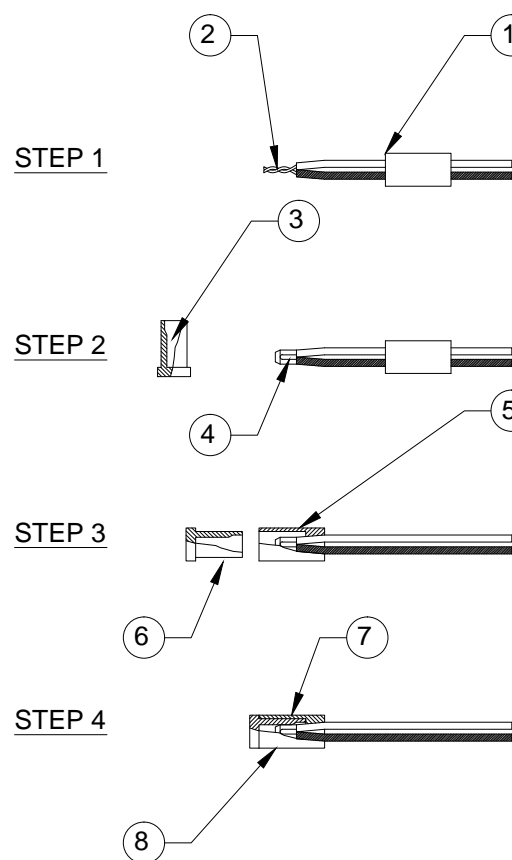


- NOTES:
1. SET VALVE BOX 3/8" ABOVE FINISHED GRADE.
 2. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.
 3. DO NOT REST VALVE BOX ON MAIN LINE.
 4. PROVIDE SUPPORT BRICKS TO VALVE BOX AS NECESSARY.
 5. PROVIDE STAINLESS STEEL FASTENERS FOR LOCKING COVER.

- 1 THREADED BRONZE GATE VALVE WITH SOLID WEDGE, NON-RISING STEM PER LEGEND.
- 2 PVC CL 200 PIPE (LENGTH AS REQUIRED), 6-INCH DIA.
- 3 PVC SCH 40 MAINLINE.
- 4 COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL. 10" MIN. SIZE. COLOR TO BE TAN IN DG, GREEN IN TURF.
- 7 3/8" WASHED PEA GRAVEL SUMP, 1 CU. FT. (12"X12"X12").
- 8 PROVIDE THRUST BLOCK FOR VALVES 2" OR LARGER.
- 9 SCH 80 PVC COUPLING, 2 PLS.

5 GATE VALVE ASSEMBLY

SCALE: N.T.S.

