



MEETING DATE: NOVEMBER 1<sup>st</sup>, 2023

TO: PINAL COUNTY BOARD OF SUPERVISORS

CASE NO.: CSR-008-23 (MCDONALDS AT THOMPSON)

Case Coordinator: PATRICK ROBERTS, SENIOR PLANNER

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*Executive Summary:*

*This is a comprehensive sign package amendment to allow 15 signs, with a total signage area of 188.1 sq. ft. on a commercial lot for drive-thru restaurant. This is an amendment to CSR-001-09. Which permits commercial signage, but limits the available sign area to 94 sq. ft. The applicant is pursuing this amendment to allow signage consistent with the modern McDonalds brand preferences and to allow usage of electronic message board signs to be used as menu boards.*

If This Request is Approved:

The applicant shall be allowed to pursue permits to request 188.1 sq. ft. of signage and use of electronic message boards as menu boards as indicated in the sign plan.

Staff Recommendation/Issues for Consideration/Concern:

Staff recommends approval of this Comprehensive Sign Package as presented in the staff report.

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TAX PARCELS: 509-02-084A Legal on file

LANDOWNER: McDonalds Corp., John Hyder

APPLICANT/AGENT: Signarama Chandler and Persona Signs

REQUESTED ACTION & PURPOSE: Signarama Chandler and Persona Signs, Applicant, McDonald's Corp, Owner, requesting approval of a Comprehensive Sign Package amendment to case CSR-001-09 to allow the installation of signs with a total square footage of 188.1 square feet. The subject site is located on the Southeast corner of W Hunt Highway and N Thompson Rd in San Tan Valley.

LOCATION: The subject sites is at the Southeast corner of W Hunt Highway & N Thompson Rd in San Tan Valley, AZ.

SIGNAGE SIZE: This is a comprehensive sign package request to allow the following:

COMMUNITY DEVELOPMENT  
Planning Division

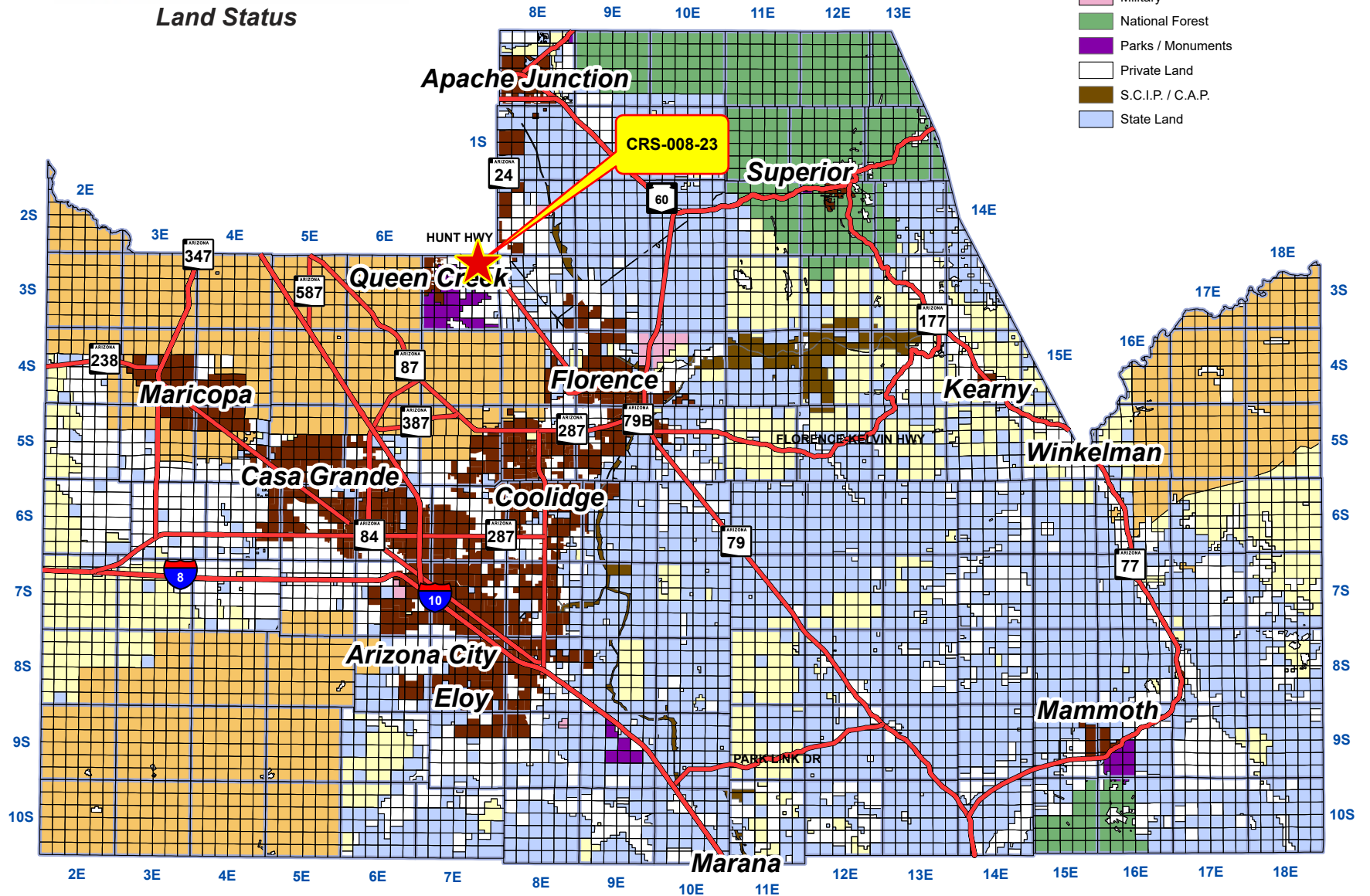


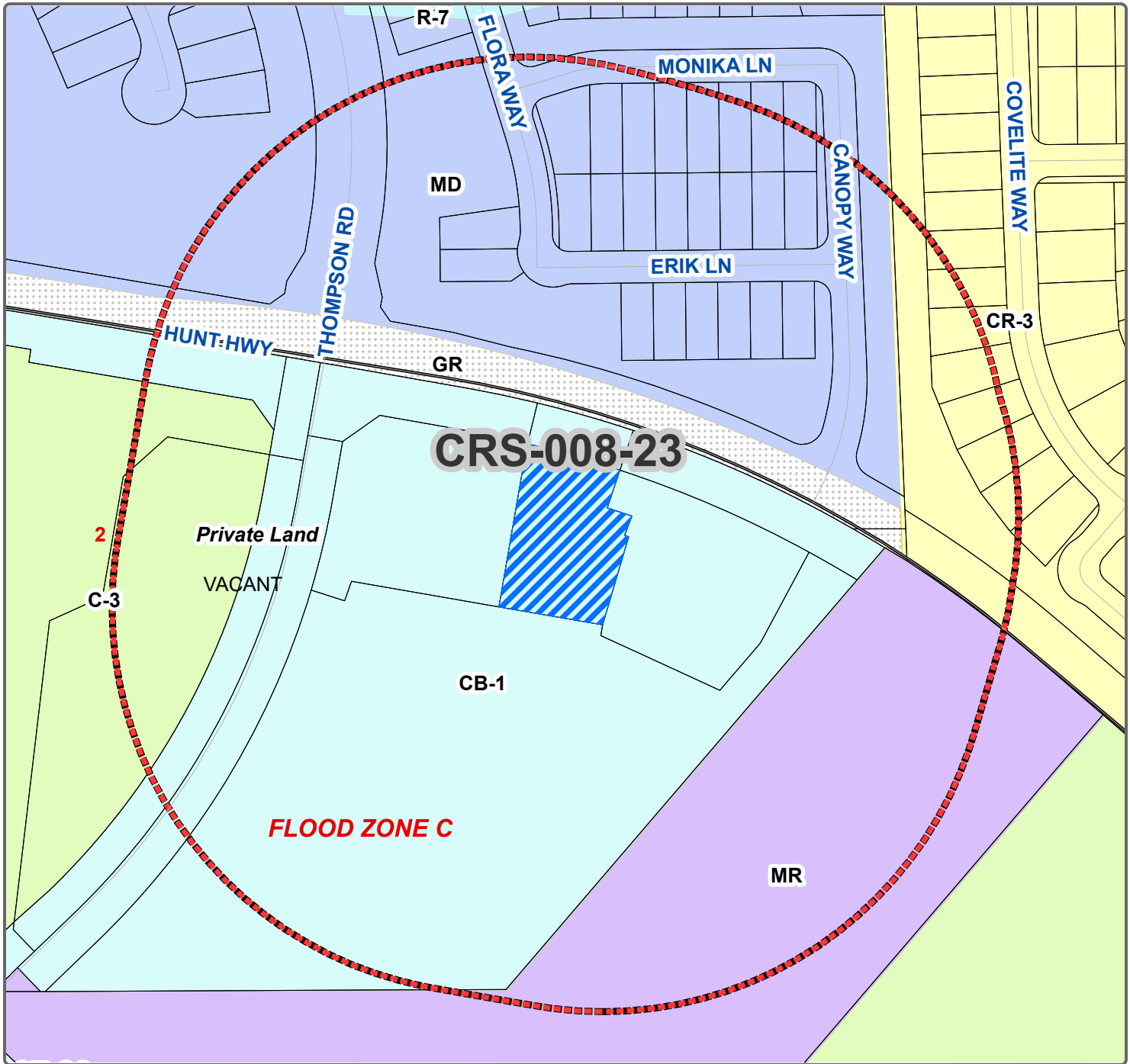
**PINAL COUNTY**  
WIDE OPEN OPPORTUNITY

**Land Status**

**Legend**

- B.L.M.
- Indian Community
- Military
- National Forest
- Parks / Monuments
- Private Land
- S.C.I.P. / C.A.P.
- State Land





### Community Development

CSR-008-23 – PUBLIC HEARING/ACTION: John Hyder – McDonald’s USA LLC , Owner, Persona Signs, applicant/agent, requesting approval of a Comprehensive Sign Package amendment to case CSR-001-09 to allow the installation of signs with a total square footage of 188.1 square feet, on a 0.95± acre parcel in the CB-1 Local Business Zone; tax parcel 509-02-084A (legal on file); situated in a portion of Section 2, Township 03 South, Range 07 East, of the G.R.S.B.&M., Pinal County, Arizona, located on the Southeast corner of Hunt Highway and Thompson Road in Pinal County.

Current Zoning: CB-1

Requested Zoning: CRS

Current Land Use: STV SAP



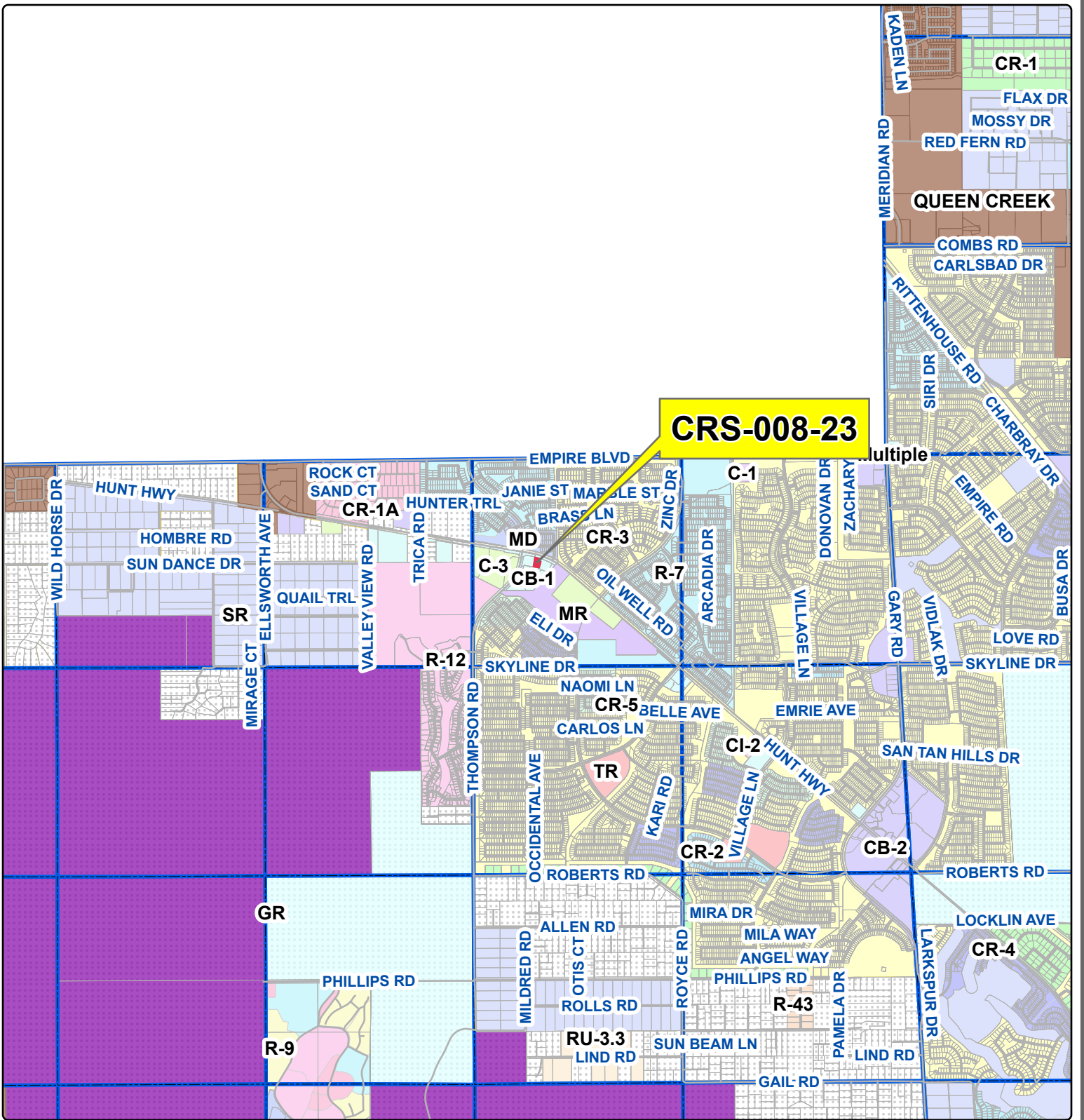
**Legal Description:**  
 COMMENCING AT THE WEST QUARTER CORNER OF SECTION 02 T03S R07E TH N-480.12 TH S 80D E-1505.78 TO RIGHT TAN CURVE RAD-1860.00 ARCDIST-119.18 TH S 3D W-65.00 TO POB AND TO RIGHT NT CURVE RAD-1795.00 BEARS S 13D39'09" W ARCDIST-149.29 TH S 18D W-63.64 TH S 71D E-40.02 TH S 20D W-31.84 TH S 69D E-6.60 TH S 16D W-142.63 TH N 80D W-163.47 TH N 10D E-249.20 TH N 13D E-10.00 TO POB, SECTION 02 T03S R07E, 41,440 SQFT 0.95 AC

SEC 02, TWN 03S, RNG 07E



Owner/Applicant: JOHN HYDER		
Drawn By: GIS / IT / RWH	Date: 10/23/2023	
Section 02	Township 03S	Range 07E
Case Number: CRS-008-23		


Sheet No. 1 of 1

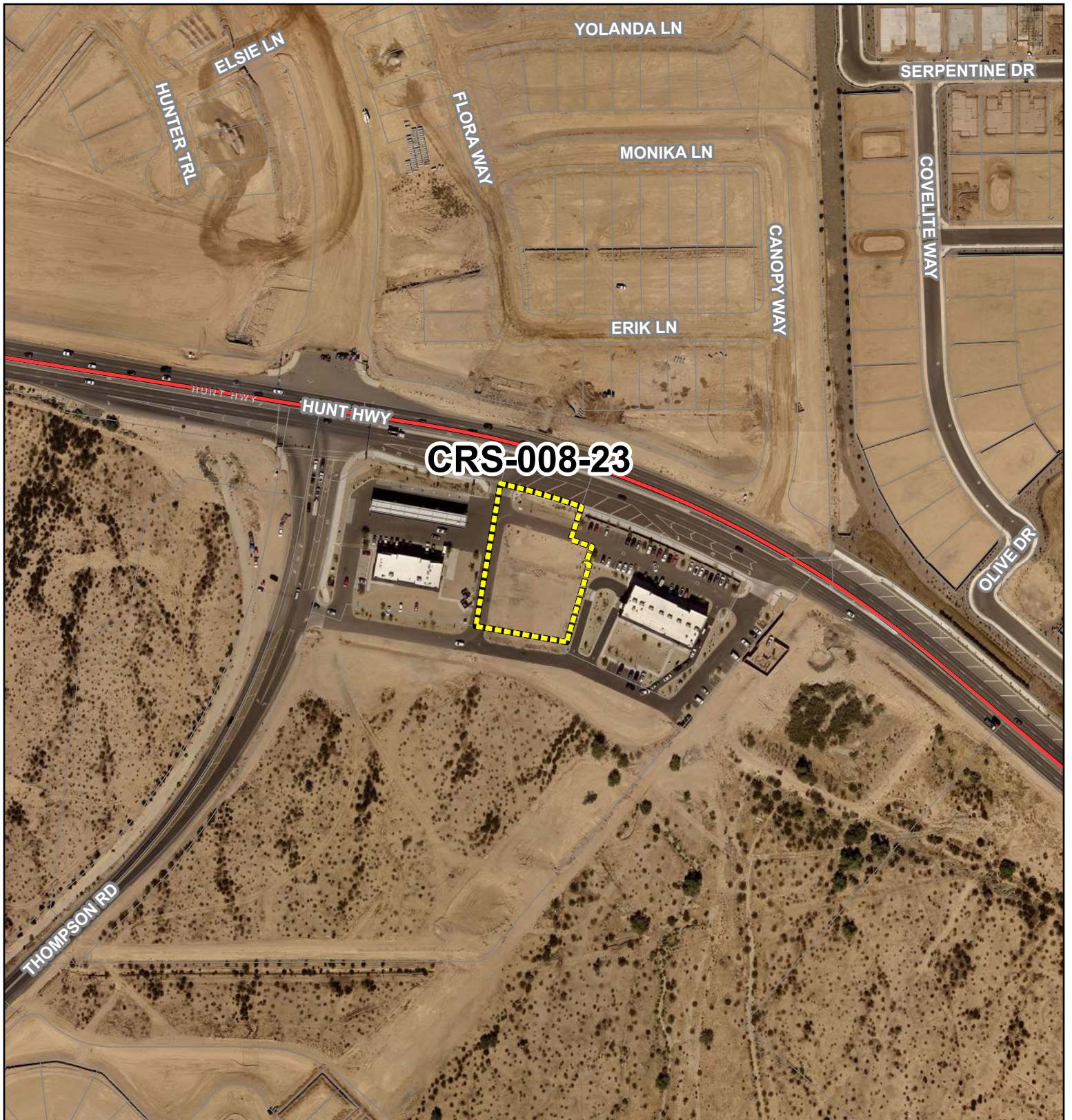


# Community Development

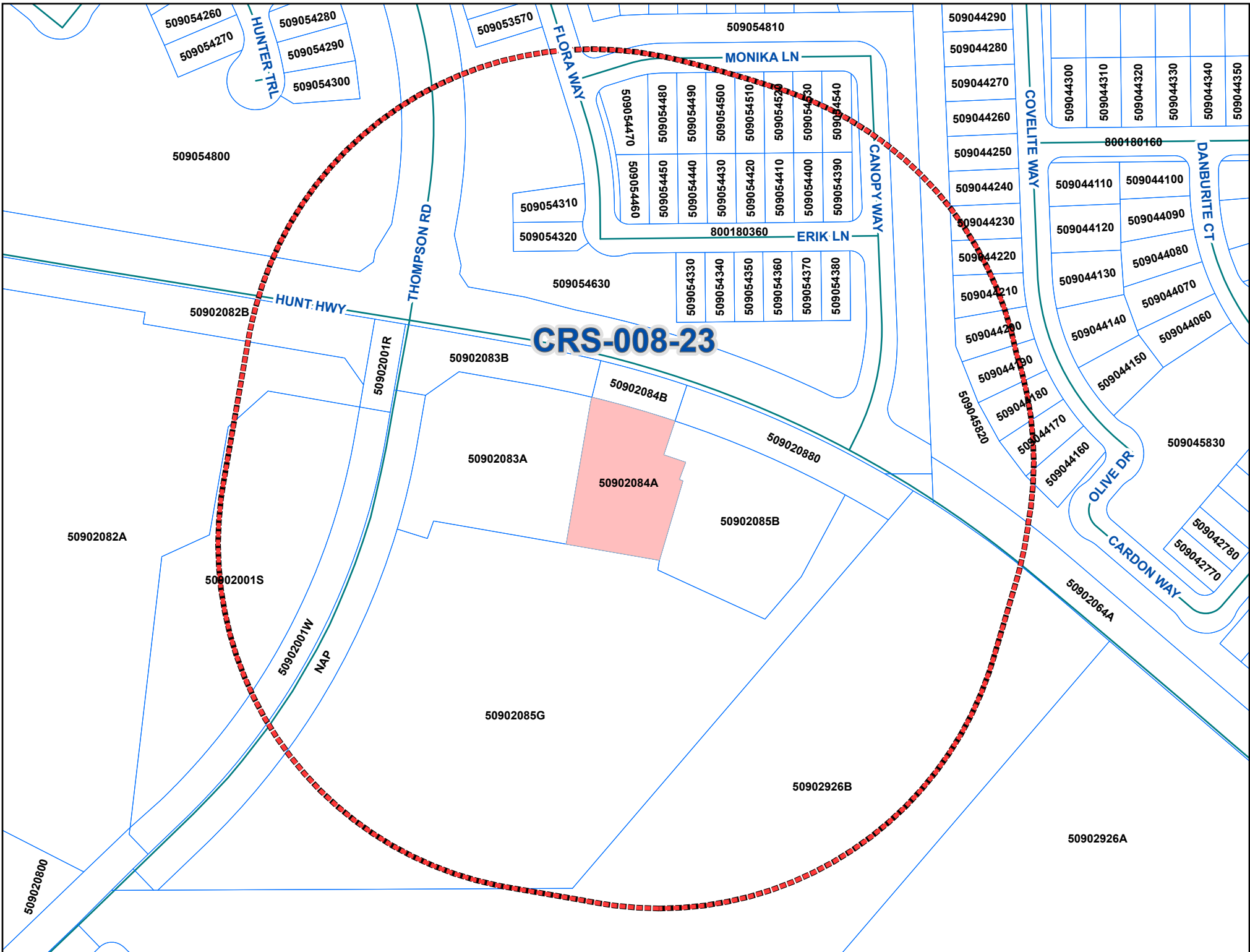


**Legal Description:**  
 COMMENCING AT THE WEST QUARTER CORNER OF SECTION 02 T03S R07E TH N-480.12 TH S 800 E-1505.78 TO RIGHT TAN CURVE RAD-1860 ARCDIST-119.18 TH S 3D W-65 TO POB AND TO RIGHT NT CURVE RAD-1795 BEARS S 13D39'09" W ARCDIST-149.29 TH S 18D W-63.64 TH S 71D E-40.02 TH S 20D W-31.84 TH S 69D E-6.60 TH S 16D W-142.63 TH N 80D W-163.47 TH N 10D E-249.20 TH N 13D E-75 TO POB, SECTION 02 T03S R07E, 41.440 SQFT 0.95 AC  
 SEC 02, TWN 03S, RNG 07E

	Owner/Applicant: JOHN HYDER		
	Drawn By: GIS / IT / RWH	Date: 01/25/2023	
Sheet No. 1 of 1	Section 02	Township 03S	Range 07E
Case Number: CRS-008-23			



## *Community Development*



**CRS-008-23**

509054260  
509054270  
509054280  
509054290  
509054300

509053570

509054810

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509044070  
509044060

50902082B

50902083B

50902084B

50902084A

50902083A

509020880

50902085B

50902082A

50902001S

50902001W  
NAP

50902001R

50902085G

50902926B

50902926A

509020800

509042780  
509042770

509045830

50902064A

509044160  
509044170  
509044180  
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509044200  
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509044270  
509044280  
509044290

- Pre-Sell Board (Qty. 2) E.M.B. –20.84 sq. ft. total
- Double Arm Gateway – 7.5 sq. ft. total
- Order Here Canopy – Directional Signage Exempt
- Menu Board (Qty. 2) E.M.B. – 40.28 sq. ft. total
- Window Position Signs 1, 2 and 3 – Directional Signage Exempt
- Wall Arch (Qty. 4) – 56 sq. ft. total.
- 24” Wordmark – 33.38 sq. ft.
- Monument Sign Tenant Signs (Qty. 3) – 30 sq. ft.

Total Signage Provided: 188 sq. ft.

SITE: The site is zoned CB-1 (Local Business) and is currently in Site Plan Review for McDonalds Drive-Thru Restaurant. The decision on this comprehensive sign package may influence the site plan review because without approval, permits for signage requested cannot be approved.

#### ANALYSIS:

The comprehensive sign package consists of 15 signs with a total square footage of 188.1 square feet. The site is within a commercial complex, via a shared access drive with the Circle K to the West. CSR-001-09 was previously approved for this project location and restricts signage quantities on this site to 94 sq. ft. Documentation within the sign code suggests this property was proposed to house a Chase Bank location that would have utilized much less signage given design options. The proposed signage of 188 sq. ft. exceeds the maximum of 94 sq. ft. by over 50%, so the director is required to forward this comprehensive sign package to the Board of Supervisors with a recommendation from the sign review committee.

Electronic Message Boards (EMB) are also prohibited by code and require Board of Supervisors approval to permit. This proposal for EMB signage is unique in that the typical use of such signage as roadway advertising copy is not utilized. Rather, McDonalds proposes to utilize these EMB signs as menu boards within the drive-thru area. In the past, traditional menu boards would be utilized with materials such as backlit paper or acrylic construction. These signs would need to be manually replaced with menu updates or changes. The modern EMB signage can be updated remotely and incorporates other features such as order details alongside menu listings. Traditional menu board signage is typically exempt from the sign code, and excluded from such reviews. With the utilization of EMB signs, a Comprehensive Sign Package is required to allow the use as proposed in conjunction with our sign code.

SIGN REVIEW COMMITTEE RECOMMENDATION: On September 26<sup>th</sup>, a meeting of the SRC was held regarding CSR-008-23. Discussion items regarded the quantity of signage proposed, review of the prior approved sign package, and application of the proposed menu boards as electronic message boards as indicated by the sign code. Discussion also explored whether continual increases to permitted signage should continue, and what mechanisms were in place to restrict signage increases to unacceptable levels. After careful review and discussion, the sign review committee voted 4-0 for approval with one additional stipulation drafted during the meeting.

STAFF RECOMMENDATION: After a careful review of the applicant’s proposal with respect to the business functions/operations for the approved commercial site plan, consideration of surrounding

existing uses and consideration of the existing CSR Package, staff has determined that the proposed request is acceptable. Staff recommends **approval** of the applicant's request with one stipulation.

1. No future requests for an increase of additional requested signage for this commercial complex shall be permitted.

Prepared: 10/20/23 PR

Revised:



## Public Notice

Originally published at [azcentral.com](http://azcentral.com) on 10/17/2023

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NOTICE OF PUBLIC HEARING BY THE PINAL COUNTY BOARD OF SUPERVISORS AT 9:30A.M. ON THE 1st DAY OF NOVEMBER 2023, AT THE PINAL COUNTY ADMINISTRATIVE COMPLEX, IN THE BOARD OF SUPERVISORS HEARING ROOM, 135 N. PINAL STREET, FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A COMPREHENSIVE SIGN PACKAGE IN THE UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA. CSR-008-23 PUBLIC HEARING/ACTION: John Hyder McDonald's USA LLC , Owner, Persona Signs, applicant/agent, requesting approval of a Comprehensive Sign Package amendment to case CSR-001-09 to allow the installation of signs with a total square footage of 188.1 square feet, on a 0.95± acre parcel in the CB-1 Local Business Zone; tax parcel 509-02-084A (legal on file); situated in a portion of Section 2, Township 03 South, Range 07 East, of the G.R.S.B.&M., Pinal County, Arizona, located on the Southeast corner of Hunt Highway and Thompson Road in Pinal County. ALL PERSONS INTERESTED IN THIS MATTER MAY APPEAR AND SPEAK AT THE PUBLIC HEARING AT THE DATE, TIME, AND PLACE DESIGNATED ABOVE. DOCUMENTS PERTAINING TO THIS CASE CAN BE FOUND ON THE NOTICE OF HEARING PAGE FOR THE P&Z COMMISSION AT:

<http://pinalcountyz.gov/CommunityDevelopment/Planning/Pages/NoticeofHearing.aspx#>  
DATED THIS 12th DAY OF OCTOBER 2023, by Pinal County Development Services. TO QUALIFY FOR FURTHER NOTIFICATION IN THIS LAND USE MATTER YOU MUST FILE WITH THE PLANNING DEPARTMENT A WRITTEN STATEMENT OF SUPPORT OR OPPOSITION TO THE SUBJECT APPLICATION. YOUR STATEMENT MUST CONTAIN THE FOLLOWING INFORMATION: 1) Planning Case Number (see above) 2) Your name, address, telephone number and property tax parcel number (Print or type) 3) A brief statement of reasons for supporting or opposing the request 4) Whether or not you wish to appear and be heard at the hearing WRITTEN STATEMENTS MUST BE FILED WITH: PINAL COUNTY COMMUNITY DEVELOPMENT DEPARTMENT PO BOX 749 (85 N. FLORENCE STREET) FLORENCE, AZ 85132 NO LATER THAN 4:00 PM ON WEDNESDAY, OCTOBER 18, 2023 Contact for this matter: Patrick Roberts, Senior Planner E-mail address: [patrick.roberts@pinal.gov](mailto:patrick.roberts@pinal.gov) Phone # (520) 866-6409 Published: Oct. 17, 2023

**NOTICE OF PUBLIC HEARING** BY THE PINAL COUNTY BOARD OF SUPERVISORS AT 9:30 A.M. ON THE 1<sup>st</sup> DAY OF **NOVEMBER 2023**, AT THE PINAL COUNTY ADMINISTRATIVE COMPLEX, IN THE BOARD OF SUPERVISORS HEARING ROOM, 135 N. PINAL STREET, FLORENCE, ARIZONA, TO CONSIDER AN APPLICATION FOR A **COMPREHENSIVE SIGN PACKAGE** IN THE UNINCORPORATED AREA OF PINAL COUNTY, ARIZONA.

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FLORENCE, AZ 85132

**NO LATER THAN 4:00 PM ON WEDNESDAY, OCTOBER 18, 2023**

Contact for this matter: Patrick Roberts, Senior Planner

E-mail address: [patrick.roberts@pinal.gov](mailto:patrick.roberts@pinal.gov)

Phone # (520) 866-6409

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***[Anything below this line is not for publication.]***

PUBLISHED ONCE:  
Arizona Republic

## CERTIFICATION OF POSTING

I hereby certify that the notice(s) shown below was/were posted on the property described in the notice on October 16<sup>th</sup>, 2023.

PLANNING & DEVELOPMENT DEPARTMENT

BY:  DATED: 10/20/23  
[signature] [print name and title]

[Insert copy of notice(s) that was/were posted, which should be the same as the published/mailed notice.]

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Arizona Republic

PINAL COUNTY  
PO BOX 827  
FLORENCE, AZ 85132

FIDELITY NATIONAL TITLE AGE...  
800 E WETMORE RD STE 110  
TUCSON, AZ 85719

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

BORGATA COMMERCIAL LLC  
MAIL RETURN  
,

PINAL COUNTY  
PO BOX 827  
FLORENCE, AZ 85132

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

BORGATA COMMERCIAL LLC  
MAIL RETURN  
,

PINAL COUNTY  
PO BOX 827  
FLORENCE, AZ 85132

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

SCHOLL PAUL J TRUST  
35222 N COVELITE WAY  
SAN TAN VALLEY, AZ 85144

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

FIDELITY NATIONAL TITLE AGE...  
8767 E VIA DE VENTURA  
SCOTTSDALE, AZ 85258

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

FIDELITY NATIONAL TITLE AGE...  
800 E WETMORE RD STE 110  
TUCSON, AZ 85719

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

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SCOTTSDALE, AZ 85258

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SCOTTSDALE, AZ 85260

FIDELITY NATIONAL TITLE AGE...  
800 E WETMORE RD STE 110  
TUCSON , AZ 85719

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SCOTTSDALE, AZ 85260

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SCOTTSDALE, AZ 85260

FIDELITY NATIONAL TITLE AGE...  
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TUCSON, AZ 85719

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8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

SCOTT ROBERT R & HERVANN...  
35126 N COVELITE WAY  
SAN TAN VALLEY, AZ 85144

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

PINAL COUNTY  
PO BOX 827  
FLORENCE, AZ 85132

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

CORNERSTONE EQUITIES LLC  
MAIL RETURN

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

CIRCLE K STORES INC  
PO BOX 52085  
PHOENIX, AZ 85072

PINAL COUNTY  
PO BOX 727  
FLORENCE, AZ 85132

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

PINAL COUNTY  
PO BOX 827  
FLORENCE, AZ 85132

PINAL COUNTY  
MAIL RETURN

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

PINAL COUNTY  
PO BOX 827  
FLORENCE, AZ 85132

GRHH QUEEN CREEK LLC ET A...  
6900 E CAMELBACK RD STE 90...  
SCOTTSDALE, AZ 85251

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

ADL PROPERTIES INC  
MAIL RETURN

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

THE PRESERVE AT SAN TAN C...  
8767 E VIA DE VENTURA STE 3...  
SCOTTSDALE, AZ 85258

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

PINAL COUNTY  
MAIL RETURN

MERITAGE HOMES OF ARIZON...  
8800 E RAINTREE DR STE 300  
SCOTTSDALE, AZ 85260

THE VILLAGE AT BORGATA LLC  
6617 N SCOTTSDALE RD STE 1...  
SCOTTSDALE, AZ 85250

**Legal Description:**

A PORTION OF THE WEST HALF OF SECTION 2, TOWNSHIP 3 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT A ONE INCH PIPE FOUND AT THE WEST QUARTER OF SAID SECTION 2, FROM WHICH A PINAL HIGHWAY DEPARTMENT ALUMINUM CAP FOUND AT THE NORTHWEST CORNER OF SAID SECTION 2, BEARS NORTH 00° 11' 02" WEST, 2618.95 FEET;

THENCE NORTHERLY ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 2, NORTH 00° 11' 02" WEST, 480.03 FEET TO A COTTON PICKER SPINDLE FOUND AT THE INTERSECTION OF SAID WEST LINE AND THE MONUMENTED CENTERLINE OF HUNT HIGHWAY;

THENCE SOUTHEASTERLY ALONG THE MONUMENTED CENTERLINE OF HUNT HIGHWAY, SOUTH 60° 21' 43" EAST, 1282.60 FEET TO A FOUND BRASS CAP, SAID POINT ALSO BEING THE INTERSECTION OF THE MONUMENTED CENTERLINES OF HUNT HIGHWAY AND THOMPSON ROAD;

THENCE, CONTINUING SOUTHEASTERLY ALONG THE MONUMENTED CENTERLINE OF HUNT HIGHWAY, SOUTH 80° 01' 07" EAST, 223.34 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY, WITH A RADIUS OF 1860.00 FEET;

THENCE CONTINUING SOUTHEASTERLY ALONG THE ARC OF THE SAID CURVE, THROUGH A CENTRAL ANGLE OF 04°46'01" A DISTANCE OF 154.75 FEET, TO A POINT OF NON-TANGENCY;

THENCE DEPARTING SAID MONUMENTED CENTERLINE SOUTH 18°25'02" WEST, 128.64 FEET;

THENCE SOUTH 71°34'43" EAST, 40.02 FEET;

THENCE SOUTH 20°27'01" WEST, 31.84 FEET;

THENCE SOUTH 69°32'59" EAST, 6.60 FEET;

THENCE SOUTH 16°23'35" WEST, 142.63 FEET;

THENCE NORTH 80°10'12" WEST, 136.97 FEET;

THENCE NORTH 80°06'32" WEST, 136.97 FEET;

THENCE NORTH 09°49'48" EAST, 249.20 FEET;

THENCE NORTH 13°39'02" EAST, 75.00 FEET TO THE TRUE POINT OF BEGINNING.

SAID LOT#2 CONTAINING: 51320 SQUARE FEET OR 1.1781 ACRES, MORE OR LESS.



**NOTICE OF PUBLIC MEETING AND AGENDA OF THE  
PINAL COUNTY COMPREHNSIVE SIGN REVIEW COMMITTEE**

**Regular Meeting**

8:30 a.m.

Tuesday, September 26, 2023

PINAL COUNTY ADMINISTRATIVE COMPLEX  
Community Development Bldg. Agave Room  
85 N. Florence Street  
FLORENCE, AZ 85132

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There may be a supplemental agenda for this hearing, please check with the  
Community Development Department at 520-866-6442.  
Some members may attend telephonically

Please turn off cell phones and other electronic devices or place in silent mode.

Action means discussion/recommendation for approval or denial to the Commnity Development Director on the following Planning Cases. (Numbers are shown for administrative convenience only. All interested persons should be aware that the cases may be heard in an order different than that shown on the agenda).

A work session is not a public hearing. For matters that are not listed as “public hearings” the public may attend and listen to the proceedings, but may only address the Committee with its permission.

**COMMITTEE MEMBERS**

( )	Sangeeta Deokar, Planning Division	( )	Patrick Erickson, Member
( )	Marianna Reza, County Managers Office	( )	Nina Arredondo, Public Works

**AGENDA**

- 1. CALL TO ORDER & ROLL CALL:**
- 2. DISCUSSION AND ACTION ITEMS:**

**CSR-008-23 – Action:** Signarama Chandler and Persona Signs, Applicant, McDonald’s Corp, Owner, requesting approval of a comprehensive sign package amendment to case CSR-001-09 to allow the installation of signs with a total square footage of 188.1 square feet. The subject site is located on the Southeast corner of W Hunt Highway and N Thompson Rd in San Tan Valley.

COMMUNITY DEVELOPMENT  
Planning Division

**ADJOURNMENT**

Supporting documents for the above-listed matters are available at the Pinal County Community Development Office for public inspection at least 48 hours prior to the meeting at the Pinal County Community Development Department, Pinal County Complex, 85 N Florence St, Florence, Arizona, Monday through Friday between the hours of 8:30 a.m. and 4:30 p.m. and on the internet at:

<https://www.pinalcountyz.gov/CommunityDevelopment/Pages/home.aspx>

Persons with a disability may request a reasonable accommodation, such as a sign language interpreter, by contacting the Community Development Department at 520-866-6442 at least five business days prior to the meeting.



MEETING DATE: September 26, 2023

TO: SIGN REVIEW COMMITTEE

CASE NO.: CSR-008-23 (McDonalds)

Case Coordinator: Patrick Roberts, Senior Planner

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*Executive Summary:*

*This is a comprehensive sign package amendment to allow 15 signs, with a total signage area of 188.1 sq. ft. on a commercial lot for drive-thru restaurant. This is an amendment to CSR-001-09. Which permits commercial signage, but limits the available sign area to 94 sq. ft. The applicant is pursuing this amendment to allow signage consistent with the modern McDonalds brand preferences and to allow usage of electronic message board signs to be used as menu boards.*

If This Request is Approved:

The committee shall forward a recommendation to the Board of Supervisors to allow the applicant to request 188.1 sq. ft. of signage and use of electronic message boards as indicated on the sign plan.

Staff Recommendation/Issues for Consideration/Concern:

Staff recommends approval of this Comprehensive Sign Package as presented in the staff report.

---

TAX PARCELS: 509-02-084A Legal on file

LANDOWNER: McDonalds Corp., John Hyder

APPLICANT/AGENT: Signarama Chandler and Persona Signs

REQUESTED ACTION & PURPOSE: Signarama Chandler and Persona Signs, Applicant, McDonald's Corp, Owner, requesting approval of a comprehensive sign package amendment to case CSR-001-09 to allow the installation of signs with a total square footage of 188.1 square feet. The subject site is located on the Southeast corner of W Hunt Highway and N Thompson Rd in San Tan Valley.

LOCATION: The subject sites is at the Southeast corner of W Hunt Highway & N Thompson Rd in San Tan Valley, AZ.

SIGNAGE SIZE: This is a comprehensive sign package request to allow the following:

COMMUNITY DEVELOPMENT  
Planning Division

- Pre-Sell Board (Qty. 2) E.M.B. – 20.84 ft<sup>2</sup> total
- Double Arm Gateway – 7.5 ft<sup>2</sup> total
- Order Here Canopy – Directional Signage Exempt
- Menu Board (Qty. 2) E.M.B. – 40.28 ft<sup>2</sup> total
- Window Position Signs 1, 2 and 3 – Directional Signage Exempt
- Wall Arch (Qty. 4) – 56 ft<sup>2</sup> total.
- 24" Wordmark – 33.38 ft<sup>2</sup>
- Monument Sign Tenant Signs (Qty. 3) – 30 ft<sup>2</sup>

Total Signage Provided: 188 ft<sup>2</sup>

**SITE:** The site is zoned CB-1 (Local Business) and is currently in Site Plan Review for McDonalds Drive-Thru Restaurant. The decision on this comprehensive sign package may influence the site plan review because without approval, permits for signage requested cannot be approved.

**ANALYSIS:** The comprehensive sign package consists of 15 signs with a total square footage of 188.1 square feet. The site is within a commercial complex, via a shared access drive with the Circle K to the West. CSR-001-09 was previously approved for this project location and restricts signage quantities on this site to 94 ft<sup>2</sup>. Documentation within the sign code suggests this property was proposed to house a Chase Bank location that would have utilized much less signage given design options. The proposed signage of 188 sq. ft. exceeds the maximum of 94 s ft<sup>2</sup>. by over 50%, so the director is required to forward this comprehensive sign package to the Board of Supervisors with a recommendation from the comprehensive sign committee. Electronic Message Boards are also prohibited by code and require Board of Supervisors approval to permit.

**STAFFS'S RECOMMENDATION:** After a careful review of the applicant's proposal with respect to the business functions/operations for the approved commercial site plan, consideration of surrounding existing uses and consideration of the existing CSR Package, staff has determined that the proposed request is acceptable but must proceed to the board of supervisors for review and decision. Staff recommends **approval** of the applicant's request.

**RECOMMENDED MOTION:** I motion that the Sign Review Committee forward a recommendation of approval to the Board of Supervisors as presented in the staff report with no stipulations.

August 4,2023

McDonalds – NSN 40539

4257

W. Hunt Hwy

San Tan Valley, AZ 85142

To whom it may concern,

McDonald's would like to amend the existing Comprehensive Sign Review, proposed by Pinal County, from the allowable 96 square feet, to approve the site signage being submitted.

The proposed signage provides consistency of brand to benefit the public at large. Removal of specific elements, such as the drive thru canopy or other elements would create a nuisance for the patrons of the community.

If we are required to remove any more site signage than what's proposed, we feel it would take away from the aesthetic of the building, decrease the visibility of the store, and the needed clearance signs in the drive thru could result in damage within the drive thru.

Signed By: \_\_\_\_\_



Printed Name/Title: Tristan Bails - Designer/Permit Specialist

Date: 08/08/2023



# McDonald's

**4295 W HUNT HWY - QUEEN CREEK, AZ**

## SIGN PROGRAM BOOK



VICINITY MAP  
NTS

Customer: <b>MCDONALD'S</b>	Date: <b>08/19/22</b>	Prepared By: <b>AL</b>	Eng: <b>-</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>
Location: <b>QUEEN CREEK, AZ</b>	File Name: <b>381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ</b>			



**Persona Signs, LLC**  
 700 21st Street Southwest  
 PO Box 210  
 Watertown, SD 57201-0210  
 1.800.843.9888 • www.personasigns.com

**TOTAL PROPOSED SIGN AREA: 188.1 SQFT**



- PSB ..... PRE-SELL BOARD (QTY 2)
- GWD ..... DOUBLE ARM GATEWAY
- OHC ..... ORDER HERE CANOPY (QTY 2)
- MB ..... MENU BOARD (QTY 2)
- WPS1 ..... WINDOW POSITION SIGN 1
- WPS2 ..... WINDOW POSITION SIGN 2
- WPS3 ..... WINDOW POSITION SIGN 3
- WA ..... WALL ARCH (QTY 4)
- WM ..... 24" WORDMARK

APPROVAL BOX - PLEASE INITIAL	
CUSTOMER APPROVAL	Date

Customer:  
**MCDONALD'S**

Location:  
**QUEEN CREEK, AZ**

Date:  
**5/2/23**

File Name:  
**381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ**

Prepared By:  
**AL/JR/AL/PG/AL/SC**

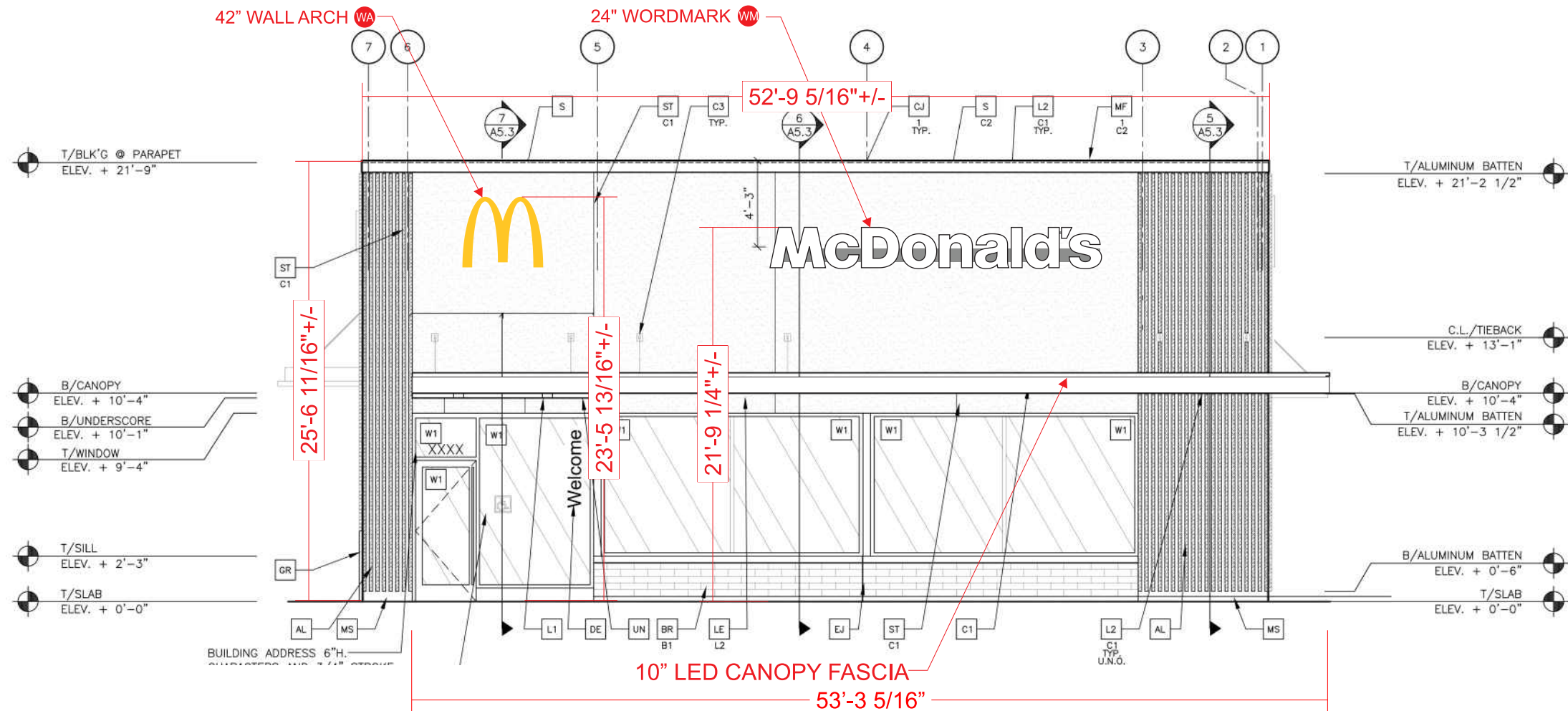
Eng:  
-

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.



**Persona Signs, LLC**  
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**SOUTH (FRONT) ELEVATION**  
SCALE: 1/8" = 1'-0"



APPROVAL BOX - PLEASE INITIAL	
CUSTOMER APPROVAL	Date

Customer:  
**MCDONALD'S**

Date:  
**08/19/22**

Prepared By:  
**AL**

Eng:  
-

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

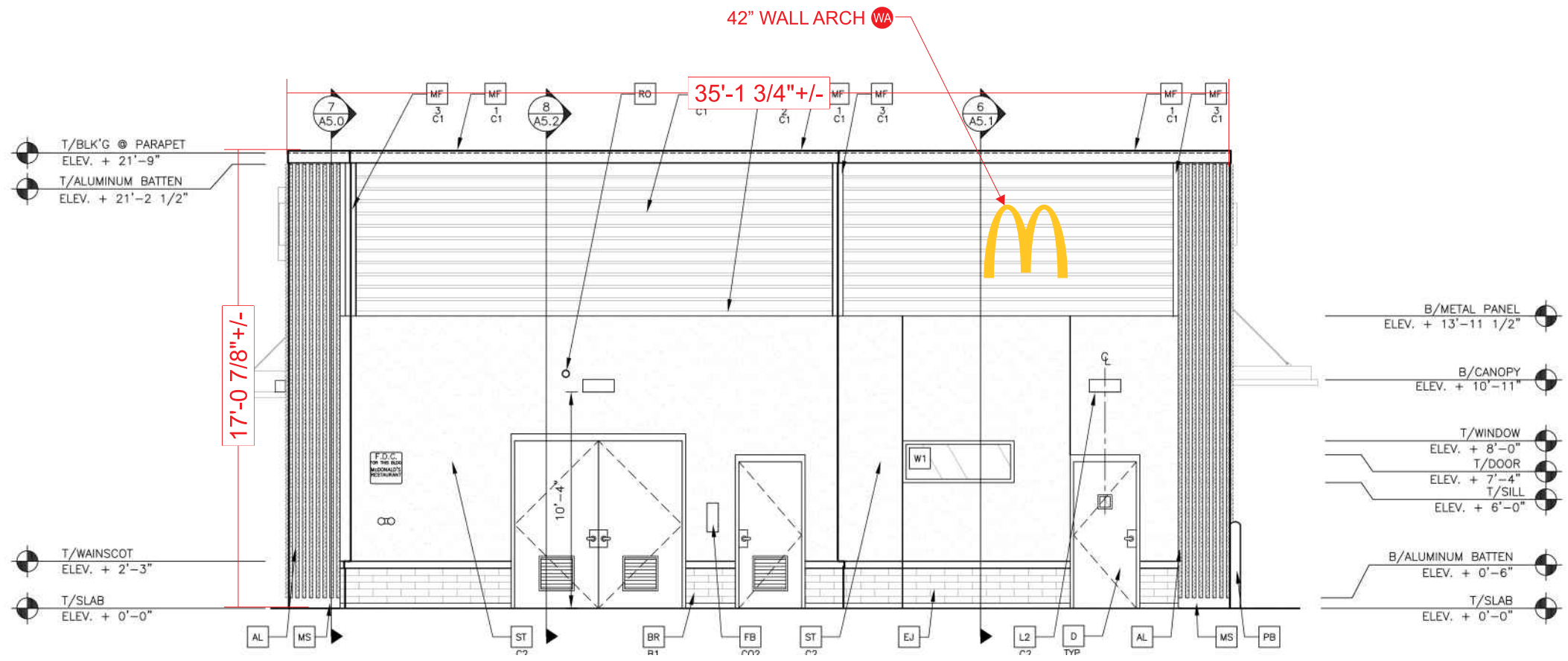
Location:  
**QUEEN CREEK, AZ**

File Name:  
**381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ**



**Persona Signs, LLC**  
700 21st Street Southwest  
PO Box 210  
Watertown, SD 57201-0210  
1.800.843.9888 • www.personasigns.com