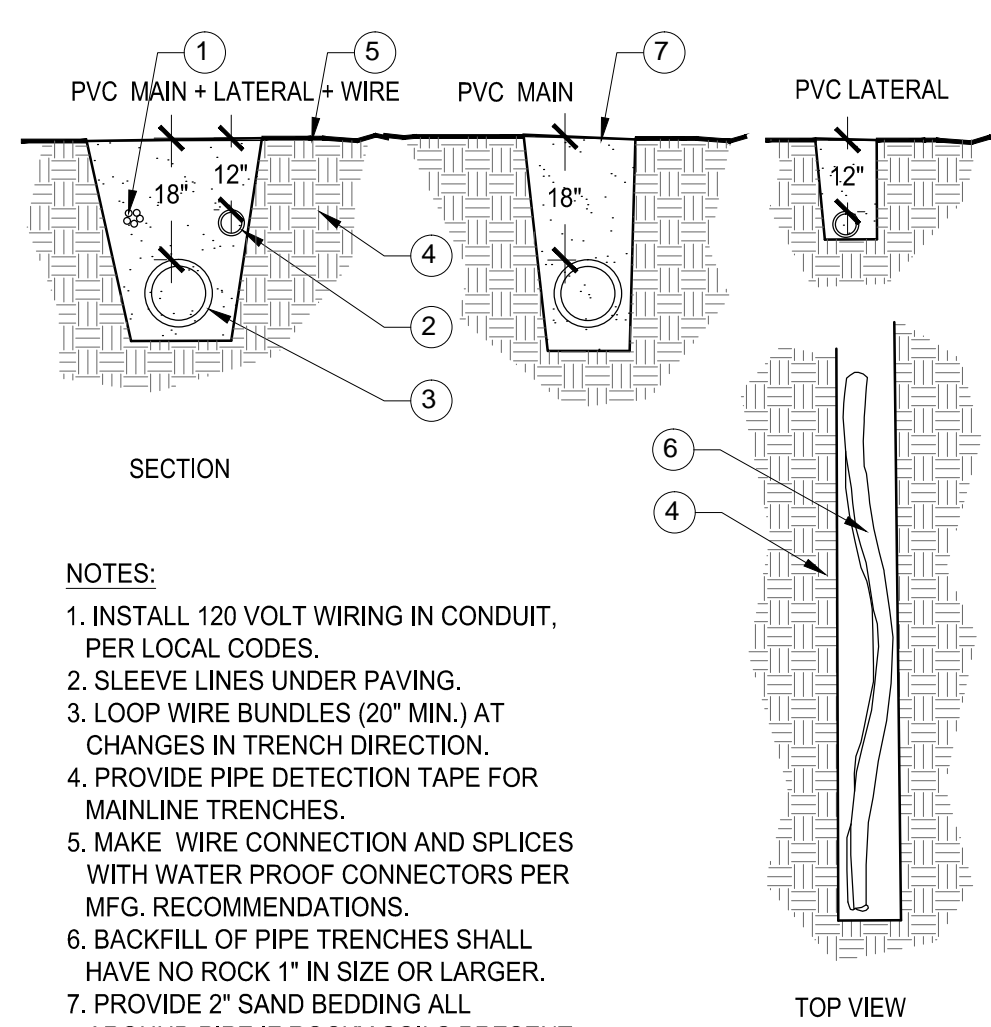


NOTE: FOR WIRE SIZES NO.14, NO.12, AND NO.10

- 1 SLIP BASE SOCKET OVER END OF WIRES.
- 2 STRIP WIRES 3/8" FROM ENDS, TWIST ENDS TOGETHER.
- 3 APPLY SEALER TO OUTSIDE OF SEALING PLUG, FILL CAVITY WITH SEALER.
- 4 PLACE CRIMP SLEEVE OVER WIRE ENDS. CRIMP SLEEVE AND BEND OVER EXCESS WIRE.
- 5 PLACE BASE SOCKET OVER WIRE END SNUG TO CRIMP SLEEVE.
- 6 PUSH SEALING PLUG INTO BASE SOCKET.
- 7 PUSH WIRES TO END OF BASE SOCKET TO ASSURE COMPLETE SEALING OF CONNECTION..
- 8 RAINBIRD PEN-TITE WIRE CONNECTOR APPROVED EQUAL.

8 IRRIGATION WIRE CONNECTIONS

SCALE: N.T.S.



- NOTES:
1. INSTALL 120 VOLT WIRING IN CONDUIT, PER LOCAL CODES.
 2. SLEEVE LINES UNDER PAVING.
 3. LOOP WIRE BUNDLES (20" MIN.) AT CHANGES IN TRENCH DIRECTION.
 4. PROVIDE PIPE DETECTION TAPE FOR MAINLINE TRENCHES.
 5. MAKE WIRE CONNECTION AND SPLICES WITH WATER PROOF CONNECTORS PER MFG. RECOMMENDATIONS.
 6. BACKFILL OF PIPE TRENCHES SHALL HAVE NO ROCK 1" IN SIZE OR LARGER.
 7. PROVIDE 2" SAND BEDDING ALL AROUND PIPE IF ROCKY SOILS PRESENT.

- 1 CONTROL WIRE BUNDLE, TAPE AT 10' INTERVALS.
- 2 PVC LATERAL LINE.
- 3 PVC SCH 40 MAINLINE.
- 4 COMPACT SOIL AROUND CONTROL VALVE PIT ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL..
- 5 FINISH GRADE / TOP OF DG.
- 6 SNAKE PVC PIPE IN TRENCHES.
- 7 COMPACT TRENCH BACKFILL IN 6" LIFTS. DENSITY TO MATCH ADJACENT SOIL CONDITIONS.

3 IRRIGATION TRENCH

SCALE: N.T.S.

- NOTES:
1. DRIP VALVE ASSEMBLY - SEE BELOW
 2. CONTROL VALVE - SEE BELOW
 3. MASTER VALVE - MV CENTER ON LID
 4. QUICK COUPLER - QC CENTER ON LID
 5. WIRE SPLICE - WS CENTER ON LID
 6. GATE VALVE - GV CENTER ON LID
 7. FLOW SENSOR - FS CENTER ON LID
 8. LETTERS MUST BE STRAIGHT AND LEGIBLE. LIDS WITH INCORRECT SPELLING OR INCORRECT PRODUCT LABEL SHALL BE REPLACED AT NO CHARGE BY CONTRACTOR.