**NORTH (REAR) ELEVATION**  
 SCALE: 3/16" = 1'-0"



APPROVAL BOX - PLEASE INITIAL	
CUSTOMER APPROVAL	Date

Customer:  
**MCDONALD'S**

Date:  
**02MAY23**

Prepared By:  
**AL/SC**

Eng:  
 -

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

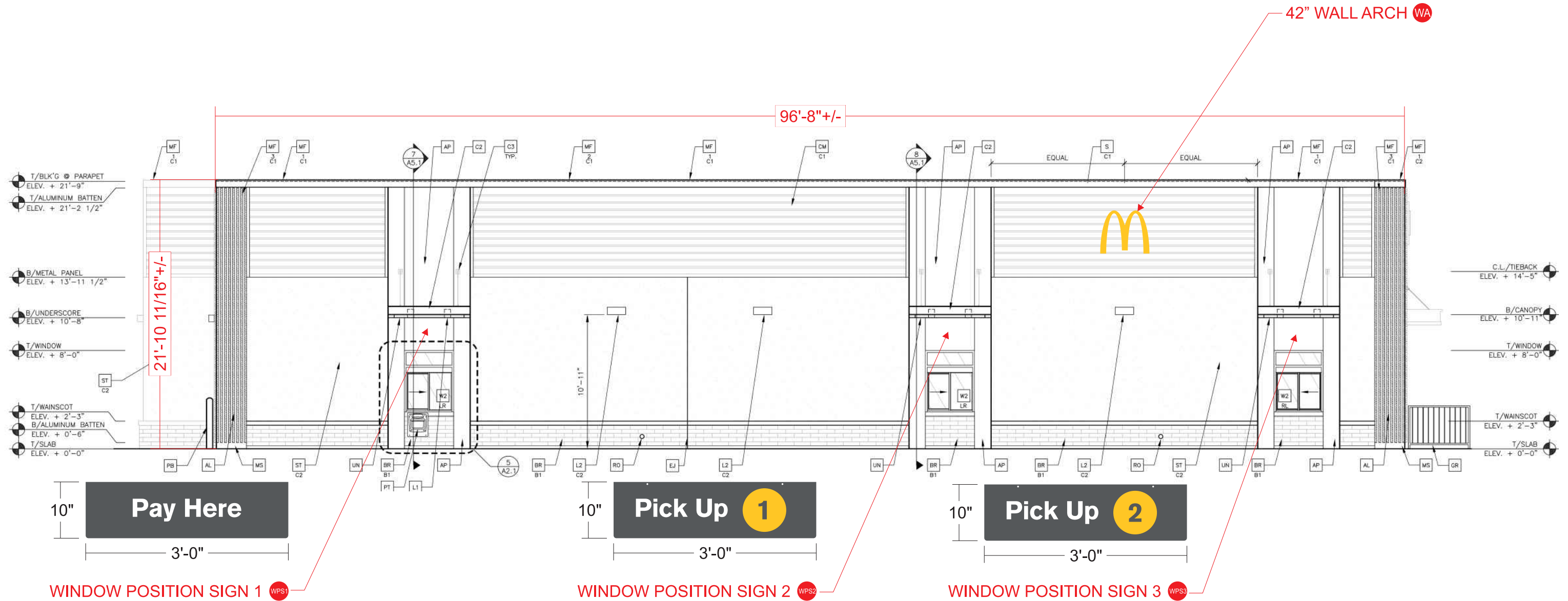
Location:  
**QUEEN CREEK, AZ**

File Name:  
**381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ**



**Persona Signs, LLC**  
 700 21st Street Southwest  
 PO Box 210  
 Watertown, SD 57201-0210  
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**WEST (DRIVE-THRU) ELEVATION**  
**SCALE: 1/8" = 1'-0"**



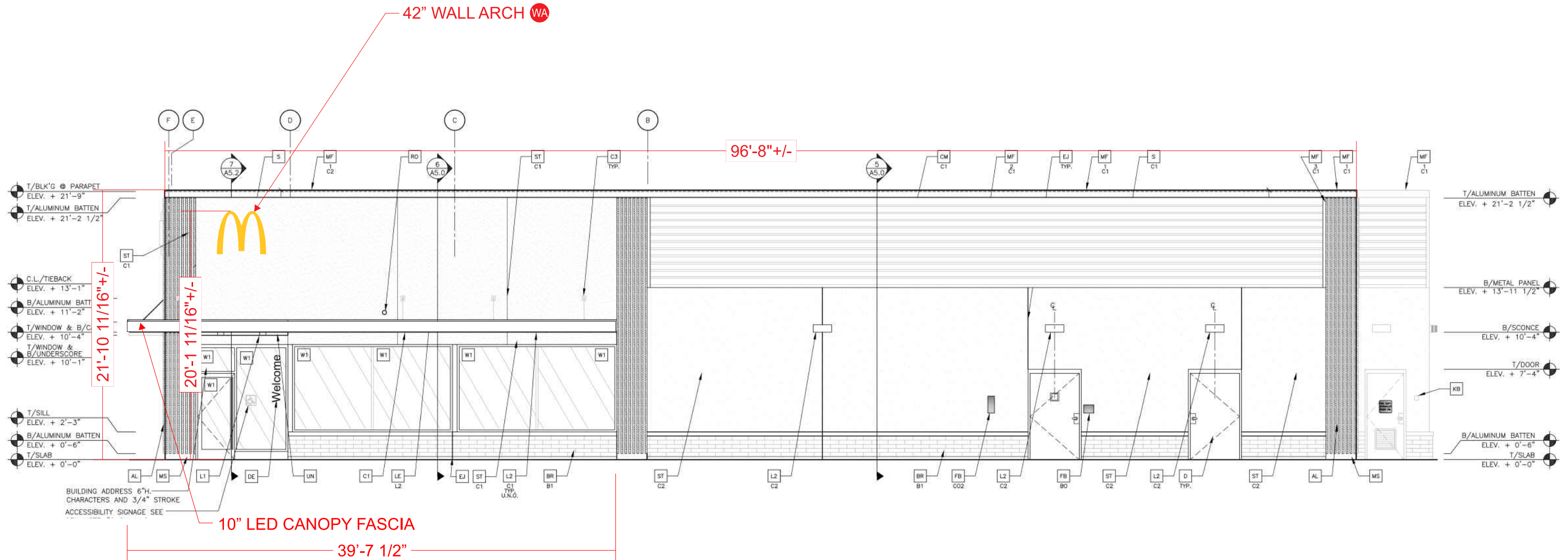
APPROVAL BOX - PLEASE INITIAL	
CUSTOMER APPROVAL	Date

Customer: <b>MCDONALD'S</b>	Date: <b>02MAY23</b>	Prepared By: <b>AL/PG/SC</b>	Eng: <b>-</b>	<i>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</i>
Location: <b>QUEEN CREEK, AZ</b>	File Name: <b>381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ</b>			



**Persona Signs, LLC**  
 700 21st Street Southwest  
 PO Box 210  
 Watertown, SD 57201-0210  
 1.800.843.9888 • www.personasigns.com

**EAST (NON DRIVE-THRU) ELEVATION**  
**SCALE: 1/8" = 1'-0"**



APPROVAL BOX - PLEASE INITIAL	
CUSTOMER APPROVAL	Date

Customer:  
**MCDONALD'S**

Date:  
**04/07/23**

Prepared By:  
**AL/PG**

Eng:  
 - *Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.*

Location:  
**QUEEN CREEK, AZ**

File Name:  
**381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ**

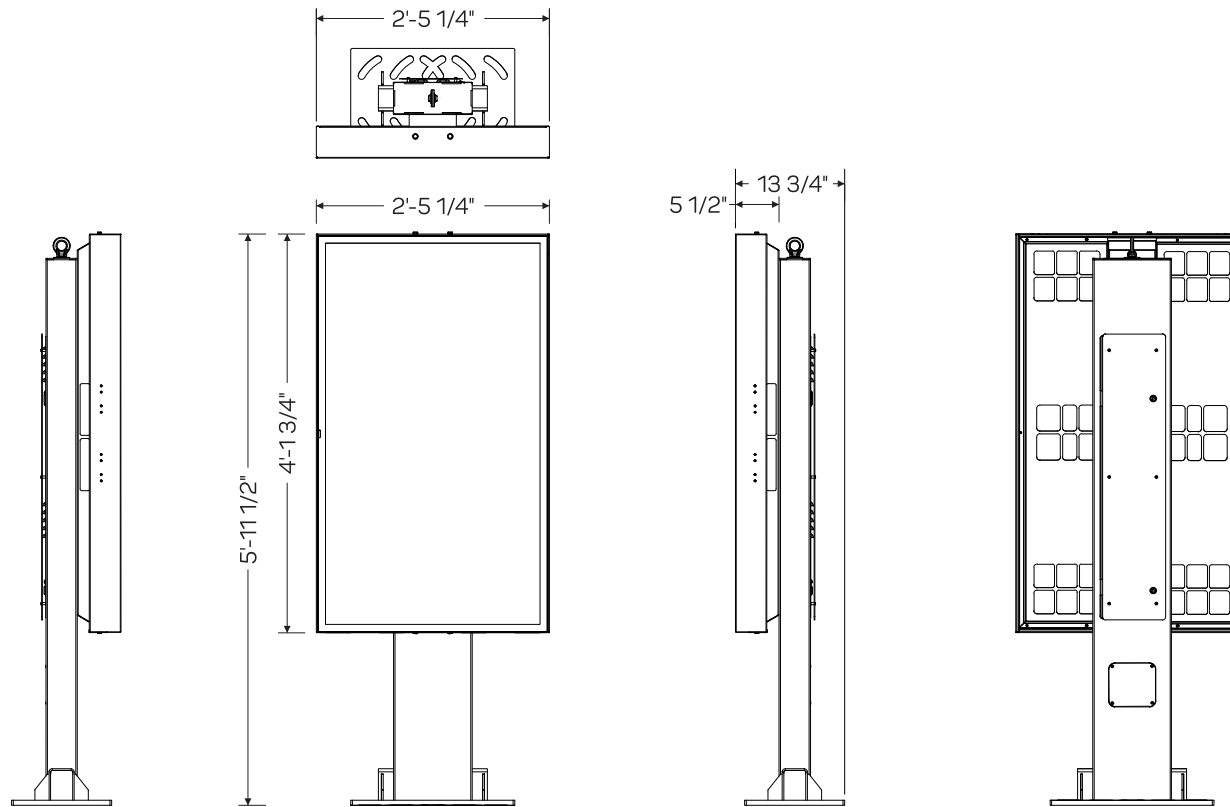


**Persona Signs, LLC**  
 700 21st Street Southwest  
 PO Box 210  
 Watertown, SD 57201-0210  
 1.800.843.9888 • www.personasigns.com

<b>Frame</b>	<b>Hot dip galvanized + anti-graffiti powder coated steel</b>
<b>Brackets</b>	<b>Hot dip galvanized</b>
<b>Panels</b>	<b>Aluminium + anti-graffiti powdercoat</b>
<b>Access fasteners</b>	<b>Security Torx</b>
<b>Media player access</b>	<b>Dual camlock</b>
<b>Eyebolt</b>	<b>Stainless crane on</b>
<b>Baseplate</b>	<b>McDonalds spec triple mounting pattern option</b>

## ODMB 02 SINGLE


<b>Displays</b>	<b>Samsung OH55F</b>
<b>Hardware</b>	<b>Stratocache Spectra NG</b>
<b>Heating/Cooling</b>	<b>Watlow 100W Heater Sunon 120mm AC Fan</b>
<b>Power Supply Units</b>	<b>60W DC Media Player Power Supply</b>
<b>Power Cables</b>	<b>1 x IEC Power Cable</b>
<b>Electrical Components</b>	<b>Isolated Ground 2 x IG Receptacles 20A Circuit Breaker</b>
<b>Communication Cables</b>	<b>2 x HDMI 1 x RS232</b>
<b>Certification</b>	<b>UL Certified</b>

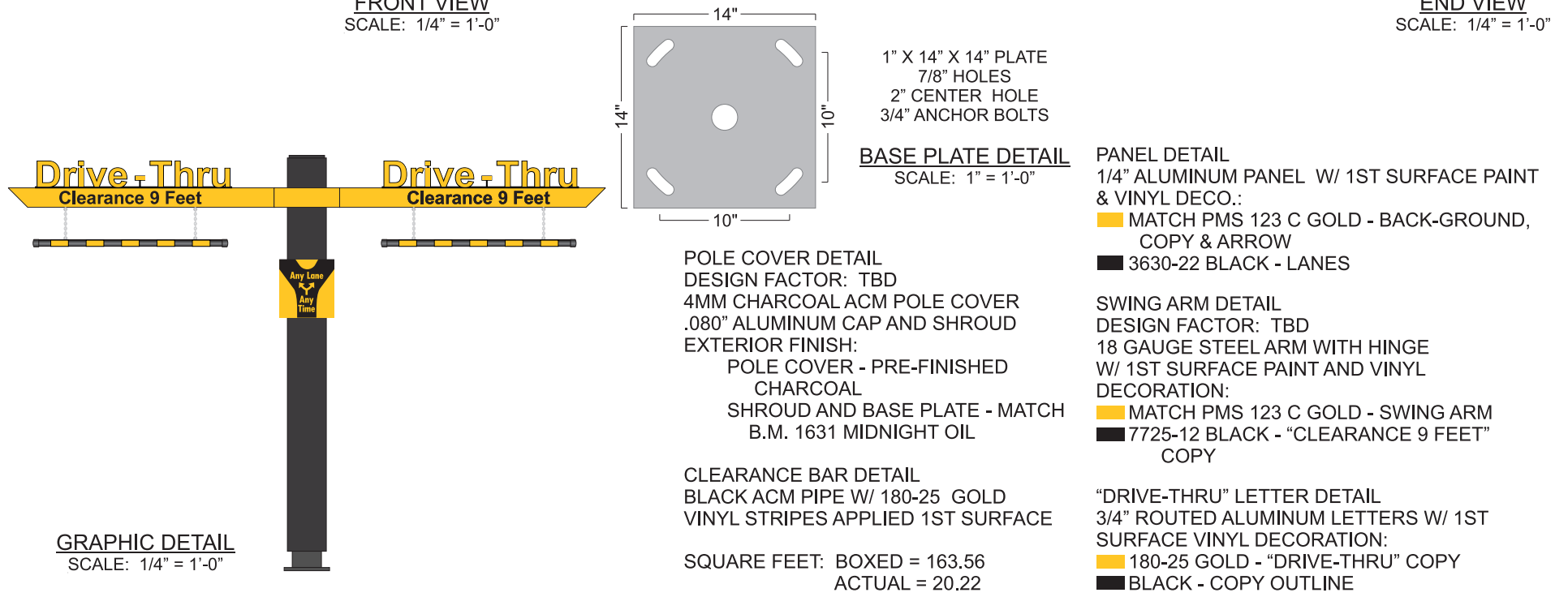
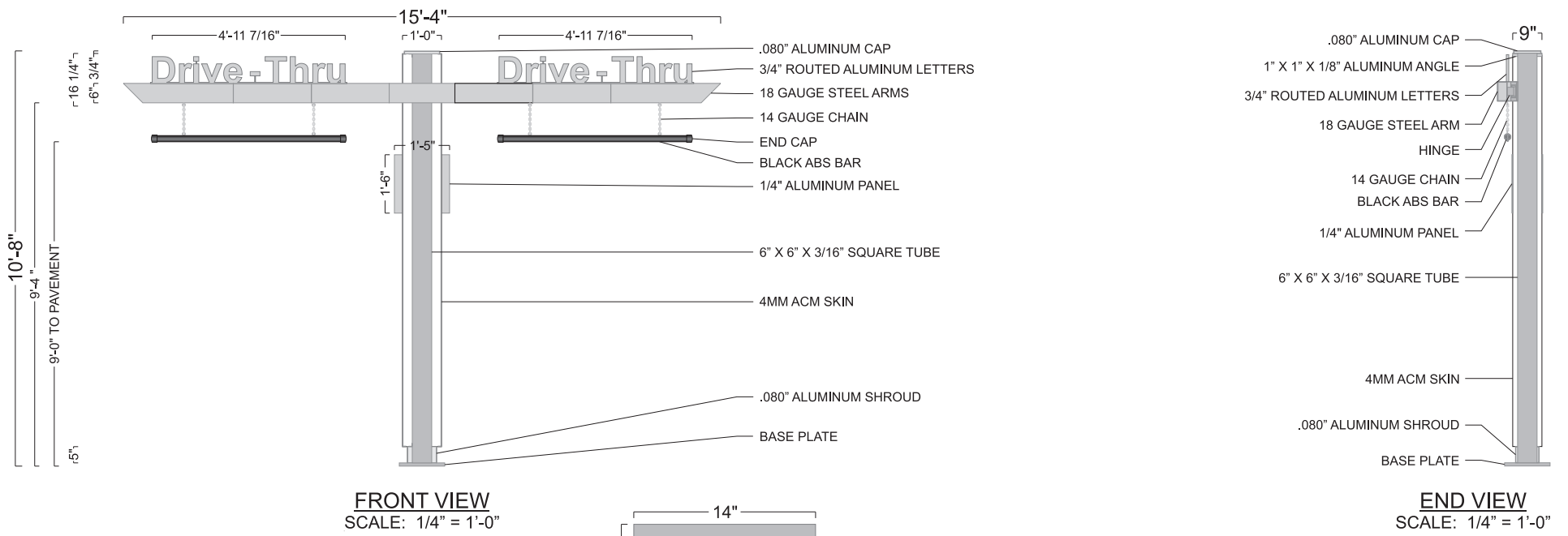
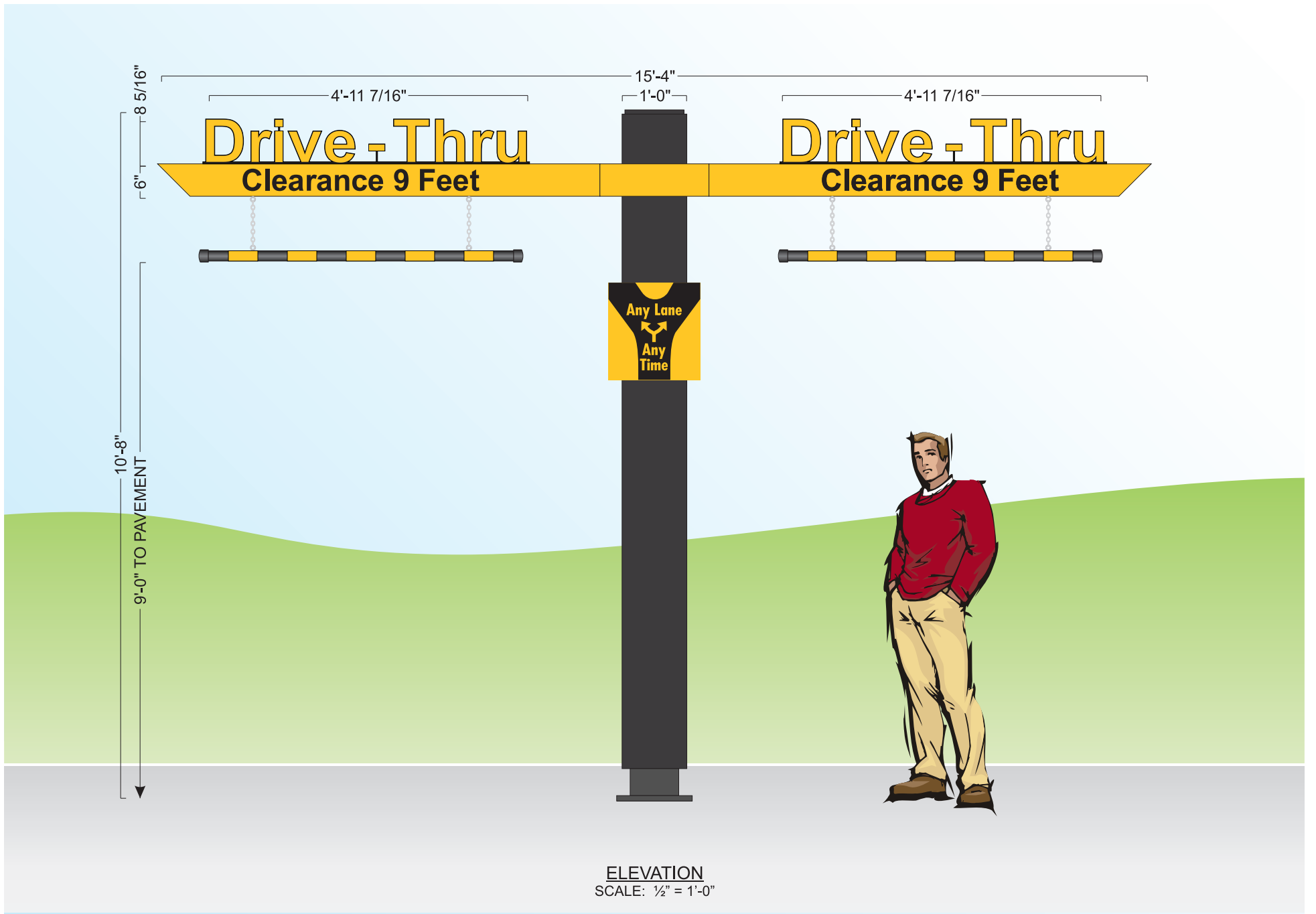


SCALE: 1/2" = 1'-0"

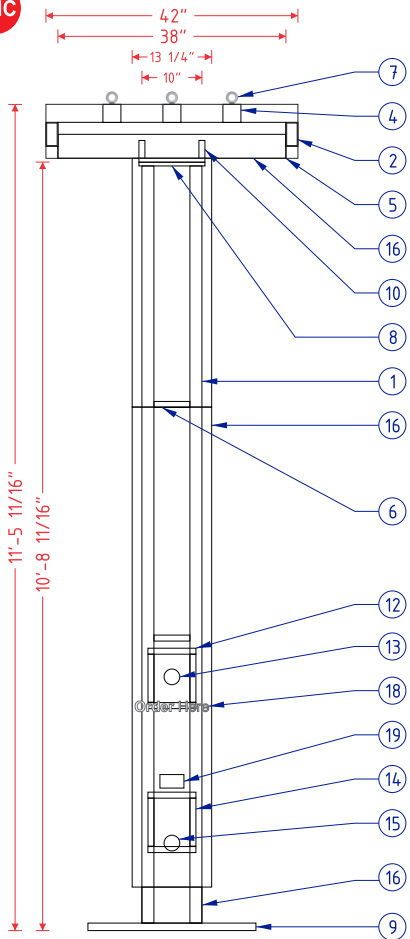


GRAPHIC DETAIL  
NOT TO SCALE

Customer: <b>MCDONALD'S</b>	Date: <b>08/18/22</b>	Prepared By: <b>AL</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>		Persona Signs, LLC 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
Location: <b>QUEEN CREEK, AZ</b>	File Name: <b>381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ</b>	Eng: <b>-</b>			

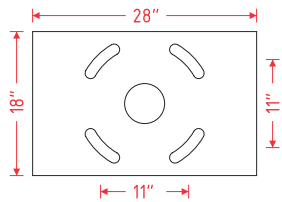


OHC

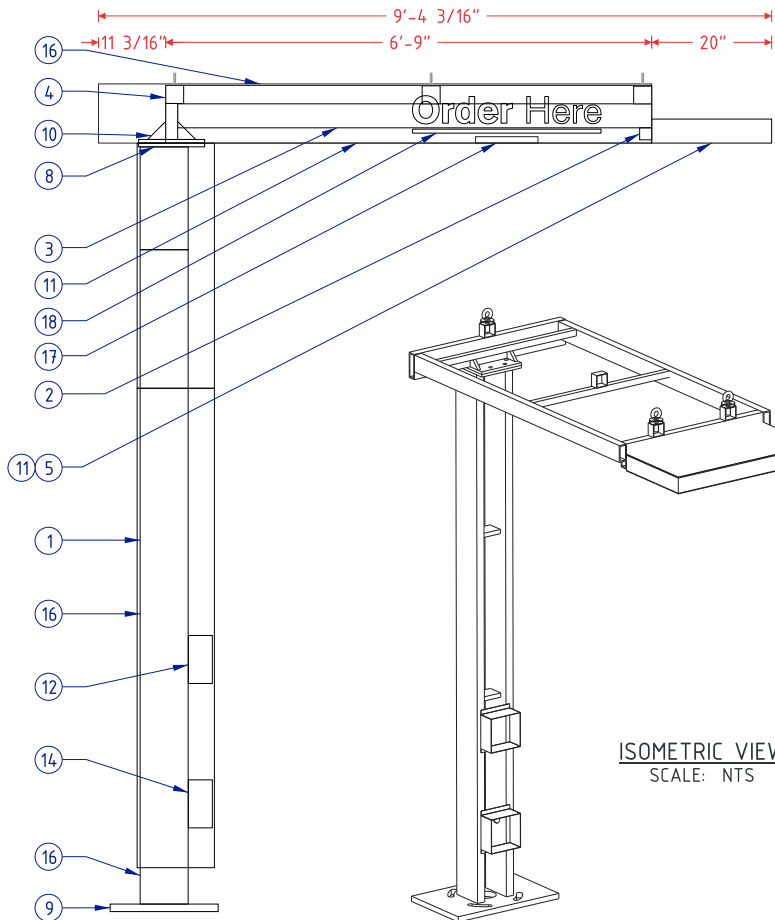


**FRAME & LAMP DETAIL**  
SCALE: 3/8" = 1'-0"

18" X 28" X 1 1/4" PLATE  
1 3/8" SLOTTED HOLES  
1" BOLTS

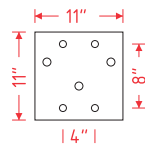


**PLATE DETAIL**  
SCALE: 1/2 = 1'-0"

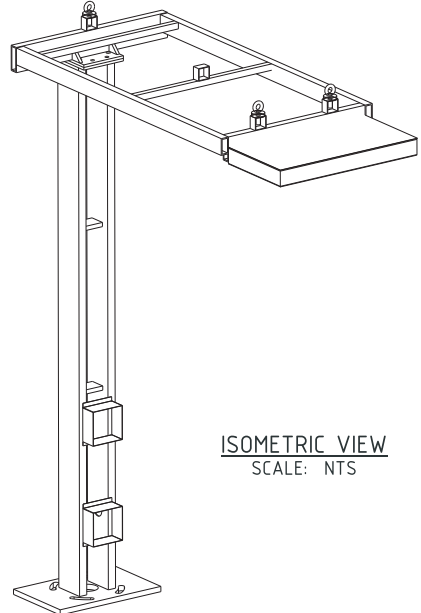


**CROSS SECTION A-A**  
SCALE: 3/8" = 1'-0"

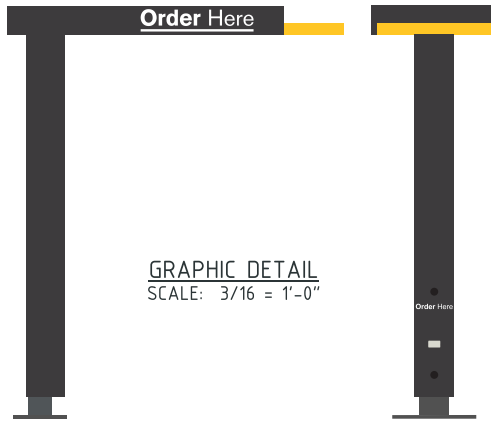
11" X 11" X 5/8" PLATE  
3/4" HOLES  
5/8" BOLTS



**PLATE DETAIL**  
SCALE: 1/2 = 1'-0"



**ISOMETRIC VIEW**  
SCALE: NTS



**GRAPHIC DETAIL**  
SCALE: 3/16 = 1'-0"

MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" SQUARE TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 ALUMINUM C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS
11	.063" ALUMINUM SKIN
12	.063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	.063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
- ACM AND .063" ALUMINUM SKIN
- EXTERIOR FINISH:  
BASE PLATE - PAINT BM 1631 MIDNIGHT OIL  
TUBE AND TOP ACM - PAINT CHARCOAL  
SPRINGBOARD TIP AND UNDERSIDE - PAINT PMS 123 C GOLD
- ACM/SKIN REMOVABLE FOR SERVICE
- U.L. LISTED
- ELECTRICAL: 0.64 AMPS/120 VOLTS

Customer:  
**MCDONALD'S**

Location:  
**QUEEN CREEK, AZ**

Date:  
**08/18/22**

File Name:  
**381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ**

Prepared By:  
**AL**

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Eng:  
-

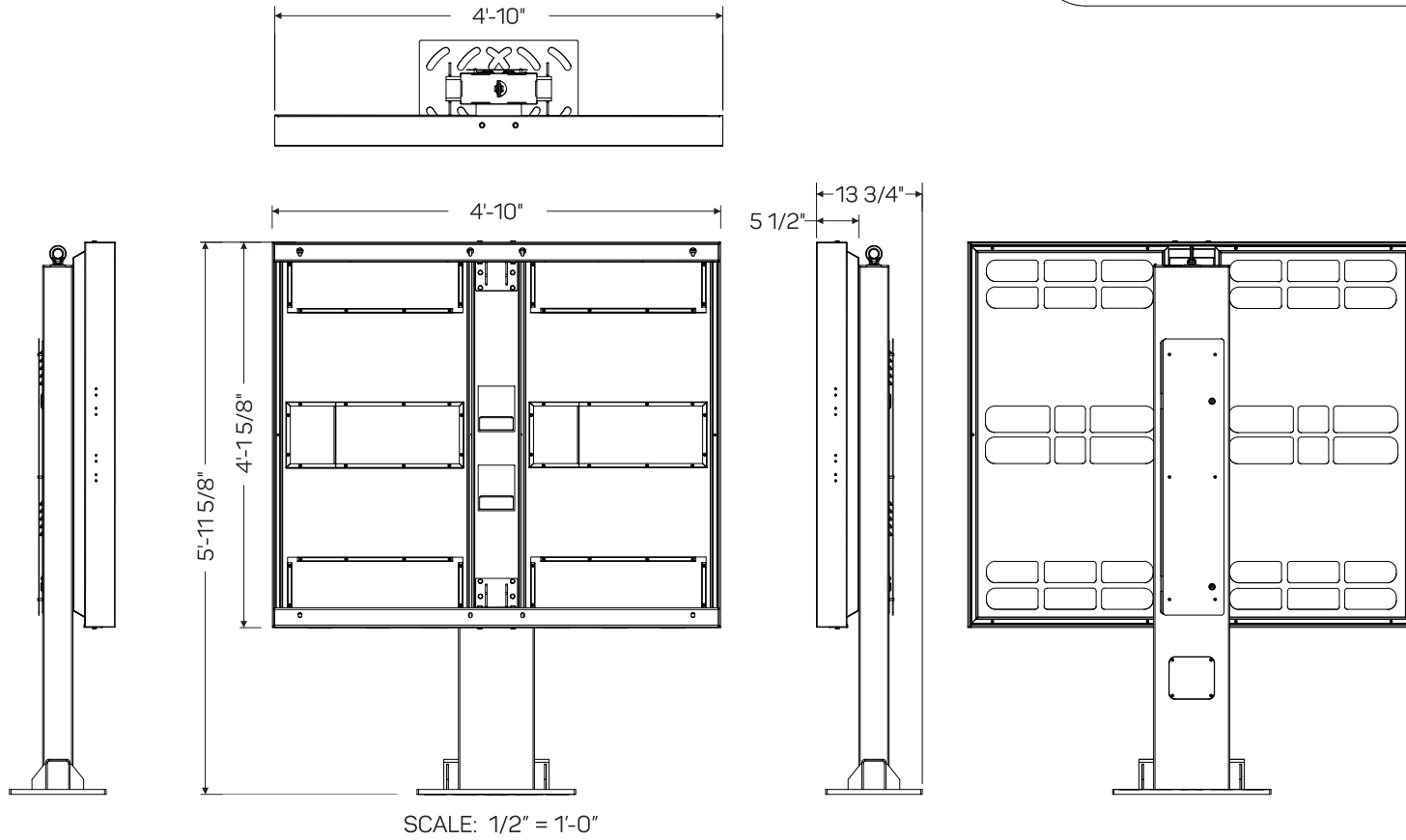
**persona**  
SIGNS | LIGHTING | IMAGE

Persona Signs, LLC  
700 21st Street Southwest  
PO Box 210  
Watertown, SD 57201-0210  
1.800.843.9888 • www.personasigns.com


<b>Frame</b>	<b>Hot dip galvanized + anti-graffiti powder coated steel</b>
<b>Brackets</b>	<b>Hot dip galvanized</b>
<b>Panels</b>	<b>Aluminium + anti-graffiti powdercoat</b>
<b>Access fasteners</b>	<b>Security Torx</b>
<b>Media player access</b>	<b>Dual camlock</b>
<b>Eyebolt</b>	<b>Stainless crane on</b>
<b>Baseplate</b>	<b>McDonalds spec triple mounting pattern option</b>

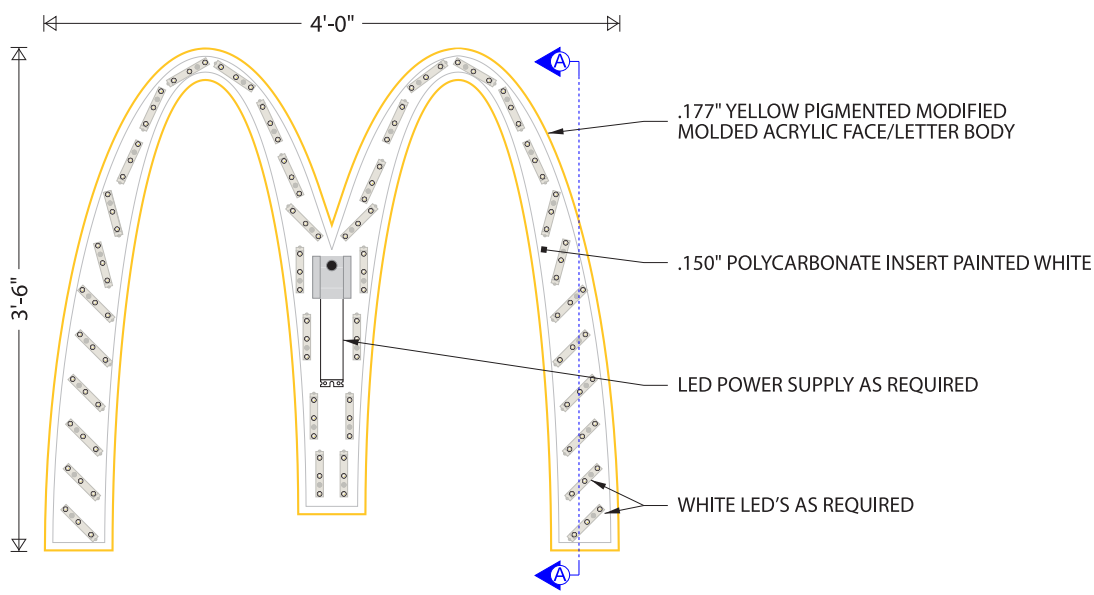
## ODMB 02 DOUBLE

<b>Displays</b>	<b>2 x Samsung OH55F</b>
<b>Hardware</b>	<b>2 x Stratacache Spectra NG</b>
<b>Heating/Cooling</b>	<b>Watlow 100W Heater Sunon 120mm AC Fan</b>
<b>Power Supply Units</b>	<b>2 x 60W DC Media Player Power Supply</b>
<b>Power Cables</b>	<b>2 x IEC Power Cables</b>
<b>Electrical Components</b>	<b>Isolated Ground 2 x IG Receptacles 20A Circuit Breaker</b>
<b>Communication Cables</b>	<b>4 x HDMI 2 x RS232</b>
<b>Certification</b>	<b>UL Certified</b>

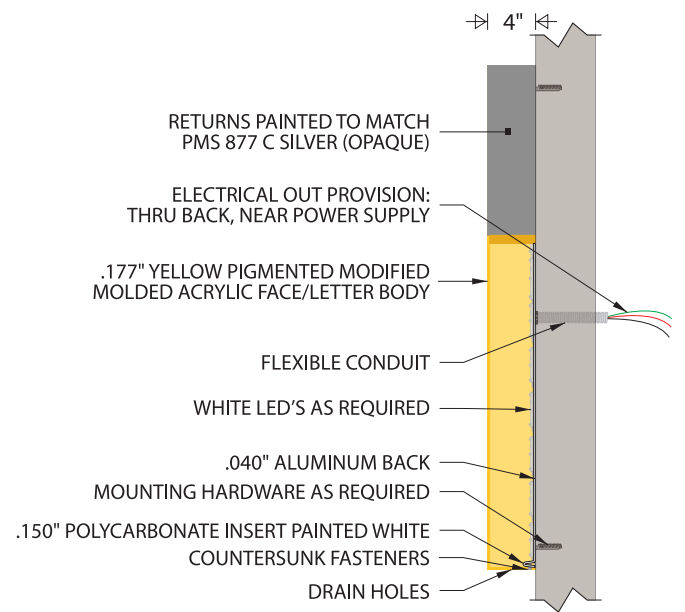


GRAPHIC DETAIL  
NOT TO SCALE

Customer: <b>MCDONALD'S</b>	Date: <b>08/18/22</b>	Prepared By: <b>AL</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 <p><b>Persona Signs, LLC</b> 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com</p>
Location: <b>QUEEN CREEK, AZ</b>	File Name: <b>381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ</b>	Eng: <b>-</b>		



**FRAME & LAMP DETAIL**  
SCALE: 3/4" = 1'-0"

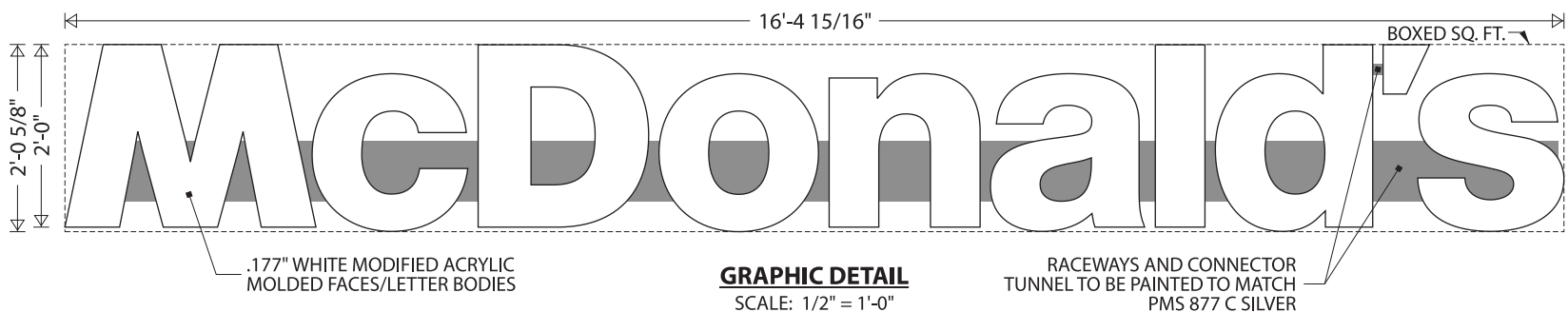


**CROSS SECTION A-A**  
SCALE: 3/4" = 1'-0"



**GRAPHIC DETAIL**  
SCALE: 3/4" = 1'-0"

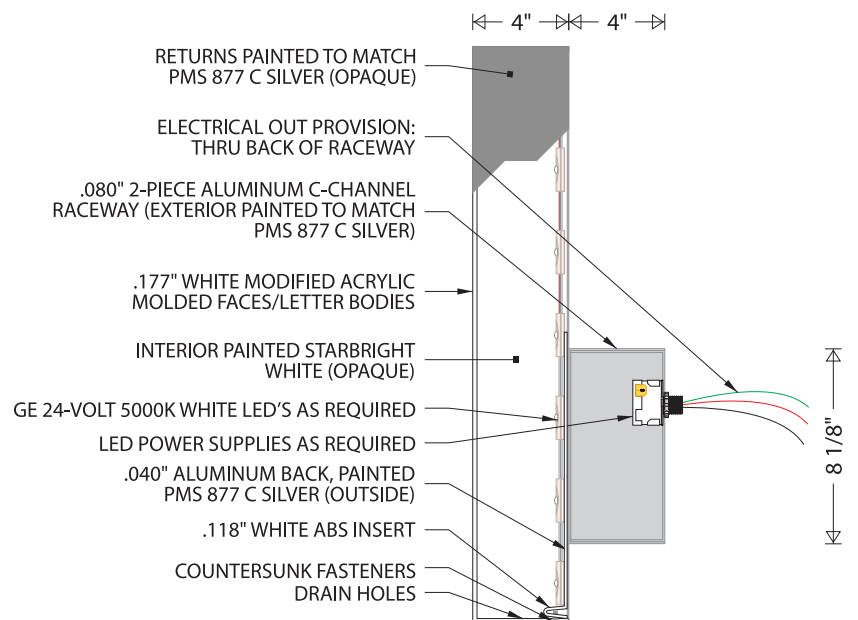
**FRAME DETAIL:**  
 DESIGN FACTOR: TBD  
 .177" FORMED YELLOW PIGMENTED (PMS 123 C) MODIFIED ACRYLIC FACE/LETTER BODY  
 EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)  
 INTERIOR FINISH: PAINTED STARBRIGHT WHITE (OPAQUE)  
 .150" POLYCARBONATE INSERT PAINTED STAR-BRIGHT WHITE  
 .040" ALUMINUM BACK  
 LETTER BODY REMOVABLE FOR SERVICE ACCESS  
 U.L. APPROVED  
 ELECTRICAL: 0.85 AMPS, 120 VOLTS  
 SQUARE FOOTAGE:  
 BOXED = 14.00  
 ACTUAL = 4.90



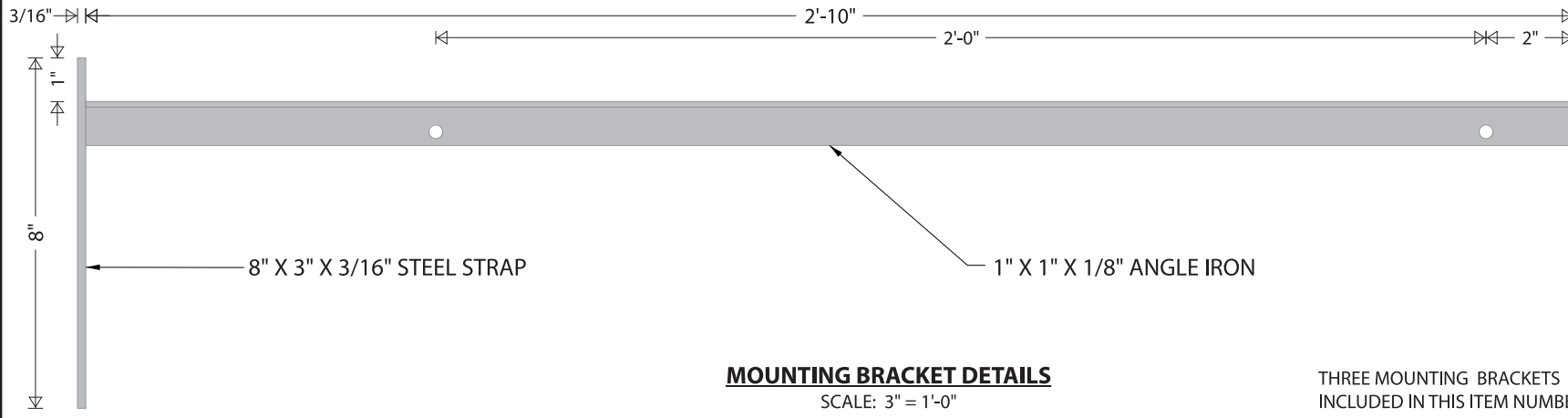
**GRAPHIC DETAIL**  
SCALE: 1/2" = 1'-0"

RACEWAYS AND CONNECTOR TUNNEL TO BE PAINTED TO MATCH PMS 877 C SILVER

**NOTES:**  
 .177" MOLDED WHITE MODIFIED ACRYLIC LETTER BODIES INSTALLED ON ALUMINUM BACKS  
 .118" WHITE ABS INSERTS  
 EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE); BACKS PAINTED PMS 877 C SILVER  
 INTERIOR FINISH: STAR-BRIGHT WHITE (OPAQUE)  
 LETTER BODIES REMOVABLE FOR SERVICE ACCESS  
 ACCESS PANEL BEHIND LETTER "n" FOR RACEWAY ACCESS  
 U.L. APPROVED  
 ELECTRICAL: 1.10 AMPS, 120 VOLTS  
 SQUARE FOOTAGE:  
 BOXED = 33.38  
 ACTUAL = 19.53



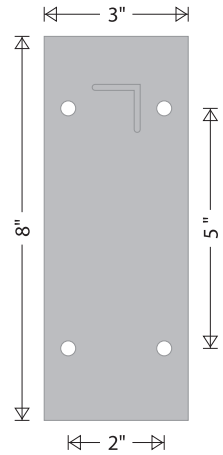
**LETTER PROFILE**  
SCALE: 1 1/2" = 1'-0"



**MOUNTING BRACKET DETAILS**

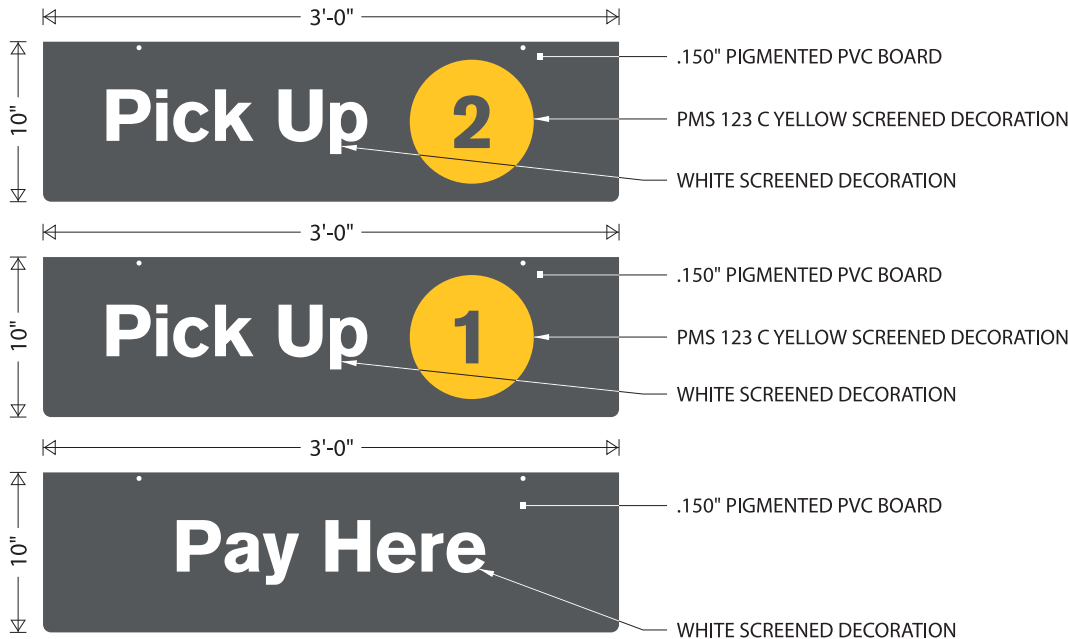
SCALE: 3" = 1'-0"

THREE MOUNTING BRACKETS INCLUDED IN THIS ITEM NUMBER



**PLATE DETAILS**

SCALE: 3" = 1'-0"



**WINDOW POSITION SIGN DETAILS**


SCALE: 1" = 1'-0"

**BRACKET DETAILS**

- DESIGN FACTOR: TBD
- 3/16" X 3" STEEL STRAP
- 1" X 1" X 1/8" ANGLE IRON ARM
- EXTERIOR FINISH: PAINTED PMS 877 C SILVER
- 5/16" HOLES PUNCHED IN ANGLE AND PLATE FOR MOUNTING


**WINDOW POSITION SIGNS DETAIL**

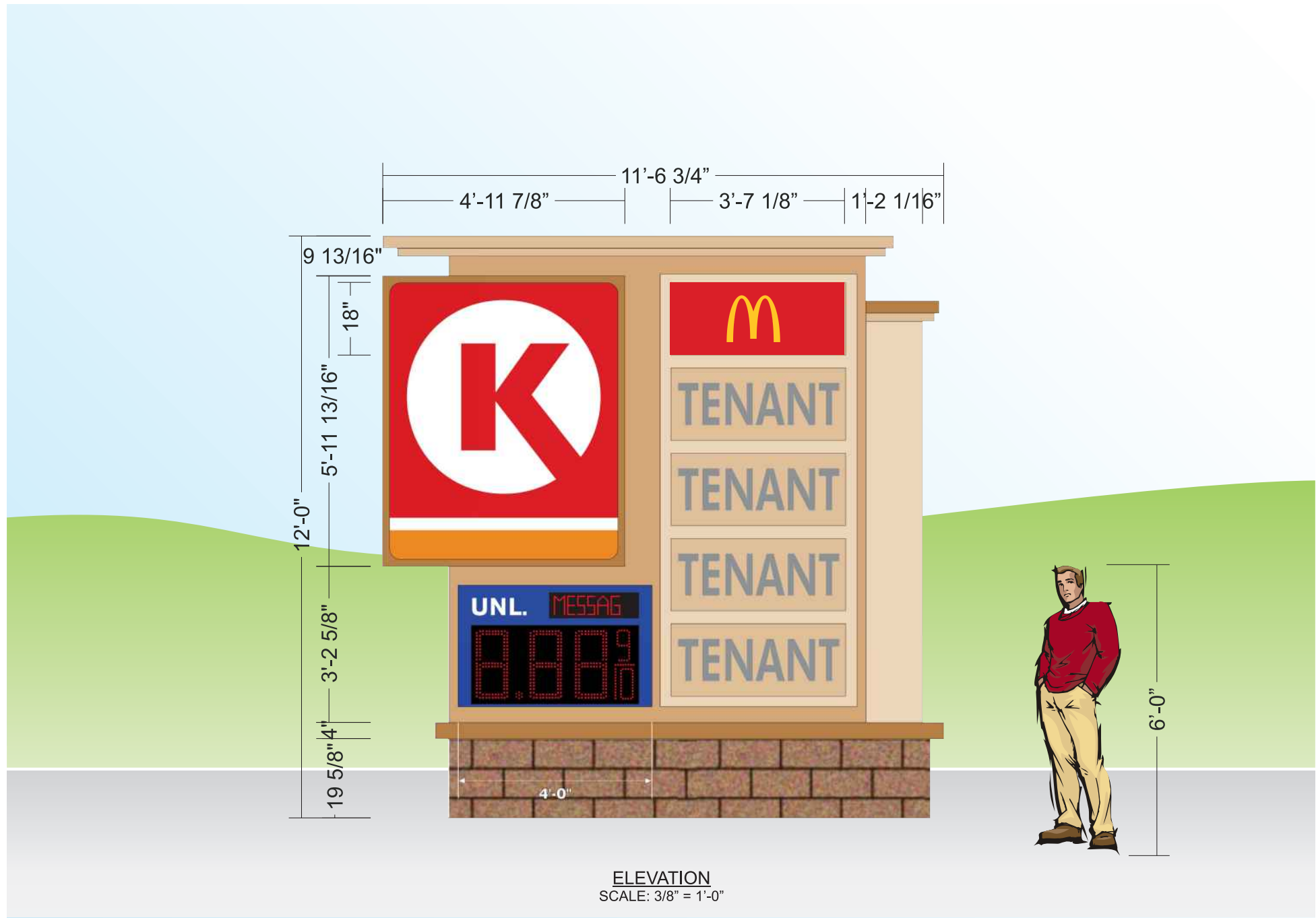
- DESIGN FACTOR: TBD
- .150" PIGMENTED PVC BOARD TO MATCH GREY FORD - MED DK PLATINUM
- WHITE SCREENED COPY 1ST SURFACE
- PMS 123 C YELLOW - NUMERAL BACKGROUND
- 2.50 SQUARE FEET
- \* ALL THREE WINDOW POSITION SIGNS ARE INCLUDED IN THIS ITEM.