6 VALVE BOX BRANDING

SCALE: N.T.S.

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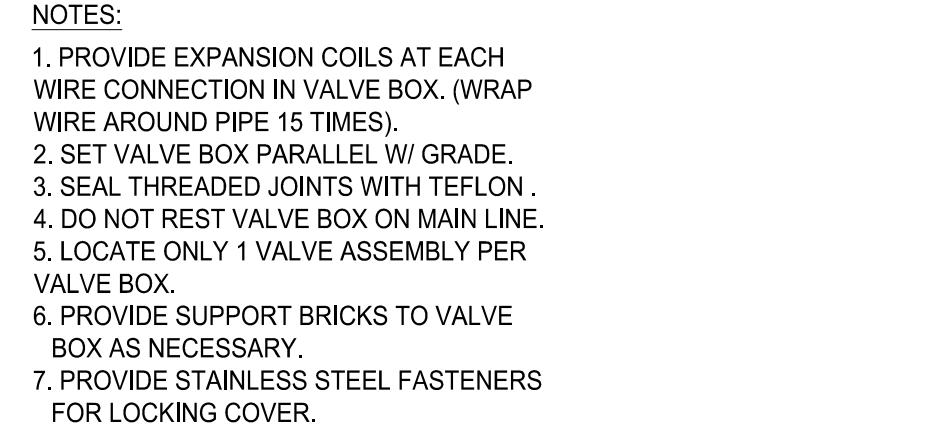
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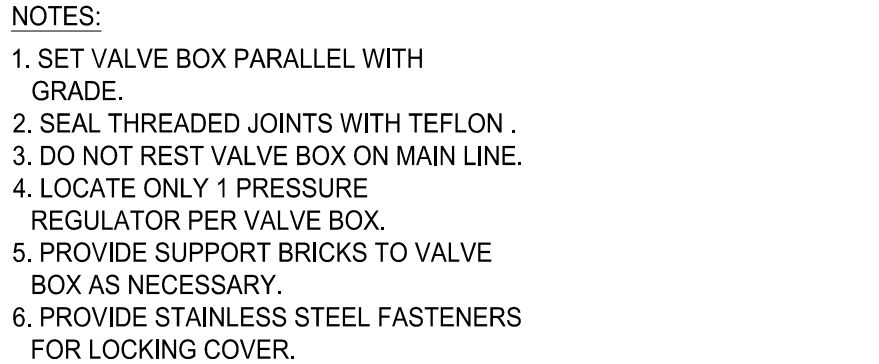
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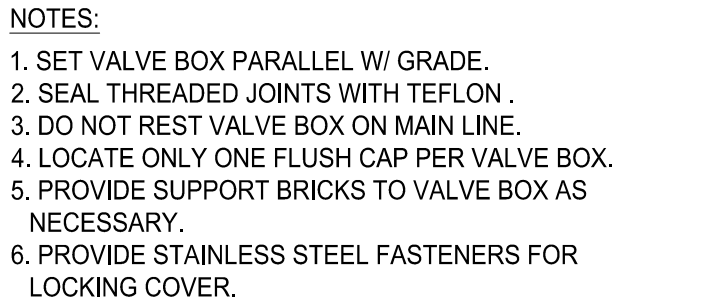
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- ① ELECTRIC REMOTE VALVE PER LEGEND.
- ② EPOXY FILLED CYLINDER WIRE CONNECTORS.
- ③ PVC SCH 40 MAINLINE.
- ④ COMPACT SOIL AROUND CONTROL VALVE PIT ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- ⑤ FINISH GRADE / TOP OF DG.
- ⑥ 12" VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL. TAN COLOR IN DG, GREEN IN TURF.
- ⑦ ¾" WASHED PEA GRAVEL SUMP, 2 CU. FT MIN.
- ⑧ PVC ISOLATION BALL VALVE.
- ⑨ CONTROLLER WIRE, TAPE AND BUNDLE AT 10' INTERVALS.
- ⑩ PVC SCH 40 UNION.
- ⑪ WYE FILTER (#150 MESH) WITH STAINLESS STEEL SCREEN. POSITION TO ONE SIDE AND DOWNWARD.
- ⑫ PVC SCH 40 FITTINGS.
- ⑬ VALVE TAG, STANDARD VALVE I.D. AND LETTER TO CORRESPOND TO CONTROLLER AND VALVE NUMBER. AFFIX TO CONTROL WIRE W/ ELECTRICAL WIRE TIE.