Customer: <b>MCDONALD'S</b>	Date: <b>08/18/22</b>	Prepared By: <b>AL</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 <p><b>Persona Signs, LLC</b> 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com</p>
Location: <b>QUEEN CREEK, AZ</b>	File Name: <b>381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ</b>	Eng: <b>-</b>		




ELEVATION  
SCALE: 3/8" = 1'-0"

Customer: <b>MCDONALD'S</b>	Date: <b>5/1/22</b>	Prepared By: <b>AL</b>	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.	 <p> <b>persona</b>          SIGNS   LIGHTING   IMAGE       </p>	Persona Signs, LLC 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
Location: <b>QUEEN CREEK, AZ</b>	File Name: <b>381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ</b>	Eng: -			



ELEVATION  
SCALE: 3/8" = 1'-0"

Customer: <b>MCDONALD'S</b>	Date: <b>5/1/22</b>	Prepared By: <b>AL</b>	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.	 <p>SIGNS   LIGHTING   IMAGE</p>	Persona Signs, LLC 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
Location: <b>QUEEN CREEK, AZ</b>	File Name: <b>381601 - R5 - 4295 W HUNT HWY - QUEEN CREEK, AZ</b>	Eng: -			

**EXISTING FREE STANDING GROUND SIGN 8/23/23**



**← PROPOSED PANEL LOCATION**



# EXISTING FREE STANDING GROUND SIGN 8/23/23

PROPOSED PANEL LOCATION



**EXISTING BUILDING STRUCTURE 8/23/23**

**BUILDING STRUCTURE HAS  
NO EXISTING BUILDING SIGNAGE**





McDonald's USA, L.L.C.  
Rocky Mountain Region  
4643 S. Ulster St.  
Denver, CO. 80237

Wednesday, September 14, 2022

Project:  
**McDonald's #40359**  
**4295 W, Hunt Hwy**  
**Queen Creek AZ. 85142**

To whom it may concern:

I am an authorized agent for the above referenced address.

In my capacity as construction manager, I do hereby authorize Persona Inc. to perform all sign work associated with the above referenced location. I approve of the sign drawings submitted. I further authorize Persona Inc. and/or its representative to obtain a permit.

Authorized by:  
John Hyder  
Project Manager

Authorized signature:

A handwritten signature in black ink, appearing to read "John Hyder", written over a horizontal line.



**PINAL COUNTY**  
WIDE OPEN OPPORTUNITY

**PROCEDURE AND APPLICATION FOR A COMPREHENSIVE SIGN REVIEW**

Chapter 2.145, Section 150; **Flexibility Provisions** of the Pinal County Development Services Code sets forth a procedure, which provides flexibility in the Sign Code for signs, or sign packages not allowed in Chapter 2.145, Sections 030 through 140, or as the result of a stipulation to a zoning approval. The procedures include the use of sign review to receive additional design flexibility for signs.

**Submittal Package**

A digital version of the following should be submitted with the sign application to be reviewed by the Sign Review Committee including:

- A justification letter describing the request and how the sign structure, materials, and colors are compatible with the project's building architecture. Include a list in outline form of each sign requested, both freestanding and wall, to include verbiage, area in square feet, and height.
- An inventory and photographs of any or all-existing freestanding signs on site.
- Preliminary Site Plan containing:
  - A vicinity map showing the location of the property in relation to adjoining properties.
  - Provide a north arrow, date of plan preparation, with subsequent revision dates. Project title and address/parcel number. Architect and/or consultant's name, address, and telephone number. Property owner name, address, and telephone number.
  - Provide a data table on the site plan that includes existing zoning and the net site area.
  - Show property boundaries and dimensions.
  - Show adjacent street right-of-way, existing and proposed; and existing/proposed street and sidewalk noted to centerline.
  - Show location of conceptual or existing landscape concepts including trees, shrubs, ground covers, berms, and screen walls.
  - Show location of proposed freestanding signs including dimensions, height, material and colors, and method of illumination.
  - Include elevations of buildings showing wall sign locations and dimensions.
  - When more than one sign is located on a property, or where more than one building or business is located in a single development project, such as a shopping center, a Comprehensive Sign Package shall be submitted demonstrating consistency and uniformity among signs within the project. The requirements of a Comprehensive Sign Package shall apply to all businesses within a related project, even if the properties have been subdivided. Revisions or amendments to the Comprehensive Sign Package shall require documentation from all tenants on the property prior to approval.
- Application submittal fees in the amount of \$1,187.00

**Procedure**

Upon complete submittal staff will review the application and determine if the request can be administratively approved or if the proposal requires Board of Supervisors approval, please see PCDCS Chapter 2.145 for more information. If BOS approval is required, Please allow up to 12 weeks for a hearing.

\*\*\* Your application must be submitted via the online portal at: <https://citizenaccess.pinalcountyz.gov/CitizenAccess>. Please call or email the Planning Division for more information. There is a processing fee for online payments please follow this link for more information: <http://www.pinalcountyz.gov/CommunityDevelopment/Pages/OnlinePaymentsInfo.aspx>

COMMUNITY DEVELOPMENT  
Planning Division

85 N. Florence St., PO Box 2973, Florence, AZ 85132 T 520-866-6442 FREE 888-431-1311 F 520-866-6530  
[www.pinalcountyz.gov](http://www.pinalcountyz.gov)



**PINAL COUNTY**  
WIDE OPEN OPPORTUNITY

**APPLICATION FOR COMPREHENSIVE SIGN REVIEW IN AN UNINCORPORATED AREA PINAL COUNTY, ARIZONA**  
(Applications Must Be Typed or Written in Ink)

**Comprehensive Sign Review & Property Information:** (feel free to include answers and to these questions in a Supplementary Narrative, when doing so write see narrative on the space provided)

Project Name: McDonald's

Owner/Applicant: McDonald's Corp

Address: 110 N CARPENTER ST, CHICAGO, IL 60607 US Phone/Fax: (800) 244-6227

Parcel #: 509-020-84A Project Address: 4295 W HUNT HWY, SAN TAN VALLEY 85142

Property Zoning: CB-1/PAD Case(s): \_\_\_\_\_ SPR Case: \_\_\_\_\_

Present Use of Property: VACANT LOT (CONSTRUCTION ONGOING)

Proposed Use of Property: RESTAURANT

Total # of Signs Proposed: 15 Total Square Feet of Signage Proposed: 181.1

Deviations Being Requested: REQUESTING TO EXCEED MAX SQFT IN ORDER TO CREATE A CLEAN COHESIVE LOOK AMONGST ALL MCDS RESTAURANTS WHILE COMPLIMENTING EXISTING STRUCTURES AND ADJACENT BUSINESSES IN THE AREA.

Is this an Amendment of a previously approved Comprehensive Sign Review Package? YES If yes what is the case number: CSR - CSR-001-09

Is there a zoning violation on the property for which the owner has been cited? YES  NO

If yes, zoning violation # \_\_\_\_\_

INV#: \_\_\_\_\_ AMT: \_\_\_\_\_ DATE: \_\_\_\_\_ CASE: \_\_\_\_\_ Xref: \_\_\_\_\_

COMMUNITY DEVELOPMENT  
Planning Division

## **PINAL COUNTY COMPREHENSIVE SIGN REVIEW APPLICATION**

### **IN ADDITION TO THIS APPLICATION, YOU WILL NEED TO SUBMIT:**

- A justification letter describing the request and how the sign structure, materials, and colors are compatible with the project's building architecture. Include a list in outline form of each sign requested, both freestanding and wall, to include verbiage, area in square feet, and height.
- An inventory and photographs of any existing freestanding or attached signs on site.
- Preliminary Site Plan containing:
  - A vicinity map showing the location of the property in relation to adjoining properties.
  - Provide a north arrow, date of plan preparation, with subsequent revision dates. Project title and address/parcel number. Architect and/or consultant's name, address, and telephone number. Property owner name, address, and telephone number.
  - Provide a data table on the site plan that includes existing zoning and the net site area.
  - Show property boundaries and dimensions.
  - Show adjacent street right-of-way, existing and proposed; and existing/proposed street and sidewalk noted to centerline.
  - Show location of conceptual or existing landscape concepts including trees, shrubs, ground covers, berms, and screen walls.
  - Show location of proposed freestanding signs including dimensions, height, material and colors, and method of illumination.
  - Include elevations of buildings showing wall sign locations and dimensions.
  - When more than one sign is located on a property, or where more than one building or business is located in a single development project, such as a shopping center, a Comprehensive Sign Package shall be submitted demonstrating consistency and uniformity among signs within the project. The requirements of a Comprehensive Sign Package shall apply to all businesses within a related project, even if the properties have been subdivided. Revisions or amendments to the Comprehensive Sign Package shall require documentation from all tenants on the property prior to approval.
- Property owner(s) authorization (attached to this application).
- Non-refundable application submittal fees in the amount of \$1,187.00
- Submit one copy and a CD or Jump Drive which contains a copy of the application and narrative in PDF format.  
\*This will not be needed if submitted through the online system please call us for more information on how to use the online portal

I certify the information included in this application is accurate, to the best of my knowledge. I have read the application and I have included the information, as requested. I understand if the information submitted is incomplete, this application cannot be processed.

480-775-4650

CORNERSTONE Equities LLC 4360 E BROWN RD, MESA AZ 85205

Name of Landowner (Applicant) Address Phone Number

By: BLACKSTONE ASSET MGMT LLC

By: ~~MANAGER~~ MANAGER

Signature of Landowner (Applicant)

Bob@GLENWOOD.COM

E-Mail Address

Name of Agent

Address

Phone Number

Signature of Agent

E-Mail Address

The Agent has the authority to act on behalf of the landowner. The Agent will be the contact person for Planning staff and must be present at all hearings. Please use the attached Agency Authorization form, if applicable





## **E-Submittal Requirements:**

**All Zoning Case reviews must be submitted digitally through the online permitting portal using the following naming convention:**

### **ePlan Reviews**

Plans can be submitted electronically through the Citizen Access Portal, which can be found at <https://citizenaccess.pinalcountvaz.gov/CitizenAccess/> When plans are submitted through the ePlan review system, they **MUST** be in **one multi-page PDF** and use following naming format:

*Review Type #\_Plan Type*. For example:

- First Submittal Review
  - SUB1\_Application
  - SUB1\_PAD Book or Narrative
  - SUB1\_TIA
  - SUB1\_ALTA
  - SUB1\_Drainage Report...etc
  - SUB1\_...etc
  
- Second Substantive Review (only resubmit items that are being amended)
  - SUB2\_Application
  - SUB2\_Drainage Report
  - SUB2\_TIA
  - SUB2\_ALTA
  - SUB2\_...etc

*\* Documents that are uploaded which do not follow the appropriate naming convention will be rejected.*

*\* Online submittals are subject (up to) a 5 day processing timeframe for invoicing based on uploaded documents please do not pay until your staff coordinator has provided a fee amount*

DARREN S. ANTLE, P.E.

STRUCTURAL CALCULATIONS FOR:

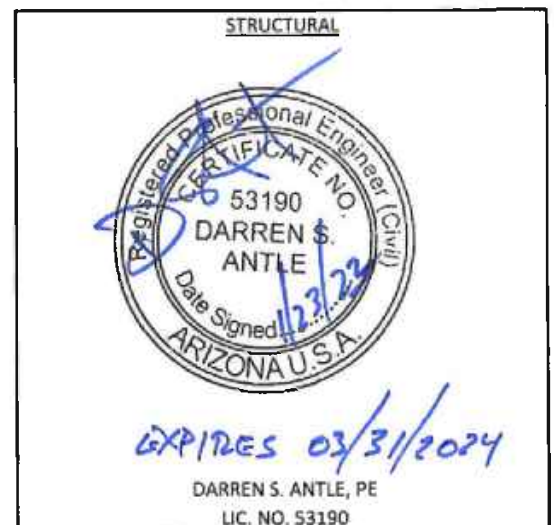
**McDonald's #40539**

**Queen Creek, AZ**

**CALCULATION PACKET**

**JOB INFORMATION**

Comm. No.: 230030.013  
Project: McDonald's #40539  
City: Queen Creek  
State: AZ  
Building Code: 2021 IBC  
Loads Based On: ASCE 7-16  
Designer: CTP  
Date: 1/23/2023  
Doing Business As: DSA



STRUCTURAL CALCULATIONS FOR:

**McDonald's**

**NEXT-GEN OHC**

CALCULATIONS CONTAINED HEREIN ARE SUITABLE  
FOR THE THE FOLLOWING CODE REQUIREMENTS:

2021 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH

2018 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH



## FOUNDATION DESIGN

### Footing Loads

Axial, $P_a$	1.4 k
Moment, $M_a$	6.9 k-ft
Shear, $V_a$	0.4 k
Base Column to Footing Connection Type	Base Plate

### Footing and Soils Data

Concrete Strength, $f'_c$	2500 psi
Materials Class	5
Sign or Flagpole	Yes
Allowable Vertical Bearing Pressure	1500 psf
Allowable Lateral Bearing Pressure	200 psf/ft

### Caisson Footing

Constrained Base	No
Diameter, b	3.00 ft
Vertical Reinforcing Bar Size	#6
Top Depth to Ignore for Poor Soil Conditions	3.00 ft
Depth Calculation Status	OK
Effective Height, h	19.8
S1	0.32
S3	0.95
A	0.86 ft
Assumed Depth (not including ignored top depth)	4.76 ft
Required Depth (not including ignored top depth)	✓ 4.76 ft
Concrete Strength, $f'_c$	2500 psi
Minimum Diameter for Structural Plain Concrete Use	1.79 ft
Required Reinforcing Type	T&S Only
Minimum Reinforcing Ratio	0.50%
Minimum Reinforcing, $A_{s-min}$	5.09 sq in
Required Flexural Reinforcing Ratio	0.00%
Required Flexural Reinforcing, $A_s$	0.00 sq in
Controlling Reinforcing, $A_{s-req'd}$	5.09 sq in
(26) #4 Bars	5.20 sq in
(18) #5 Bars	5.58 sq in
(12) #6 Bars	5.28 sq in
(10) #7 Bars	6.00 sq in
(8) #8 Bars	6.32 sq in

### Caisson Footing Design Summary

Footing Diameter, b	3.00 ft		
Footing Depth, D	8.00 ft		
Estimated Volume	2.1 yd <sup>3</sup>	<b>Stirrup Size &amp; Spacing</b>	
Selected Bar Size	#6		#4
Required Quantity	12		9.0 in

IBC Table 1806.2 - Allowable Foundation and Lateral Pressure

Class of Materials		Allowable Bearing Pressures	
		Vertical psf	Lateral psf/ft
1	Crystalline bedrock	12000	1200
2	Sedimentary and foliated rock	4000	400
3	Sandy gravel and/or gravel (GW and GP)	3000	200
4	Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)	2000	150
5	Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)	1500	100
Geotech	Geotechnical study is applicable	--	--

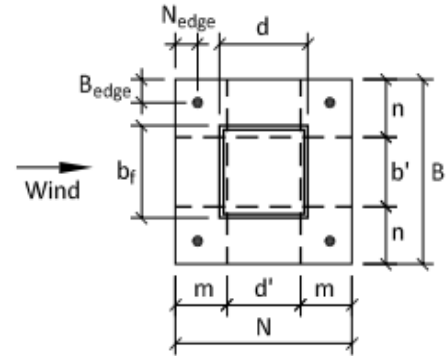
Note: If structure is a sign or flagpole, the lateral bearing pressure value from above has been doubled at left per IBC 1806.3.4 (only for Class of Materials 1-5)

Note: If pole is directly embedded into caisson footing, the steel pole is deemed to provide footing reinforcement for flexural loads applied to the footing. If anchor bolts are used and the "Diameter, b" exceeds "Minimum Diameter for Structural Plain Concrete Use" value, ACI 318 does not require reinforcement in footing since an unreinforced section is sufficient to resist the flexural loads applied to the footing. However, office standard practice is to provide at minimum 0.18% in a caisson footing due to the presence of anchor bolts, primarily due to the need to develop the anchor bolt tensile forces with the longitudinal reinforcing.

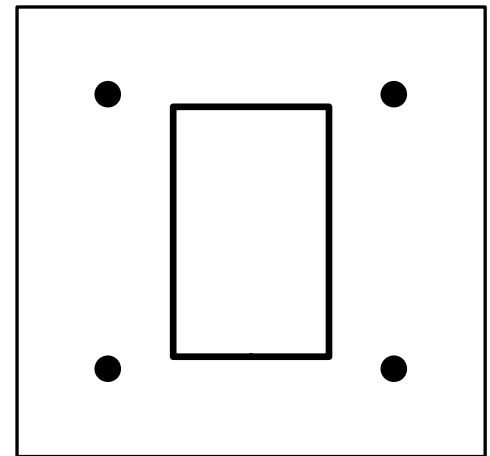
## RECTANGULAR BASE PLATE DESIGN

### Input Parameters

Column Size	HSS10X6X3/16	
Column Type	HSS_Rect	
Axis	Weak	
Depth or Diameter, d	6.0 in	
Width, $b_f$	10.0 in	
Plate Length, N	18.0 in	OK
Plate Width, B	18.0 in	OK
Plate Thickness, t	1.00 in	OK
Edge Distance, $N_{edge}$	3.50 in	OK
Edge Distance, $B_{edge}$	3.50 in	OK
Bolt Configuration	Flange	
# per Flange Side	2	
Diameter, $d_b$	1.00 in	OK
Bolt Material	F1554 Grade 36	
Embedment Depth in Caisson / Vert. Slab	34 in	OK
Embedment Depth in Spread Footing		N/A
Grout Bed	No	
Fillet Weld Size at Column Base	0.19 in	OK
Gussets (If yes, reduce req'd plate thickness by 20%)	No	
Second Fillet Weld at Inside of Column	No	
Weld Group Section Modulus With Gussets		



**Base Plate Dimensions Diagram**



**Bolt Configuration Layout**

### Custom Bolt Configuration Entry

Bolt Number	Coordinates from Column Center		
	X		Y
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

### Column Loads

Axial, $P_a$	1.4 k
Moment, $M_a$	6.9 k-ft
Shear, $V_a$	0.4 k

### Base Plate Dimensions

Plate Area, $A_1$	324.0 sq in
Effective Plate Length, $m$	6.2 in
Effective Plate Width, $n$	5.0 in
Effective Column Depth, $d'$	5.7 in
Effective Column Width, $b'$	8.0 in
C.G. of Bolt Group from Centerline, $A'$	5.5 in
C.G. of Bolt Group from Plate Edge, $N'$	14.5 in

### Footing Information

Concrete Strength, $f'_c$	2500 psi
Caisson Footing Bearing Surface Area	7.1 sf
Vertical Slab Footing Bearing Surface Area	999999.0 sf
Spread Footing Bearing Surface Area	999999.0 sf
Foundation Area, $A_2$	7.1 sf

### Base Plate Forces Per Triangular Pressure Distribution

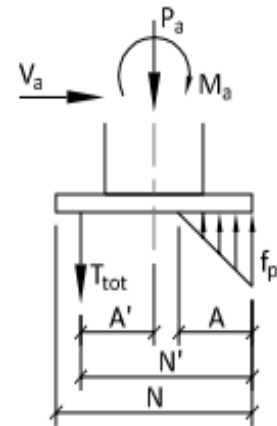
Eccentricity, $e$	60.3 in
Kern Eccentricity, $e_{kern}$	3.0 in
Bearing Safety Factor, $\Omega_{bearing}$	2.5
Bearing Stress at Edge, $f_p$	1.507 ksi
Bearing Stress at Column, $f_{p1}$	0.000 ksi
Bearing Resultant, $f'$	196.6 k
Bearing Length, $A$	0.5 in
Total Tension on Bolt Group, $T_{total}$	4.9 k

### Required Base Plate Thickness

Base Plate Yield Stress, $F_y$	36.0 ksi
Bearing Moment, $M_{a-pl-bearing}$	2.1 k-in/in
Tension Moment, $M_{a-pl-tension}$	1.2 k-in/in
Controlling Moment, $M_{a-pl-max}$	2.1 k-in/in
Required Plate Thickness, $t_{pl-reqd}$	0.62 in

### Column Base Weld to Base Plate

Fillet Weld Size	0.1875	
Column Type	HSS_Rect	
Depth or Diameter, $d$	6.0 in	
Width, $b$	10.0 in	
Allowable Weld Stress, $F_w/\Omega$	14.8 ksi	
Section Modulus of Weld w/out Gussets	72.00 in <sup>2</sup>	
Weld Stress Without Gussets, $f_w$	6.4 ksi	OK
Custom Section Modulus With Gussets	0.00 in <sup>2</sup>	
Weld Stress With Gussets, $f_{w-gussets}$	0.0 ksi	OK



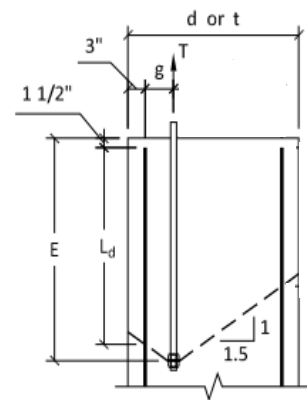
**Force Distribution Diagram**

### Anchor Bolt Design

# of Bolts in Tension	2
# of Bolts in Shear	4
Distance Between Plate and Footing	1.5 in
Tension, $T_a$	2.5 k
Shear, $V_a$	0.1 k
Moment, $M_a$	0.1 k-in
Area, $A_b$	0.79 sq in
Section Modulus, $S_b$	0.10 in <sup>3</sup>
Yield Stress, $F_y$	36.0 ksi
Ultimate Stress, $F_u$	58.0 ksi
Nominal Shear Stress, $F_{nv}$	23.2 ksi
Nominal Tensile Stress, $F_{nt}$	43.5 ksi
Nominal Effective Tensile Stress, $F'_{nt}$	43.5 ksi
Shear / Tension Safety Factor, $\Omega_{v/t}$	2
Allowable Shear Stress, $F_v$	11.6 ksi
Allowable Tensile Stress, $F_t$	21.8 ksi
Nominal Bending Stress, $F_{nb}$	57.6 ksi
Bending Safety Factor, $\Omega_b$	1.67
Allowable Bending Stress, $F_b$	34.5 ksi
Actual Shear Stress, $f_v$	0.1 ksi
Actual Tensile Stress, $f_t$	3.1 ksi
Actual Bending Stress, $f_b$	1.3 ksi
Combined Stress Ratio	18% <b>OK</b>

### Anchor Bolt Embedment into Caisson or Vertical Slab Footing

	Caisson	Vertical Slab
Caisson Diameter, d	3.0 ft	
Caisson Vertical Bar Size	#6	
Caisson Vertical Bar Quantity	12	
Vertical Slab Thickness, t	--	
Vertical Slab Width, b	--	
Vertical Slab Vertical Bar Size	--	
Vertical Slab Vertical Bar Spacing	--	
Footing Reinforcing in Tensile Face, $A_{s-prov}$	2.65 sq in	
Clear Cover to Reinforcing	3.0 in	
Reinforcing to Bolt Gage Tension Face, g	9.1 in	
Reinforcing to Bolt Gage Compression Face, g'	20.5 in	
Total Tension on Bolt Group, $T_{total}$	4.9 k	
Reinforcing Req'd to Develop Tension, $A_{s-req'd}$	0.15 sq in	
Excess Reinforcing Ratio, $A_{s-req'd}/A_{s-prov}$	6%	
Excess Reinforcement Reduction (25% min)	25%	
Development Length, $L_d$	36 in	
Reduced Development Length, $L'_d$	12 in	
Minimum Required Embedment Depth, E	20 in	



**Straight Reinforcing Development Diagram**

## MATCH PLATE 1 DESIGN - LOWER COLUMN

### Input Parameters

Elevation	11.0 ft
Column Size	HSS10X6X3/16
Column Type	HSS_Rect
Axis	Weak
Depth or Diameter, d	6.0 in
Width, b <sub>f</sub>	10.0 in
Plate Length, N	11.00 in
Plate Width, B	11.00 in
Plate Thickness, t	0.50 in
Edge Distance, N <sub>edge</sub>	1.50 in
Edge Distance, B <sub>edge</sub>	3.50 in
Bolt Configuration	Flange
# per Flange Side	2
Diameter, d <sub>b</sub>	0.50 in
Bolt Material	A325
Fillet Weld Size at Column Base	0.19 in
Gussets (If yes, reduce req'd plate thickness by 20%)	No
Weld Group Section Modulus With Gussets	

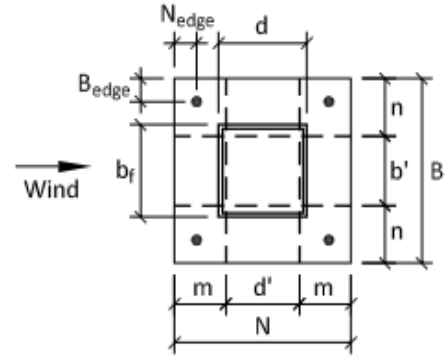
OK

OK

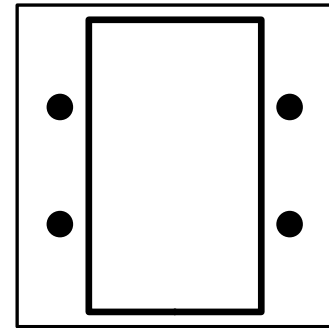
OK

OK

OK



Match Plate Dimensions Diagram



Bolt Configuration Layout

### Custom Bolt Configuration Entry

Bolt Number	Coordinates from Column Center	
	X	Y
1		
2		
3		
4		
5		
6		
7		
8		

### Joint Loads

Axial, P <sub>a</sub>	1.8 k
Moment, M <sub>a</sub>	4.8 k-ft
Shear, V <sub>a</sub>	0.1 k

### Match Plate Dimensions

Effective Plate Length, m	2.7 in
Effective Plate Width, n	1.5 in
Effective Column Depth, d'	5.7 in
Effective Column Width, b'	8.0 in
Tensile Group from Centerline, A'	4.0 in
Tensile Group from Plate Edge, N'	9.5 in
Tensile Group to Center of Bearing, N'-0.5m	8.2 in

### Required Match Plate Thickness

Compression on Bearing Face, C <sub>total</sub>	7.9 k
Tension on Bolt Group, T <sub>total</sub>	6.1 k
Steel Yield Stress, F <sub>y</sub>	36.0 ksi
Bearing Moment, M <sub>a-pl-bearing</sub>	1.0 k-in/in
Tension Moment, M <sub>a-pl-tension</sub>	1.5 k-in/in
Controlling Moment, M <sub>a-pl-max</sub>	1.5 k-in/in
Required Plate Thickness, t <sub>pl-reqd</sub> (Unreduced)	0.50 in

### Bolt Design

# of Bolts in Tension	2
# of Bolts in Shear	4
Tension, T <sub>a</sub>	3.1 k
Shear, V <sub>a</sub>	0.0 k
Area, A <sub>b</sub>	0.20 sq in
Ultimate Stress, F <sub>u</sub>	120.0 ksi
Nominal Shear Stress, F <sub>nv</sub>	48.0 ksi
Nominal Tensile Stress, F <sub>nt</sub>	90.0 ksi
Nominal Effective Tensile Stress, F' <sub>nt</sub>	90.0 ksi
Shear / Tension Safety Factor, Ω <sub>v/t</sub>	2
Allowable Shear Stress, F <sub>v</sub>	24.0 ksi
Allowable Tensile Stress, F <sub>t</sub>	45.0 ksi
Actual Shear Stress, f <sub>v</sub>	0.2 ksi
Actual Tensile Stress, f <sub>t</sub>	15.6 ksi

OK

OK

### Column Base Weld to Match Plate

Allowable Weld Stress, F <sub>w</sub> /Ω	14.8 ksi
Section Modulus of Weld w/out Gussets	72.00 in <sup>2</sup>
Weld Stress Without Gussets, f <sub>w</sub>	4.3 ksi
Custom Section Modulus With Gussets	0.00 in <sup>2</sup>
Weld Stress With Gussets, f <sub>w-gussets</sub>	0.0 ksi

OK

OK

STRUCTURAL CALCULATIONS FOR:

**McDonald's**

**GATEWAY - DOUBLE**

CALCULATIONS CONTAINED HEREIN ARE SUITABLE  
FOR THE THE FOLLOWING CODE REQUIREMENTS:

2021 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH

2018 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH



## FOUNDATION DESIGN

### Footing Loads

Axial, $P_a$	0.4 k
Moment, $M_a$	4.5 k-ft
Shear, $V_a$	0.6 k
Base Column to Footing Connection Type	Base Plate

### Footing and Soils Data

Concrete Strength, $f'_c$	2500 psi
Materials Class	5
Sign or Flagpole	Yes
Allowable Vertical Bearing Pressure	1500 psf
Allowable Lateral Bearing Pressure	200 psf/ft

### Caisson Footing

Constrained Base	No
Diameter, b	3.00 ft
Vertical Reinforcing Bar Size	#6
Top Depth to Ignore for Poor Soil Conditions	1.00 ft
Depth Calculation Status	OK
Effective Height, h	7.8
S1	0.30
S3	0.89
A	1.53 ft
Assumed Depth (not including ignored top depth)	4.44 ft
Required Depth (not including ignored top depth)	✓ 4.44 ft
Concrete Strength, $f'_c$	2500 psi
Minimum Diameter for Structural Plain Concrete Use	1.55 ft
Required Reinforcing Type	T&S Only
Minimum Reinforcing Ratio	0.50%
Minimum Reinforcing, $A_{s-min}$	5.09 sq in
Required Flexural Reinforcing Ratio	0.00%
Required Flexural Reinforcing, $A_s$	0.00 sq in
Controlling Reinforcing, $A_{s-req'd}$	5.09 sq in
(26) #4 Bars	5.20 sq in
(18) #5 Bars	5.58 sq in
(12) #6 Bars	5.28 sq in
(10) #7 Bars	6.00 sq in
(8) #8 Bars	6.32 sq in

### Caisson Footing Design Summary

Footing Diameter, b	3.00 ft	<b>Stirrup Size &amp; Spacing</b>
Footing Depth, D	5.50 ft	
Estimated Volume	1.4 yd <sup>3</sup>	
Selected Bar Size	#6	#4
Required Quantity	12	9.0 in

IBC Table 1806.2 - Allowable Foundation and Lateral Pressure

Class of Materials		Allowable Bearing Pressures	
		Vertical	Lateral
		psf	psf/ft
1	Crystalline bedrock	12000	1200
2	Sedimentary and foliated rock	4000	400
3	Sandy gravel and/or gravel (GW and GP)	3000	200
4	Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)	2000	150
5	Clay, silty clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)	1500	100
Geotech	Geotechnical study is applicable	--	--

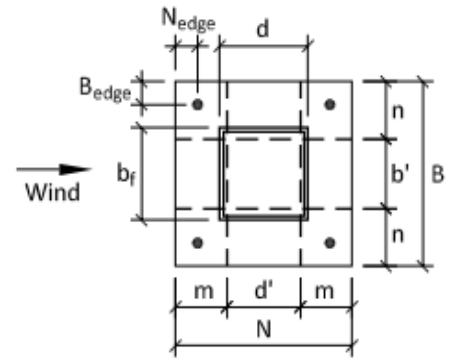
Note: If structure is a sign or flagpole, the lateral bearing pressure value from above has been doubled at left per IBC 1806.3.4 (only for Class of Materials 1-5)

Note: If pole is directly embedded into caisson footing, the steel pole is deemed to provide footing reinforcement for flexural loads applied to the footing. If anchor bolts are used and the "Diameter, b" exceeds "Minimum Diameter for Structural Plain Concrete Use" value, ACI 318 does not require reinforcement in footing since an unreinforced section is sufficient to resist the flexural loads applied to the footing. However, office standard practice is to provide at minimum 0.18% in a caisson footing due to the presence of anchor bolts, primarily due to the need to develop the anchor bolt tensile forces with the longitudinal reinforcing.

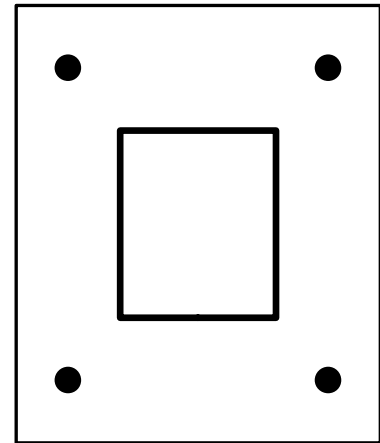
## RECTANGULAR BASE PLATE DESIGN

### Input Parameters

Column Size	HSS6X6X3/16	
Column Type	HSS_Rect	
Axis	Strong	
Depth or Diameter, d	6.0 in	
Width, b <sub>f</sub>	6.0 in	
Plate Length, N	14.0 in	OK
Plate Width, B	14.0 in	OK
Plate Thickness, t	0.75 in	OK
Edge Distance, N <sub>edge</sub>	2.00 in	OK
Edge Distance, B <sub>edge</sub>	2.00 in	OK
Bolt Configuration	Flange	
# per Flange Side	2	
Diameter, d <sub>b</sub>	0.75 in	OK
Bolt Material	F1554 Grade 36	
Embedment Depth in Caisson / Vert. Slab	33 in	OK
Embedment Depth in Spread Footing		N/A
Grout Bed	No	
Fillet Weld Size at Column Base	0.19 in	OK
Gussets (If yes, reduce req'd plate thickness by 20%)	No	
Second Fillet Weld at Inside of Column	No	
Weld Group Section Modulus With Gussets		



**Base Plate Dimensions Diagram**



**Bolt Configuration Layout**

Custom Bolt Configuration Entry	Coordinates from Column Center	
	X	Y
Bolt Number		
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

### Column Loads

Axial, $P_a$	0.4 k
Moment, $M_a$	4.5 k-ft
Shear, $V_a$	0.6 k

### Base Plate Dimensions

Plate Area, $A_1$	196.0 sq in
Effective Plate Length, m	4.2 in
Effective Plate Width, n	4.6 in
Effective Column Depth, $d'$	5.7 in
Effective Column Width, $b'$	4.8 in
C.G. of Bolt Group from Centerline, $A'$	5.0 in
C.G. of Bolt Group from Plate Edge, $N'$	12.0 in

### Footing Information

Concrete Strength, $f'_c$	2500 psi
Caisson Footing Bearing Surface Area	7.1 sf
Vertical Slab Footing Bearing Surface Area	999999.0 sf
Spread Footing Bearing Surface Area	999999.0 sf
Foundation Area, $A_2$	7.1 sf

### Base Plate Forces Per Triangular Pressure Distribution

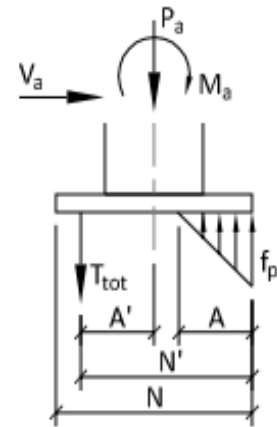
Eccentricity, e	149.7 in
Kern Eccentricity, $e_{kern}$	2.3 in
Bearing Safety Factor, $\Omega_{bearing}$	2.5
Bearing Stress at Edge, $f_p$	1.700 ksi
Bearing Stress at Column, $f_{p1}$	0.000 ksi
Bearing Resultant, $f'$	142.8 k
Bearing Length, A	0.4 in
Total Tension on Bolt Group, $T_{total}$	4.3 k

### Required Base Plate Thickness

Base Plate Yield Stress, $F_y$	36.0 ksi
Bearing Moment, $M_{a-pl-bearing}$	1.3 k-in/in
Tension Moment, $M_{a-pl-tension}$	1.1 k-in/in
Controlling Moment, $M_{a-pl-max}$	1.3 k-in/in
Required Plate Thickness, $t_{pl-reqd}$	0.50 in

### Column Base Weld to Base Plate

Fillet Weld Size	0.1875	
Column Type	HSS_Rect	
Depth or Diameter, d	6.0 in	
Width, b	6.0 in	
Allowable Weld Stress, $F_w/\Omega$	14.8 ksi	
Section Modulus of Weld w/out Gussets	48.00 in <sup>2</sup>	
Weld Stress Without Gussets, $f_w$	6.4 ksi	OK
Custom Section Modulus With Gussets	0.00 in <sup>2</sup>	
Weld Stress With Gussets, $f_{w-gussets}$	0.0 ksi	OK



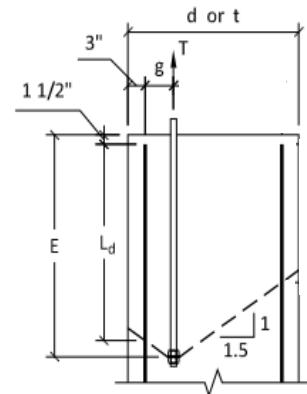
**Force Distribution Diagram**

### Anchor Bolt Design

# of Bolts in Tension	2
# of Bolts in Shear	4
Distance Between Plate and Footing	1.5 in
Tension, $T_a$	2.2 k
Shear, $V_a$	0.1 k
Moment, $M_a$	0.2 k-in
Area, $A_b$	0.44 sq in
Section Modulus, $S_b$	0.04 in <sup>3</sup>
Yield Stress, $F_y$	36.0 ksi
Ultimate Stress, $F_u$	58.0 ksi
Nominal Shear Stress, $F_{nv}$	23.2 ksi
Nominal Tensile Stress, $F_{nt}$	43.5 ksi
Nominal Effective Tensile Stress, $F'_{nt}$	43.5 ksi
Shear / Tension Safety Factor, $\Omega_{v/t}$	2
Allowable Shear Stress, $F_v$	11.6 ksi
Allowable Tensile Stress, $F_t$	21.8 ksi
Nominal Bending Stress, $F_{nb}$	57.6 ksi
Bending Safety Factor, $\Omega_b$	1.67
Allowable Bending Stress, $F_b$	34.5 ksi
Actual Shear Stress, $f_v$	0.3 ksi
Actual Tensile Stress, $f_t$	4.9 ksi
Actual Bending Stress, $f_b$	5.2 ksi
Combined Stress Ratio	38% <b>OK</b>

### Anchor Bolt Embedment into Caisson

	<u>Caisson</u>
Caisson Diameter, d	3.0 ft
Caisson Vertical Bar Size	#6
Caisson Vertical Bar Quantity	12
Vertical Slab Thickness, t	--
Vertical Slab Width, b	--
Vertical Slab Vertical Bar Size	--
Vertical Slab Vertical Bar Spacing	--
Footing Reinforcing in Tensile Face, $A_{s-prov}$	2.65 sq in
Clear Cover to Reinforcing	3.0 in
Reinforcing to Bolt Gage Tension Face, g	9.6 in
Reinforcing to Bolt Gage Compression Face, g'	20.0 in
Total Tension on Bolt Group, $T_{total}$	4.3 k
Reinforcing Req'd to Develop Tension, $A_{s-req'd}$	0.13 sq in
Excess Reinforcing Ratio, $A_{s-req'd}/A_{s-prov}$	5%
Excess Reinforcement Reduction (25% min)	25%
Development Length, $L_d$	36 in
Reduced Development Length, $L'_d$	12 in
Minimum Required Embedment Depth, E	20 in



**Straight Reinforcing Development Diagram**

STRUCTURAL CALCULATIONS FOR:

**McDonald's**

DIGITAL MENU BOARD

CALCULATIONS CONTAINED HEREIN ARE SUITABLE  
FOR THE THE FOLLOWING CODE REQUIREMENTS:

2021 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH

2018 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH



## FOUNDATION DESIGN

### Footing Loads

Axial, $P_a$	0.3 k
Moment, $M_a$	2.3 k-ft
Shear, $V_a$	0.6 k
Base Column to Footing Connection Type	Base Plate

### Footing and Soils Data

Concrete Strength, $f'_c$	2500 psi
Materials Class	5
Sign or Flagpole	Yes
Allowable Vertical Bearing Pressure	1500 psf
Allowable Lateral Bearing Pressure	200 psf/ft

### Caisson Footing

Constrained Base	No
Diameter, b	2.00 ft
Vertical Reinforcing Bar Size	#6
Top Depth to Ignore for Poor Soil Conditions	1.00 ft
Depth Calculation Status	OK
Effective Height, h	4.0
S1	0.30
S3	0.89
A	2.26 ft
Assumed Depth (not including ignored top depth)	4.46 ft
Required Depth (not including ignored top depth)	✓ 4.46 ft
Concrete Strength, $f'_c$	2500 psi
Minimum Diameter for Structural Plain Concrete Use	1.23 ft
Required Reinforcing Type	T&S Only
Minimum Reinforcing Ratio	0.50%
Minimum Reinforcing, $A_{s-min}$	2.26 sq in
Required Flexural Reinforcing Ratio	0.00%
Required Flexural Reinforcing, $A_s$	0.00 sq in
Controlling Reinforcing, $A_{s-req'd}$	2.26 sq in
(12) #4 Bars	2.40 sq in
(8) #5 Bars	2.48 sq in
(6) #6 Bars	2.64 sq in
(4) #7 Bars	2.40 sq in
(4) #8 Bars	3.16 sq in

### Caisson Footing Design Summary

Footing Diameter, b	2.00 ft	Stirrup Size & Spacing
Footing Depth, D	5.50 ft	
Estimated Volume	0.6 yd <sup>3</sup>	
Selected Bar Size	#6	#4
Required Quantity	6	9.0 in

IBC Table 1806.2 - Allowable Foundation and Lateral Pressure

Class of Materials		Allowable Bearing Pressures	
		Vertical psf	Lateral psf/ft
1	Crystalline bedrock	12000	1200
2	Sedimentary and foliated rock	4000	400
3	Sandy gravel and/or gravel (GW and GP)	3000	200
4	Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)	2000	150
5	Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)	1500	100
Geotech	Geotechnical study is applicable	--	--

Note: If structure is a sign or flagpole, the lateral bearing pressure value from above has been doubled at left per IBC 1806.3.4 (only for Class of Materials 1-5)

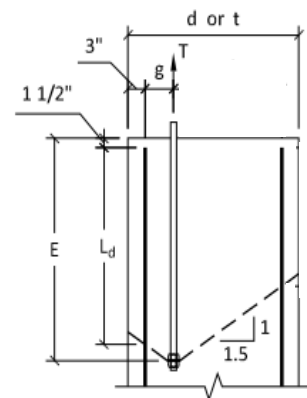
Note: If pole is directly embedded into caisson footing, the steel pole is deemed to provide footing reinforcement for flexural loads applied to the footing. If anchor bolts are used and the "Diameter, b" exceeds "Minimum Diameter for Structural Plain Concrete Use" value, ACI 318 does not require reinforcement in footing since an unreinforced section is sufficient to resist the flexural loads applied to the footing. However, office standard practice is to provide at minimum 0.18% in a caisson footing due to the presence of anchor bolts, primarily due to the need to develop the anchor bolt tensile forces with the longitudinal reinforcing.

### Anchor Bolt Design

# of Bolts in Tension	2
# of Bolts in Shear	4
Distance Between Plate and Footing	1.5 in
Tension, $T_a$	1.3 k
Shear, $V_a$	0.1 k
Moment, $M_a$	0.2 k-in
Area, $A_b$	0.44 sq in
Section Modulus, $S_b$	0.04 in <sup>3</sup>
Yield Stress, $F_y$	36.0 ksi
Ultimate Stress, $F_u$	58.0 ksi
Nominal Shear Stress, $F_{nv}$	23.2 ksi
Nominal Tensile Stress, $F_{nt}$	43.5 ksi
Nominal Effective Tensile Stress, $F'_{nt}$	43.5 ksi
Shear / Tension Safety Factor, $\Omega_{v/t}$	2
Allowable Shear Stress, $F_v$	11.6 ksi
Allowable Tensile Stress, $F_t$	21.8 ksi
Nominal Bending Stress, $F_{nb}$	57.6 ksi
Bending Safety Factor, $\Omega_b$	1.67
Allowable Bending Stress, $F_b$	34.5 ksi
Actual Shear Stress, $f_v$	0.3 ksi
Actual Tensile Stress, $f_t$	2.9 ksi
Actual Bending Stress, $f_b$	5.2 ksi
Combined Stress Ratio	28% <b>OK</b>

### Anchor Bolt Embedment into Caisson or Vertical Slab Footing

	Caisson	Vertical Slab
Caisson Diameter, d	2.0 ft	
Caisson Vertical Bar Size	#6	
Caisson Vertical Bar Quantity	6	
Vertical Slab Thickness, t	--	
Vertical Slab Width, b	--	
Vertical Slab Vertical Bar Size	--	
Vertical Slab Vertical Bar Spacing	--	
Footing Reinforcing in Tensile Face, $A_{s-prov}$	1.33 sq in	
Clear Cover to Reinforcing	3.0 in	
Reinforcing to Bolt Gage Tension Face, g	4.6 in	
Reinforcing to Bolt Gage Compression Face, g'	13.0 in	
Total Tension on Bolt Group, $T_{total}$	2.5 k	
Reinforcing Req'd to Develop Tension, $A_{s-req'd}$	0.07 sq in	
Excess Reinforcing Ratio, $A_{s-req'd}/A_{s-prov}$	6%	
Excess Reinforcement Reduction (25% min)	25%	
Development Length, $L_d$	36 in	
Reduced Development Length, $L'_d$	12 in	
Minimum Required Embedment Depth, E	17 in	



**Straight Reinforcing Development Diagram**

STRUCTURAL CALCULATIONS FOR:

**McDonald's**

**DIGITAL PRESELL BOARD**

CALCULATIONS CONTAINED HEREIN ARE SUITABLE  
FOR THE THE FOLLOWING CODE REQUIREMENTS:

2021 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH

2018 IBC / ASCE 7-16 - UP TO AND INCLUDING 130 MPH



## FOUNDATION DESIGN

### Footing Loads

Axial, $P_a$	0.2 k
Moment, $M_a$	1.2 k-ft
Shear, $V_a$	0.3 k
Base Column to Footing Connection Type	Base Plate

### Footing and Soils Data

Concrete Strength, $f'_c$	2500 psi
Materials Class	5
Sign or Flagpole	Yes
Allowable Vertical Bearing Pressure	1500 psf
Allowable Lateral Bearing Pressure	200 psf/ft

### Caisson Footing

Constrained Base	No
Diameter, b	2.00 ft
Vertical Reinforcing Bar Size	#6
Top Depth to Ignore for Poor Soil Conditions	0.75 ft
Depth Calculation Status	OK
Effective Height, h	3.8
S1	0.23
S3	0.70
A	1.60 ft
Assumed Depth (not including ignored top depth)	3.48 ft
Required Depth (not including ignored top depth)	✓ 3.48 ft
Concrete Strength, $f'_c$	2500 psi
Minimum Diameter for Structural Plain Concrete Use	0.99 ft
Required Reinforcing Type	T&S Only
Minimum Reinforcing Ratio	0.50%
Minimum Reinforcing, $A_{s-min}$	2.26 sq in
Required Flexural Reinforcing Ratio	0.00%
Required Flexural Reinforcing, $A_s$	0.00 sq in
Controlling Reinforcing, $A_{s-req'd}$	2.26 sq in
(12) #4 Bars	2.40 sq in
(8) #5 Bars	2.48 sq in
(6) #6 Bars	2.64 sq in
(4) #7 Bars	2.40 sq in
(4) #8 Bars	3.16 sq in

### Caisson Footing Design Summary

Footing Diameter, b	2.00 ft		
Footing Depth, D	4.25 ft		
Estimated Volume	0.5 yd <sup>3</sup>	<b>Stirrup Size &amp; Spacing</b>	
Selected Bar Size	#6		#4
Required Quantity	6		9.0 in

IBC Table 1806.2 - Allowable Foundation and Lateral Pressure

Class of Materials		Allowable Bearing Pressures	
		Vertical psf	Lateral psf/ft
1	Crystalline bedrock	12000	1200
2	Sedimentary and foliated rock	4000	400
3	Sandy gravel and/or gravel (GW and GP)	3000	200
4	Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)	2000	150
5	Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)	1500	100
Geotech	Geotechnical study is applicable	--	--

Note: If structure is a sign or flagpole, the lateral bearing pressure value from above has been doubled at left per IBC 1806.3.4 (only for Class of Materials 1-5)

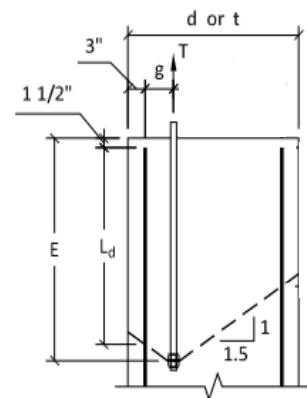
Note: If pole is directly embedded into caisson footing, the steel pole is deemed to provide footing reinforcement for flexural loads applied to the footing. If anchor bolts are used and the "Diameter, b" exceeds "Minimum Diameter for Structural Plain Concrete Use" value, ACI 318 does not require reinforcement in footing since an unreinforced section is sufficient to resist the flexural loads applied to the footing. However, office standard practice is to provide at minimum 0.18% in a caisson footing due to the presence of anchor bolts, primarily due to the need to develop the anchor bolt tensile forces with the longitudinal reinforcing.