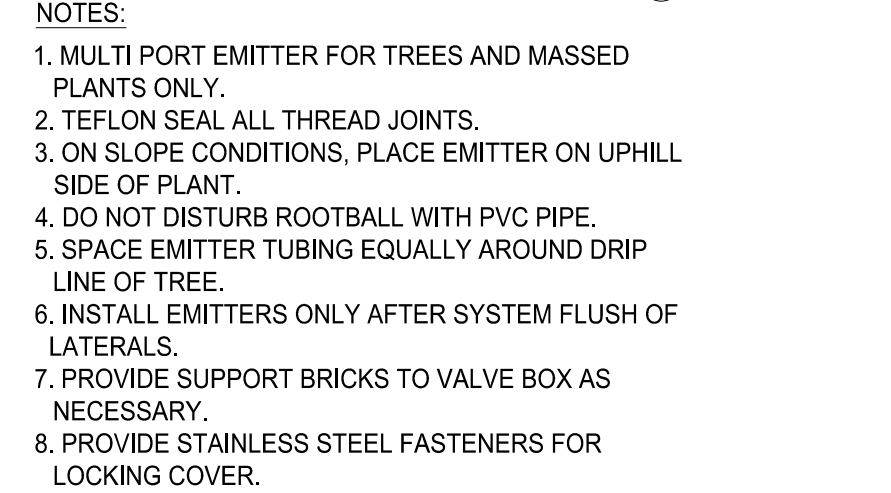


- ① PRESET PRESSURE REGULATOR, 30 PSI OR PER LEGEND.
- ② PVC SCH 80 FITTINGS.
- ③ PVC SCH 40 MAINLINE / LATERAL.
- ④ COMPACT SOIL AROUND PRESSURE REGULATOR ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL
- ⑤ FINISH GRADE / TOP OF DG.
- ⑥ 12" VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL. COLOR TO BE TAN IN DG, GREEN IN TURF
- ⑦ 3" WASHED PEA GRAVEL SUMP, 1 CU. FT. (12"x12"x12") MIN.
- ⑧ PCV ELL. 3" W/ SWIVEL W/ SCHRADER PRESSURE CHECK VALVE.
- ⑨ PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND.
- ⑩ PVC SCH 80 UNION.

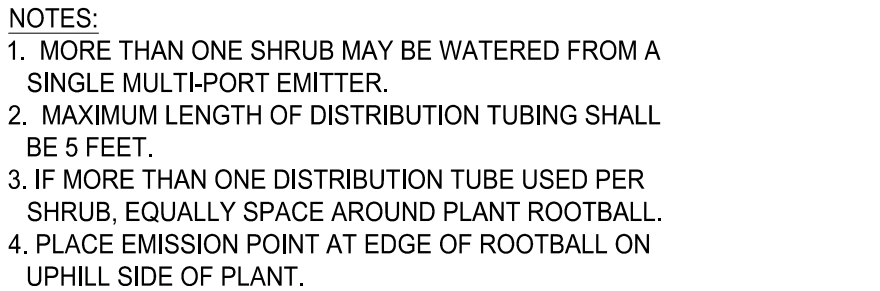


- ① BRONZE 1/2" THREADED FULL-PORT BALL VALVE.
- ② PVC SCH 80 FITTINGS.
- ③ PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND
- ④ COMPACT SOIL. AROUND FLUSH CAP ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- ⑤ FINISH GRADE / TOP OF DG.
- ⑥ VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL. 10" MIN. SIZE. COLOR TO BE TAN IN DG, GREEN IN TURF.
- ⑦ 3/4" WASHED PEA GRAVEL SUMP, 1 CU. FT MIN.
- ⑧ PVC SCH 80 1/2" NIPPLE RISER (LENGTH AS REQUIRED).