### Anchor Bolt Design

# of Bolts in Tension	2
# of Bolts in Shear	4
Distance Between Plate and Footing	1.5 in
Tension, $T_a$	0.6 k
Shear, $V_a$	0.1 k
Moment, $M_a$	0.1 k-in
Area, $A_b$	0.44 sq in
Section Modulus, $S_b$	0.04 in <sup>3</sup>
Yield Stress, $F_y$	36.0 ksi
Ultimate Stress, $F_u$	58.0 ksi
Nominal Shear Stress, $F_{nv}$	23.2 ksi
Nominal Tensile Stress, $F_{nt}$	43.5 ksi
Nominal Effective Tensile Stress, $F'_{nt}$	43.5 ksi
Shear / Tension Safety Factor, $\Omega_{v/t}$	2
Allowable Shear Stress, $F_v$	11.6 ksi
Allowable Tensile Stress, $F_t$	21.8 ksi
Nominal Bending Stress, $F_{nb}$	57.6 ksi
Bending Safety Factor, $\Omega_b$	1.67
Allowable Bending Stress, $F_b$	34.5 ksi
Actual Shear Stress, $f_v$	0.2 ksi
Actual Tensile Stress, $f_t$	1.5 ksi
Actual Bending Stress, $f_b$	2.9 ksi
Combined Stress Ratio	15% <b>OK</b>

### Anchor Bolt Embedment into Caisson or Vertical Slab Footing

	Caisson	Vertical Slab
Caisson Diameter, d	2.0 ft	
Caisson Vertical Bar Size	#6	
Caisson Vertical Bar Quantity	6	
Vertical Slab Thickness, t	--	
Vertical Slab Width, b	--	
Vertical Slab Vertical Bar Size	--	
Vertical Slab Vertical Bar Spacing	--	
Footing Reinforcing in Tensile Face, $A_{s-prov}$	1.33 sq in	
Clear Cover to Reinforcing	3.0 in	
Reinforcing to Bolt Gage Tension Face, g	4.6 in	
Reinforcing to Bolt Gage Compression Face, g'	13.0 in	
Total Tension on Bolt Group, $T_{total}$	1.3 k	
Reinforcing Req'd to Develop Tension, $A_{s-req'd}$	0.04 sq in	
Excess Reinforcing Ratio, $A_{s-req'd}/A_{s-prov}$	3%	
Excess Reinforcement Reduction (25% min)	25%	
Development Length, $L_d$	36 in	
Reduced Development Length, $L'_d$	12 in	
Minimum Required Embedment Depth, E	17 in	

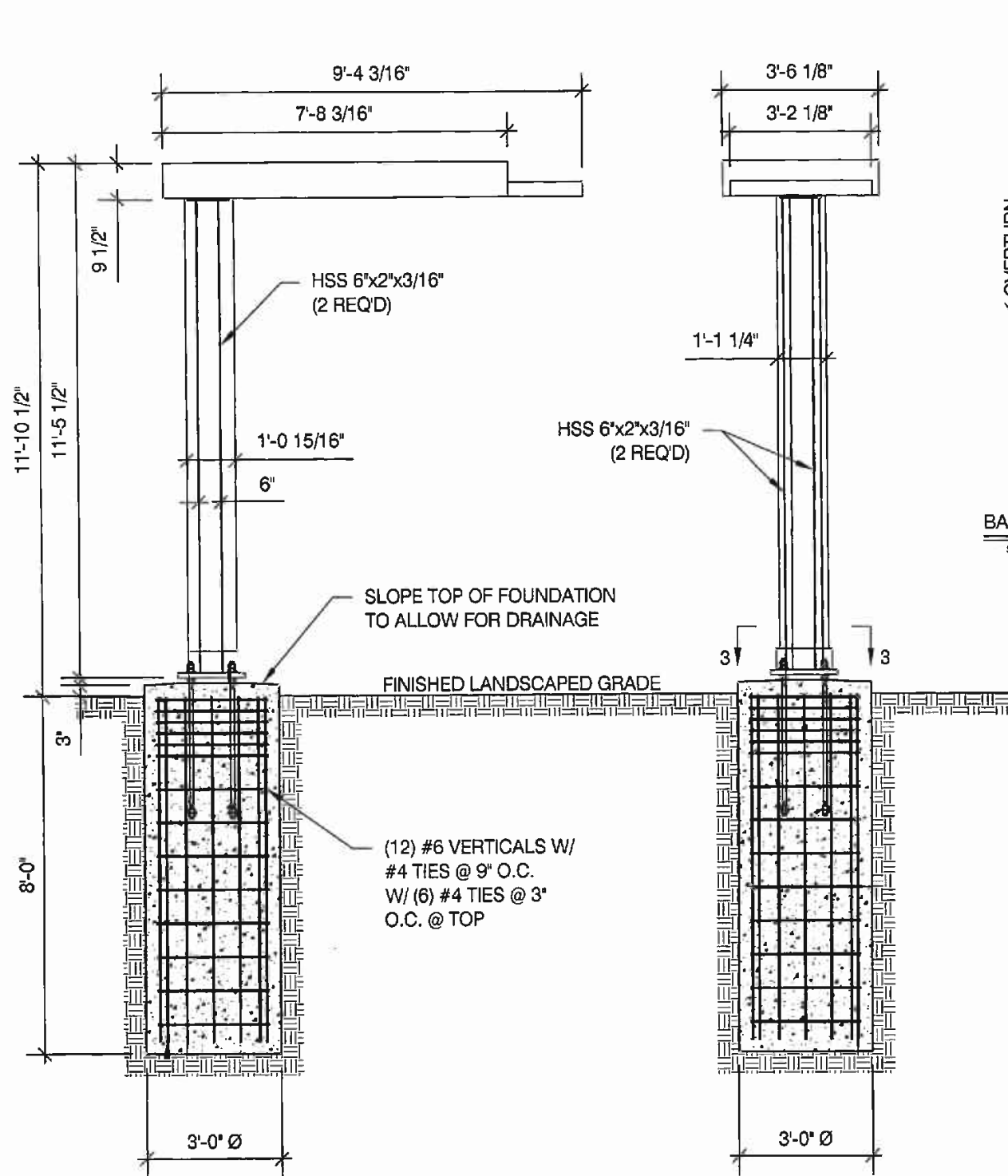


**Straight Reinforcing Development Diagram**

\* CLIENT - PERSONA  
 \* 2021 IBC  
 \* RISK CATEGORY II  
 \* 115 MPH WIND SPEED, EXP. C  
 \* (2) POLES, (1) FOOTING

**GENERAL NOTES:**

1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.
2. SIGN CABINET AND CONNECTION BY PERSONA.
3. ANCHOR BOLTS, NUTS & WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM SIGN/LIGHTING MANUFACTURER.
4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

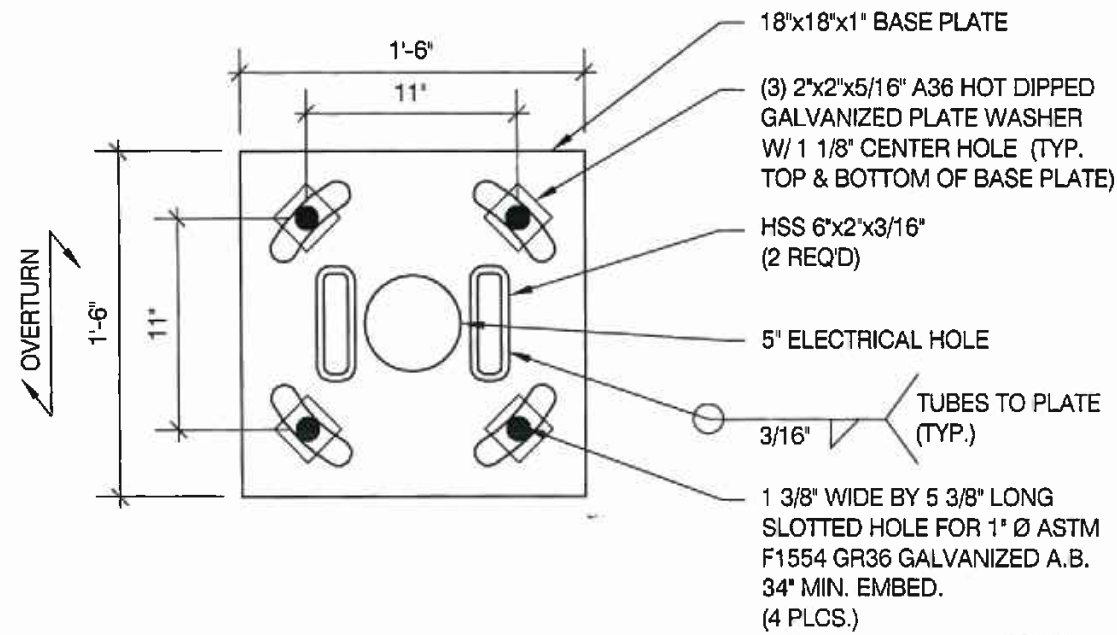


FRONT ELEVATION W/CAISSON FOUNDATION

SCALE: N.T.S.

SIDE ELEVATION W/CAISSON FOUNDATION

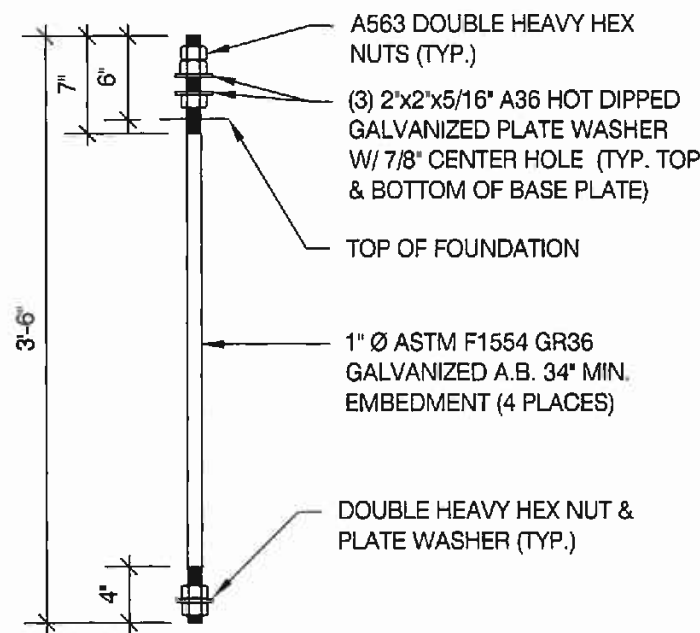
SCALE: N.T.S.



BASE PLATE

SCALE: N.T.S.

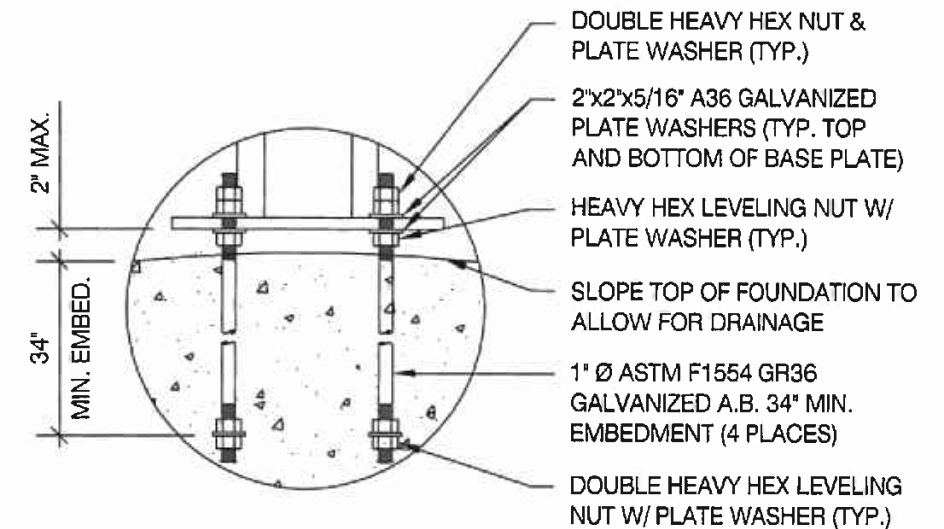
3



ANCHOR BOLT DETAIL

SCALE: N.T.S.

4



EMBEDMENT DETAIL

SCALE: N.T.S.

5

**DARREN S. ANTLE, P.E.**

299 N. WEISGARBER RD. PHONE 865.584.0999  
 SUITE #: 104 SIGN-ENGINEER.COM  
 KNOXVILLE, TN 37919

PROJECT:  
 4295 W HUNT HWY, QUEEN CREEK, AZ 85142

DRAWING TITLE:  
**MCDONALD'S #40539**

DRAWN BY: CTP  
 CHECKED BY: JRM  
 COMM. NO.: 230030-013

**NEXT GEN (SKINNY)  
 ORDER HERE CANOPY**

DATE:  
 01/23/23

REV #	DATE	DRAWN BY

DRAWING NO.  
 DWG.

**1**

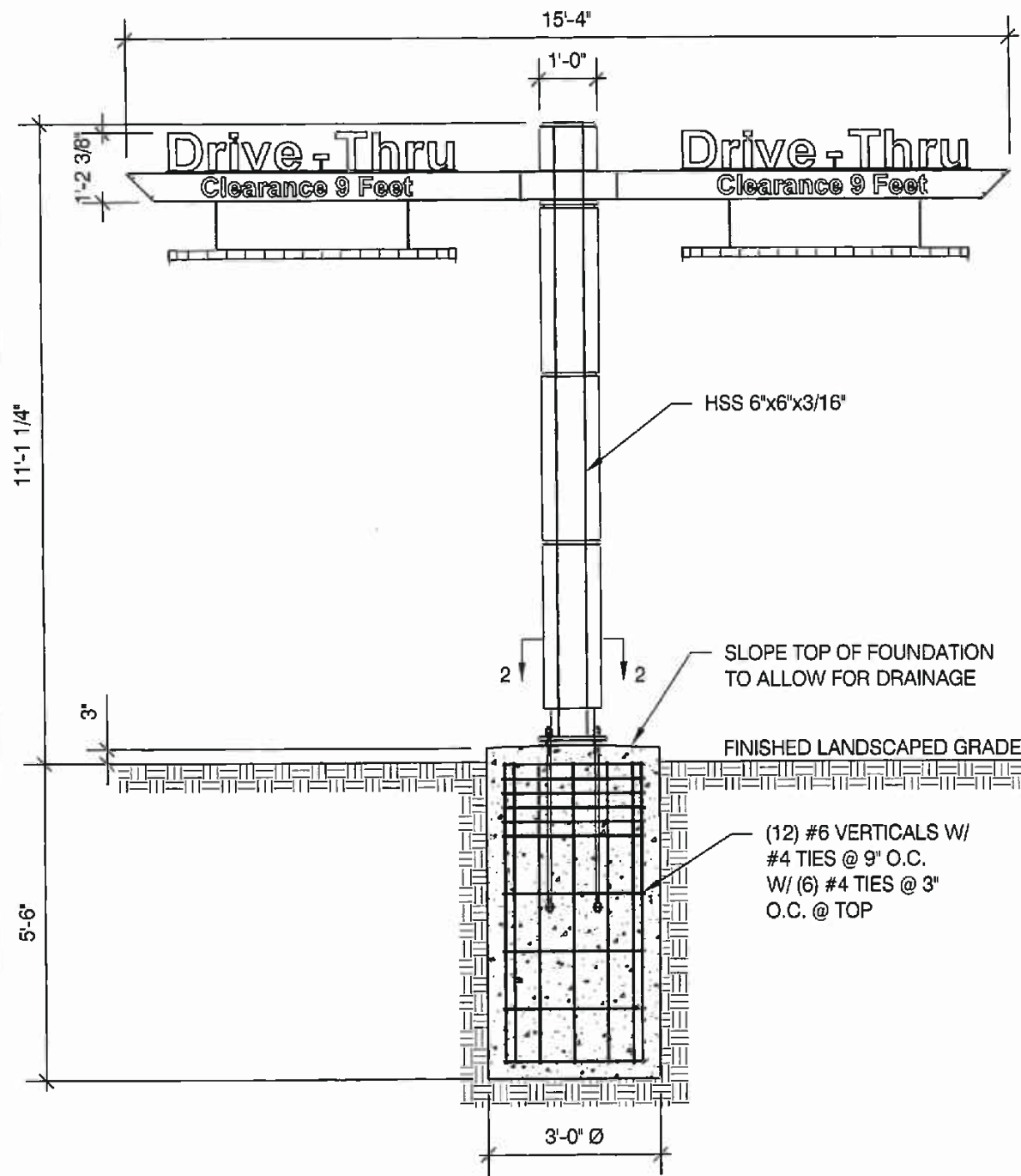


EXPIRES 03/31/2024

- \* CLIENT - PERSONA
- \* 2021 IBC
- \* RISK CATEGORY II
- \* 115 MPH WIND SPEED, EXP. C
- \* (1) POLE, (1) FOOTING

**GENERAL NOTES:**

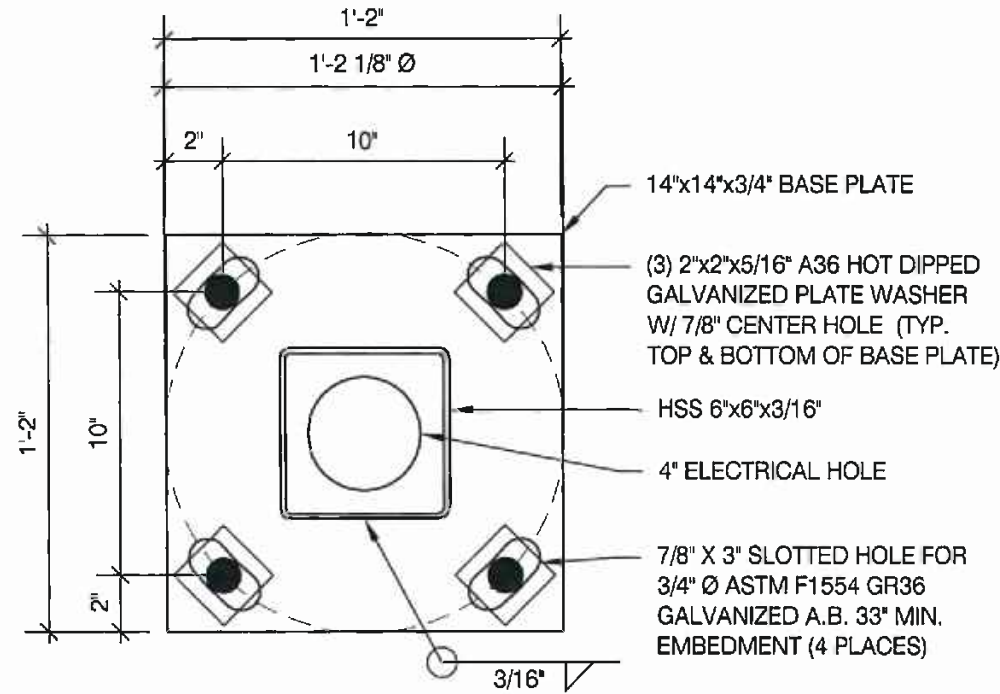
1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.
2. SIGN CABINET AND CONNECTION BY PERSONA.
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4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.



DOUBLE ARM GATEWAY FRONT ELEVATION W/ CAISSON FOUNDATION

SCALE: N.T.S.

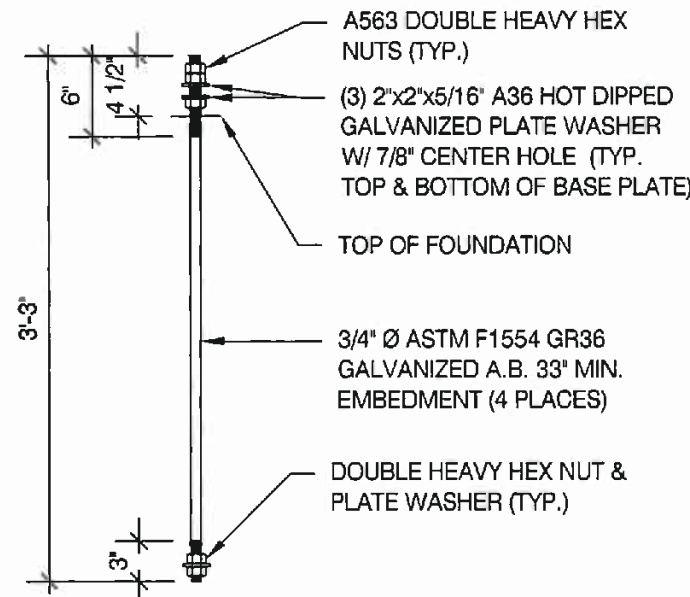
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BASE PLATE

SCALE: N.T.S.

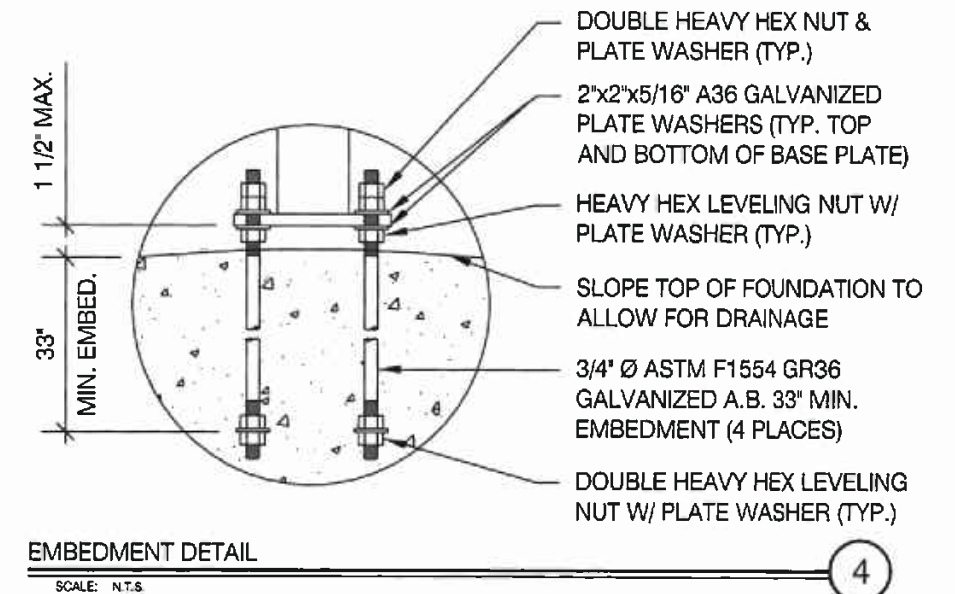
2



ANCHOR BOLT DETAIL

SCALE: N.T.S.

3



EMBEDMENT DETAIL

SCALE: N.T.S.

4

**DARREN S. ANTLE, P.E.**

299 N. WEISGARBER RD. SUITE #: 104 KNOXVILLE, TN 37919  
 PHONE 865.584.0999 SIGN-ENGINEER.COM

PROJECT:  
4295 W HUNT HWY, QUEEN CREEK, AZ 85142

DRAWING TITLE:  
**MCDONALD'S #40539**

DRAWN BY: CTP  
 CHECKED BY: JRM  
 COMM. NO.: 230030-013

DATE:  
01/23/23

REV #	DATE	DRAWN BY

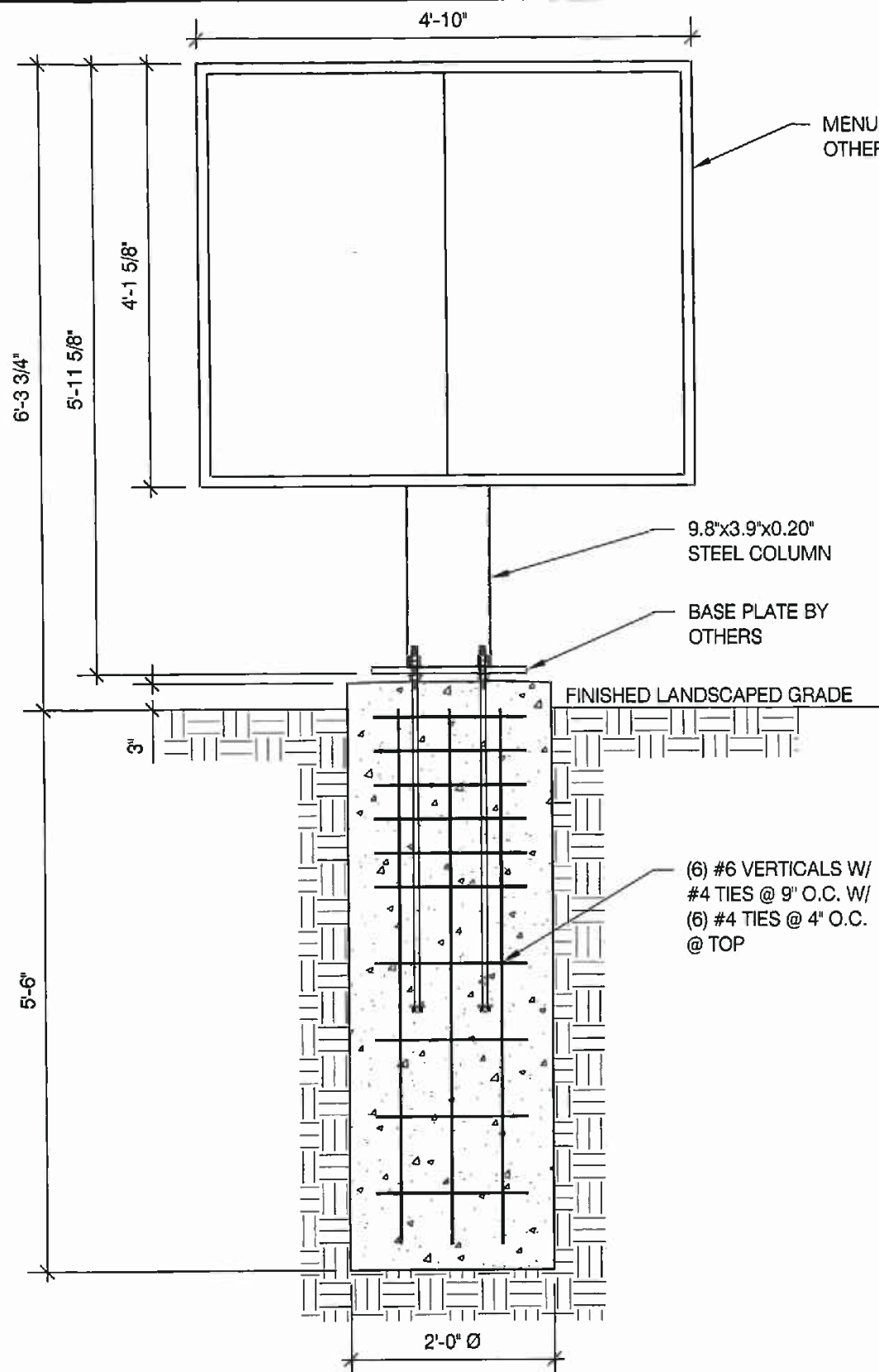
DRAWING NO.  
DWG.

**2**



EXPIRES 03/31/2024

**DOUBLE ARM GATEWAY**



MENU BOARD FRONT ELEVATION W/ CAISSON FOUNDATION

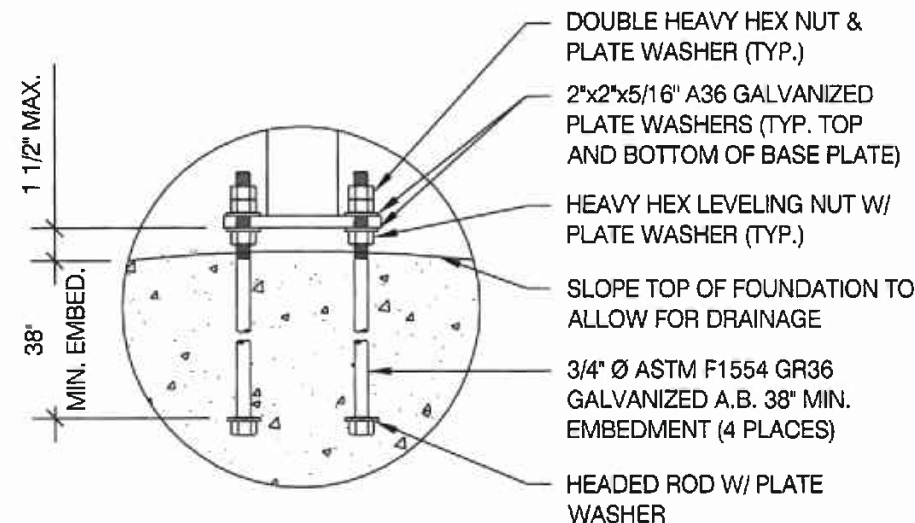
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1

ANCHOR BOLT DETAIL

SCALE: N.T.S.

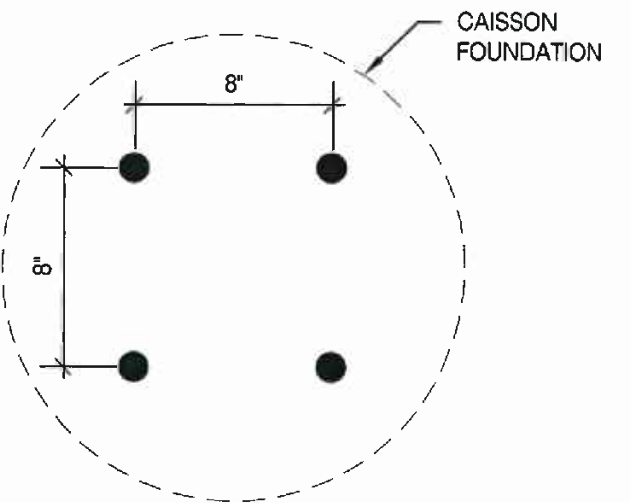
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EMBEDMENT DETAIL

SCALE: N.T.S.