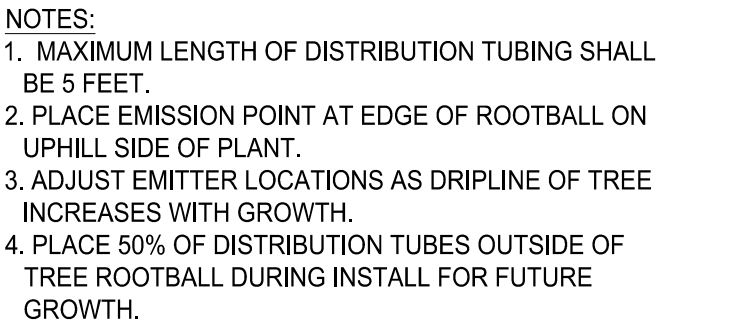
SCALE: N.T.S.



- 1) THREADED PRESSURE COMPENSATING EMITTER, SEE LEGEND FOR SIZE.
- 2) PVC SCH 80 FITTING, ELL OR TEE.
- 3) PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND.
- 4) COMPACT SOIL AROUND EMITTER TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5) FINISH GRADE / TOP OF DG.
- 6) BUB CAP.
- 7) 1/4" DISTRIBUTION TUBING. LOOP FOR A 5 FT. MAXIMUM LENGTH. NO KINKS IN TUBING.
- 8) PVC SCH 80 1/2" NIPPLE RISER, THREADED (LENGTH AS REQUIRED).
- 9) 3/8" WASHED PEA GRAVEL SLUMP, 1/2 CU. FT MIN.
- 10) 1/4" DISTRIBUTION TUBE EMITTER STAKE.
- 11) 6" VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL. COLOR TO BE TAN IN DG, GREEN IN TURF.



- ① EMISSION POINT (TYP.).
- ② PLANT ROOTBALL (TYP.).
- ③ MULTI-PORT EMITTER, SEE EMITTER DETAIL.
- ④ DISTRIBUTION TUBE, MAXIMUM LENGTH 5 FT. (TYP.) DO NOT KINK TUBING.
- ⑤ LATERAL PIPE, SCH 40 PVC OR PER IRRIGATION LEGEND.



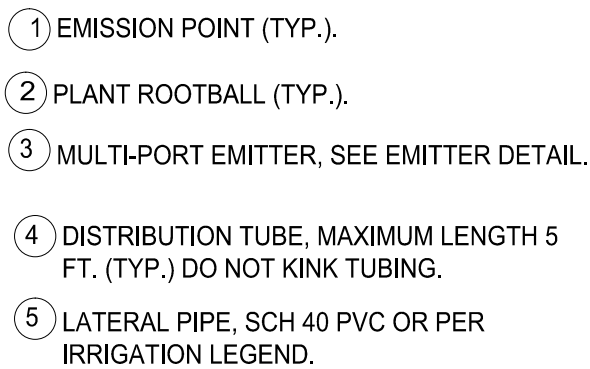
- ① EMISSION POINT (TYP.).
- ② PLANT ROOTBALL (TYP.).
- ③ MULTI-PORT EMITTER, SEE EMITTER DETAIL
- ④ DISTRIBUTION TUBE, MAXIMUM LENGTH 5 FT. (TYP.) DO NOT KINK TUBING.
- ⑤ LATERAL PIPE, SCH 40 PVC OR PER IRRIGATION LEGEND.
- ⑥ TREE CANOPY.

SCALE: N.T.S.

- 1 PRESSURE COMPENSATING EMITTER, THREADED. SEE LEGEND FOR SIZE
- 2 PVC SCH 80 FITTING, ELL. OR TEE
- 3 PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND
- 4 COMPACT SOIL AROUND EMITTER TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL
- 5 FINISH GRADE / TOP OF DG
- 6 BUG CAP
- 7 DISTRIBUTION TUBING, LOOP AROUND PVC FOR A 5' MAXIMUM LENGTH. DO NOT KINK TUBING
- 8 PVC SCH 80 1/2" NIPPLE RISER, THREADED (LENGTH AS REQUIRED)

- NOTES:**
1. SINGLE PORT EMITTER FOR SHRUBS, ACCENTS, AND GROUND COVERS ONLY.
 2. SEAL THREAD JOINTS WITH TEFLON.
 3. SLOPE CONDITIONS: PLACE EMITTER ON UPHILL SIDE OF PLANT.
 4. DO NOT DISTURB ROOTBALL WITH PVC PIPE.
 5. INSTALL EMITTERS ONLY AFTER SYSTEM FLUSH-OF
 6. LATERALS.

SCALE: N.T.S.



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IRRIGATION DETAILS

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