3



ANCHOR BOLT PATTERN

SCALE: N.T.S.

4

- \* CLIENT - PERSONA
- \* 2021 IBC
- \* RISK CATEGORY II
- \* 115 MPH WIND SPEED, EXP. C
- \* (1) POLE, (1) FOOTING

**GENERAL NOTES:**

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4. DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF THE POLE.

**DARREN S. ANTLE, P.E.**

299 N. WEISGARBER RD. PHONE 865.584.0999  
 SUITE #: 104 SIGN-ENGINEER.COM  
 KNOXVILLE, TN 37919

PROJECT:  
 4295 W HUNT HWY, QUEEN CREEK, AZ 85142

DRAWING TITLE:  
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DATE:  
 01/23/23

**COATES  
 MENU BOARD**

REV #	DATE	DRAWN BY

DRAWING NO.  
 DWG.

**3**

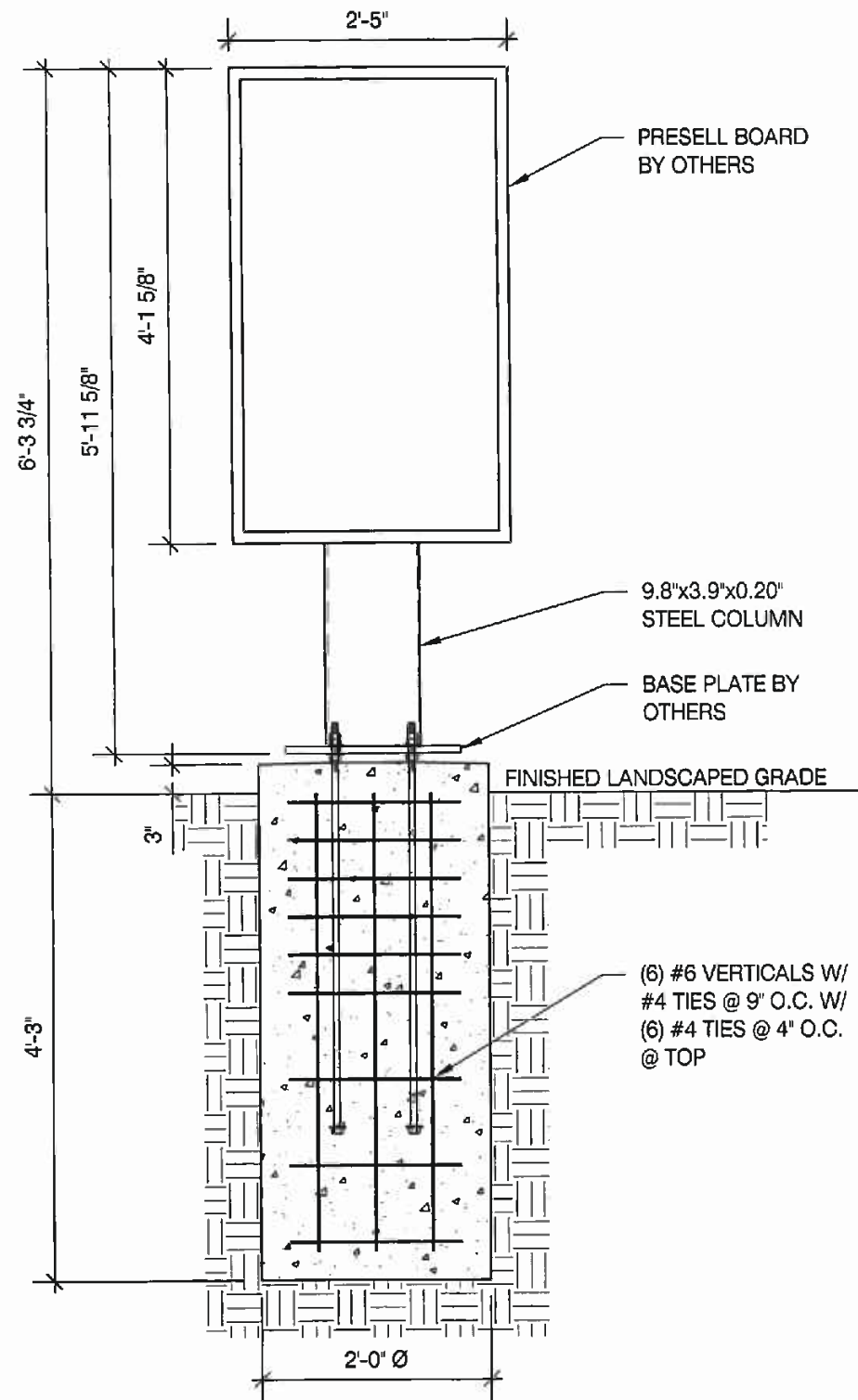


EXPIRES 03/31/2024

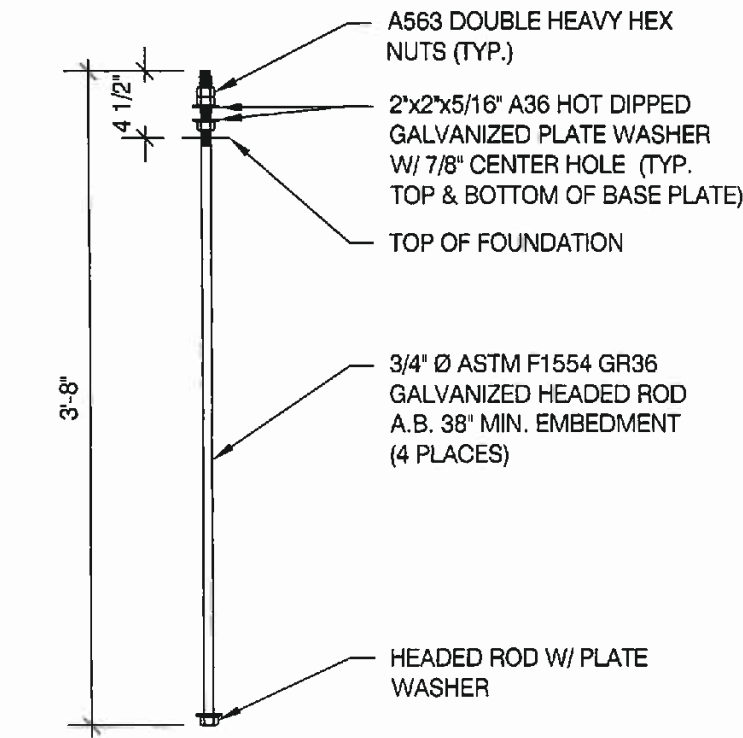
\* CLIENT - PERSONA  
 \* 2021 IBC  
 \* RISK CATEGORY II  
 \* 115 MPH WIND SPEED, EXP. C  
 \* (1) POLE, (1) FOOTING

**GENERAL NOTES:**

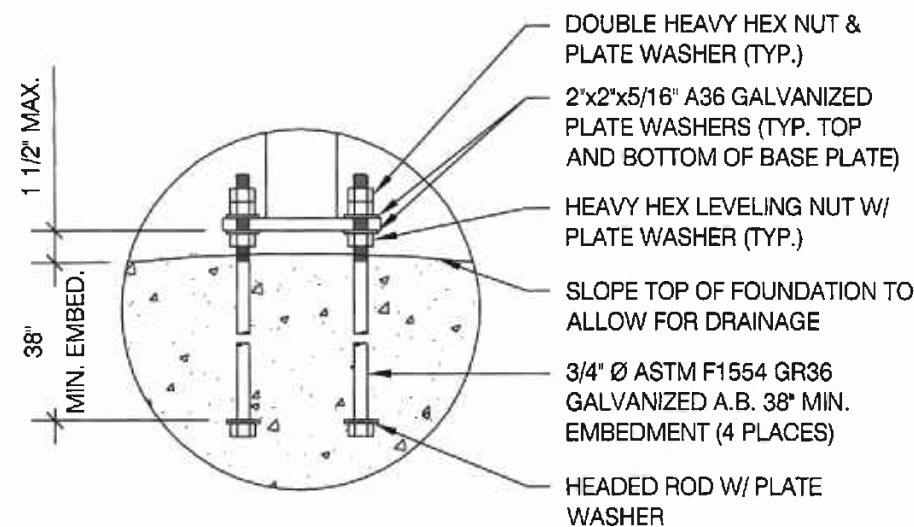
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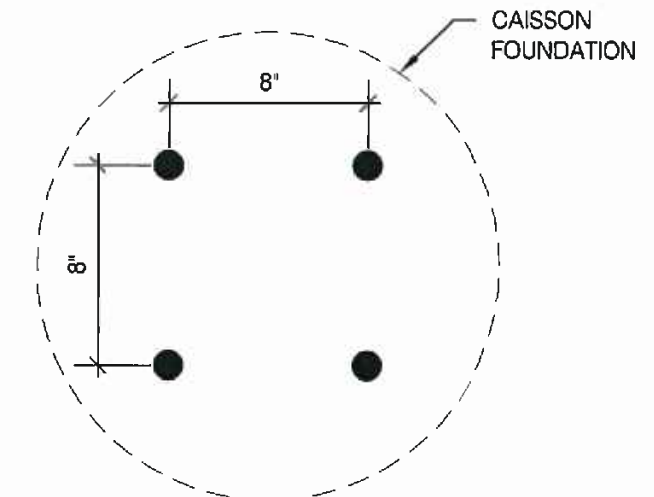
PRESELL BOARD FRONT ELEVATION W/ CAISSON FOUNDATION  
 SCALE: N.T.S. 1



ANCHOR BOLT DETAIL  
 SCALE: N.T.S. 2



EMBEDMENT DETAIL  
 SCALE: N.T.S. 3



ANCHOR BOLT PATTERN  
 SCALE: N.T.S. 4

**DARREN S. ANTLE, P.E.**

299 N. WEISGARBER RD. PHONE 865.584.0999  
 SUITE #: 104 SIGN-ENGINEER.COM  
 KNOXVILLE, TN 37919

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DRAWING NO.  
 DWG.

**COATES  
 PRESELL BOARD**

REV #	DATE	DRAWN BY

**4**



**FREE STANDING SIGN SPECIFICATIONS:**

REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS.  
 ALL DESIGNS, DETAILING FABRICATION AND CONSTRUCTION SHALL CONFORM TO:  
 2021 IBC  
 ACI  
 AISC  
 AMERICAN WELDING SOCIETY  
 LOCAL BUILDING CODES & ORDINANCES

CONCRETE: 2500 PSI @ 28 DAYS  
 STD. STEEL PIPE SECTION: ASTM A53 GRADE B (Fy=35 KSI)  
 STEEL PIPE SECTION (> 20" Ø): ASTM A252 GRADE 3 (Fy=42 KSI MIN.)  
 HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42 KSI)  
 HSS SQUARE/RECTANGULAR SECTION: ASTM A500 GRADE B (Fy=46 KSI)  
 ANCHOR BOLTS: ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105)  
 CONNECTION BOLTS: ASTM A325  
 STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES & PLATES ASTM A36  
 REINFORCING: GRADE 60 ASTM A615  
 PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER EMBEDDED STEEL.  
 THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.  
 NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED WITHOUT THE ENGINEER'S APPROVAL.  
 WELDING ELECTRODES: E70XX  
 ALLOWABLE SOIL BEARING PRESSURE ASSUMED: 1500 PSF  
 ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 100 PSF/FT OF DEPTH.  
 ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING TWO TIMES THE TABULATED CODE VALUES.  
 ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH.  
 FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION.  
 EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE.  
 WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING.  
 ADEQUATELY BRACE POLE(S) UNTIL CONCRETE HAS SET UP FOR 14 DAYS.  
 THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS FURNISHED BY OTHERS.  
 ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.  
 THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER.  
 DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS.

- \* CLIENT - PERSONA
- \* 2021 IBC
- \* RISK CATEGORY II
- \* 115 MPH WIND SPEED, EXP. C

**GENERAL NOTES:**

1. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.
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 SUITE #: 104 SIGN-ENGINEER.COM  
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 DWG.

DRAWING TITLE:  
**MCDONALD'S #40539**

NOTES

REV #	DATE	DRAWN BY

**5**



# OnBase Signs Input Data Sheet

**Project Name:** Borgata Plaza

**Project Parcel #:**

509-02-001Y

**CSR#:**

CSR-001-09

*(CSR-000-00)*

**SPR or AB #:** SPR-

*(SPR-XXX-XX, AB-XXX-XX)*

**Planning Case #:** \_\_\_\_\_

*(PZ-XXX-XXXX, PZ-PD-XXX-XXXX, IUP-XXX-XX, SUP-XXX-XX)*

**Review Status:**    1<sup>st</sup>    2<sup>nd</sup>    3<sup>rd</sup>    4<sup>th</sup>    Denied    Withdrawn    Approved

**Project Location:**   Road Hunt Highway Road Thompson Road

*(Ave, Blvd, Cir, Ct, Dr, Hwy, Ln, Loop, Pass, Pkwy, Pl, Rd, St, Ter, Trce Trl, Way)*

**Section(s):   Township:   Range:**

**Applicant:** Glenwood Development Company

Plans contain Items:	OnBase View pgs:	Items:	OnBase View pgs:
<input type="checkbox"/> Letter/ Application			
<input type="checkbox"/> Plans			
<b>Notes:</b> Requested by: Jessica Sarkissian	x: 6452		
<b>Added to OnBase By:</b> <u>FG</u> <b>Ext:</b> <b>Date:</b> <u>03/07/12</u>			

**Arlene Kile - Re: Comprehensive Sign Review**

---

*CSR-001-09*

**From:** Jesus Haro  
**To:** Arlene Kile  
**Date:** 8/31/2010 8:17 AM  
**Subject:** Re: Comprehensive Sign Review

---

Arlene,  
I'm sorry for the confusion, I thought I had sent you something on this already. We have no issues with the resubmittal.

Jesus Haro  
Traffic Engineer  
Pinal County Department of Public Works  
P.O. Box 727  
Florence, AZ 85232  
520-866-6385 office  
520-866-6511 fax

>>> Arlene Kile 8/30/2010 3:13 PM >>>  
Jesus,

On March 1, 2010, I sent you a plan to review the site visibility for the Borgata Plaza Comprehensive Sign Package. Will you please inform me of the status of this review, the applicant is getting frustrated with the length of time it is taking.

If you have questions, let me know.

Thanks,  
Arlene

Arlene Kile, CPM  
Pinal County  
Code Compliance Supervisor  
(520) 866-6374  
[arlene.kile@pinalcountyaz.gov](mailto:arlene.kile@pinalcountyaz.gov)

"Working together to provide quality services,  
to enhance the growth and beautification of  
Pinal County for a better tomorrow."

*Approved Copy*



1904 NORTH BLACK CANYON HIGHWAY  
PHOENIX, ARIZONA 85009-2914  
PHONE (602) 272-9461 FAX (602) 272-1163

John Newcomb  
Re: Borgata Comprehensive Sign Plan  
Hunt Hwy/Thompson

Circle K would like to change the dimensions of the Circle K monument sign, proposed by Pinal County, from 32 square feet and 6 feet tall, to 50 square feet and 8 feet tall.

We feel that the added size would allow us to better compliment the architectural features of the buildings with the embellishments that we are proposing to build into this monument sign.

We also feel that using a 6 foot tall design, the landscaping tends to take over within a year or so, thus, crowding or hiding all the features of the sign. An 8 foot tall sign would not get crowded out by landscaping and would be a better compliment to the proposed Tennant signs in the Borgata development.

When using the 32 square foot standard design in the Phoenix and Tucson metro areas, we have found that the numerals tend to be too small to effectively read them while driving. People tend to slow down unnecessarily to read things that are difficult, creating traffic hazards.

Respectfully,

A handwritten signature in black ink, appearing to read "G. Spinner".

Gary Spinner  
Permit Tech  
Pearson's Sign Co.

*OK per Jerry 7/6/09  
to go 8' in height  
Take off the Borgata  
sign on gas price  
sign  
AK*



**FABRICATORS INC. 2934 West Windsor Avenue, Phoenix, AZ 85009**

June 17, 2009

Arlene Kyle  
Pinal County Planning and Development  
31 North Pinal Street Bldg. F  
Florence, AZ 85232

Re: Revisions to Comprehensive Sign Plan for Borgata Retail and Professional Plaza.

Dear Ms. Kyle,

The following changes have been made per your comments from the first review:

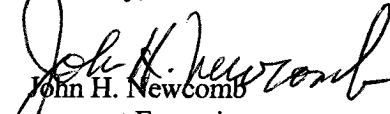
1. The Circle K monument sign has been revised and tenant panels have been removed. Circle K is asking for the price signs to be 8' in height and fifty (50) square feet sign area versus the 6' height and thirty two (32) square feet you proposed.

The sign code seems to be silent on specific sizes for gasoline price signs but the proposed height and sign area proposed by Circle K is within the limits of regular monument signs.

Find new pages attached from Circle K that includes the new monument sign and additional signs for the convenience store and the gasoline canopy signs.

2. Find revised site plan that changes the monument sign call outs and location.

Sincerely,



John H. Newcomb  
Account Executive

Member Arizona Sign Association

Design Fabricate Install Service Surveys Permits Licensed: L38-206696

☐ 602-415-9444 Office ☐ 602-415-9433 Fax ☐ info@national-sign.com E-mail ☐





CRS-001-09

~~Approved Copy~~ 9/31/10

**COMPREHENSIVE SIGN CRITERIA**  
**BORGATA RETAIL PLAZA**  
**BORGATA PROFESSIONAL PLAZA**

**HUNT HIGHWAY & THOMPSON ROAD**  
**PINAL COUNTY, ARIZONA**

THIS CRITERIA IS TO ESTABLISH AND MAINTAIN GUIDELINES CONSISTENT WITH THE SIGNAGE POLICIES OF THE OWNER AND THE PINAL COUNTY SIGN CODE.

THIS CRITERIA WILL AID TENANTS IN DESIGN, PLACEMENT, MATERIALS USED AND THE SAFE INSTALLATION OF EACH SIGN.



**GLENWOOD**  
Development Company LLC

1333 North Greenfield Rd  
Suite 104  
Mesa, Arizona 85205  
(480)775-4650

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**FABRICATORS INC. 2934 West Windsor Avenue, Phoenix, AZ 85009**

February 9, 2010

Pinal County Planning and Development  
31 North Pinal Street Bldg. F  
Florence, AZ 85232

Re: Comprehensive Sign Plan for Borgata Retail and Professional Plaza.

**NARRATION:**

The Borgata project is a 13.66 acre mixed use development, zoned CB-1 at the SEC of Hunt Highway and Thompson Road. It is projected to comprise of a convenience store/gas retailer at the corner intersection; eleven office buildings; a retail building; a bank and a restaurant. The restaurant may be a fast food type facility with drive up speaker stand and menu and window service. The bank also can be expected to have drive up ATM's, window and post and panel traffic directional.


This Comprehensive Sign Plan (CSP) is designed to provide a unified set of criteria that will meet the needs of this diverse group of tenants and also meet the requirements of Pinal County and its zoning standards. Some of the key elements are as follows:

- The monument signs have been created to reflect the overall architecture of the site and use specific colors and faux stone to match the buildings.
- Wall Signs for the Professional Plaza, office buildings are to be a stylish reverse pan channel (RPC) letters or logo with the option to be non-illuminated. Illumination would be a white, halo effect that is soft and low key.
- The Retail Plaza wall signs will be the traditional, illuminated, pan channel letter or logo with face color and illumination open. No exposed neon or illumination is allowed. The sides of the letters and logo will be a uniform medium bronze color.

The specific need of the bank and restaurant locations are unknown at this time and remains open to the generalities of those industries. A specific design package for those sites will be presented for review by the individual tenants to the County after approval of owner/landlord.

The quantity and area of the monument signs are going to be critical to the success of this project. With a narrow frontage to the heavily trafficked Hunt Highway, tenants at the back of the deep lot will have no exposure to the traveling consumer except by monument sign. There are too few faces to identify and advertise the many tenants businesses. Therefore, owners would like to appeal for a fourth ground sign to be approved on Hunt Highway to serve the Professional Plaza offices.

Sincerely,

  
John H. Newcomb  
Account Executive

Member Arizona Sign Association

Design Fabricate Install Service Surveys Permits Licensed: L38-206696

■ 602-415-9444 Office ■ 602-415-9433 Fax ■ info@national-sign.com E-mail ■

# BORGATA RETAIL AND PROFESSIONAL PLAZA

## INTRODUCTION

The Borgata Retail Plaza and the Borgata Professional Plaza is a 13.66 acre mixed use development located at the SEC of Hunt Highway and Thompson Road. It is zoned CB-1 and It proposes a site to accomodate the following:

- Retail building, one at 8,000 square feet
- Office Buildings, eleven at 62,233 square feet
- Convenience store, one at 4,615 square feet
- Bank building, one at 4,578 square feet
- Restaurant building, at 4,007 square feet.

The purpose and intent of this Comprehensive Sign Plan (CSP) is to provide a unified design to the street monument signs for the various uses; utilize materials and colors consistent with the various building styles; provide a sign criteria that works for and complements each business use and make use of the flexibility provisions of the Pinal County Sign Code.

This criteria outlines the maximum and minimum letter sizes, sign area allowances and building placement location for each sign type. It establishes a uniform criteria for individual tenants to follow while meeting their need to identify and advertise their business.

## SIGN TYPES

### A. Monument Signs:

LOCATION	SIGN AREA	HEIGHT	USE	DETAILS
1	90 S. F.	12'	Office	See Drawing-Professional Plaza
2	90 S. F.	12'	Retail	See Drawing-Retail Plaza
3	50 S. F.	12'	Retail	See Drawing-Circle K Price Monument
4	50 S. F.	12'	Retail	See Drawing-Circle K Price Monument
5	90 S. F.	12'	Retail	See Drawing-Retail Plaza
6	90 S. F.	12'	Office	See Drawing-Professional Plaza

### B. Wall Mounted Signs:

TYPE	SIGN AREA	HEIGHT	DETAILS
1. Pan Channel/ Letter or Logo	Min. 24 S.F./ Max. 96 S.F.	Varies	See Criteria-Borgata Retail Plaza
2. Reverse Channel/ Letter or Logo	Min. 24 S.F./ Max. 96 S.F.	Varies	See Criteria-Borgata Professional Plazal
3. Flat Cut Out	20% Max.	Varies	Metal or Acrylic. Cast letters allowed.

### C. Miscellaneous Signs

All other sign types allowed by the sign code; A-frame ,banners, construction, leasing, window, traffic directional, ATM's, menu boards and speaker stand are allowed with the appropriate Owner approval and County review process and permits.

**GENERAL REQUIREMENTS/CRITERIA**

**1. APPROVALS**

The tenant or tenant's sign contractor shall procure all necessary landlord or association approvals before proceeding with any work. No signs may be installed prior to obtaining the required approval. Landlord's approval is for conformance to the sign criteria but NOT a review of current County Sign or Zoning codes.

**SUBMITTALS**

- A. Two sets of detailed and scaled shop drawings, in color, shall be submitted to association, landlord or it's representative for review and conformity to the sign criteria. Drawings shall show wall signs superimposed on building at proposed location at a true scale and representation. A photo of the building is preferred but a scaled architectural rendering acceptable. Provide business frontage also for lease space (Eg, 20' wide frontage.)
- B. Wall letters and logo will show height, length, font and square footage of sign as measured by the sign criteria. Color call out for faces, trimcap and letter returns to be specific to manufacturer, type and number. A section view showing fabrication and connection details is required.
- C. Ground signs will be detailed and scaled with color call outs, finish type and base materials (masonry, stone veneer, etc.) A current site map (Civil Site plan best) to show sign location, property line, any utility easements and visibility triangles if near a driveway or corner. Electrical type and circuit amps and how the sign will turn on/off is required. Footing and support information also required.

**3. MUNICIPAL PERMITS**

**NO** sign may be installed unless a valid sign permit is obtained from the local authority. Association/landlord approval **MUST** be received prior to a variance to the sign code being initiated.

**4. TENANT'S RESPONSIBILITY**

- A. Tenant's sign is to be installed and maintained at tenant's expense. Any damage or service outages shall be repaired immediately or within five days of association/landlord notification, written or verbal.  
If the landlord is forced to have repair or maintenance work performed due to noncompliance of these rules, there will be a penalty fee assessed to tenant.  
All non-lease space advertising on site requires written or verbal approval from association/landlord or its representative. This includes, banners, pennants, parked vehicles, Merchandise and A frame signs.

**5. CONTRACTOR'S RESPONSIBILITY**

- A. No exposed raceways allowed.
- B. No cabinet signs allowed. However, pan channel & reverse pan channel shapes & logos are allowed as may be approved by the association/landlord.
- C. Aluminum letters and sign panels only.
- D. All penetrations must be properly sealed to prevent water infiltration.  
**ABSOLUTELY** no penetration of the roof membrane is allowed.
- E. All installed work must comply with local building and electrical code.
- F. All sign contractor's shall carry Worker's Compensation insurance and liability insurance of one million dollars per occurrence and two million dollars per year. Sign contractor must be licensed and in good standing with local Registrar.



2934 West Windsor Avenue  
Phoenix, Az. 85009  
602-415-9444 Office  
602-415-9433 Fax  
info@national-sign.com

Client: GLENWOOD DEVELOPMENT  
Address: 1333 North Greedfield Road, Suite 104  
City: Mesa, AZ 85205

Account Rep: John Newcomb  
Date: January 8, 2009  
File Name: Page 2

1. Wall signs:
  - A. Shall be aluminum, reverse pan channel letters with optional halo illumination.
  - B. Illumination may be white neon or white LED. If LED is used it must approximate the illumination level of neon.
  - C. Modifier copy may be flat cut out (FCO) letters. .6" minimum to 12" maximum.
  - D. Face and return color open, subject to owner approval.
  - F. National accounts may use corporate colors and return color subject to approval by the owner.
  - G. Return depth a minimum of 1" and a maximum of 4".

2. Sign Area and Length (This section subject to change by the County Sign Code)

- A. Sign area is measured by the copy being inclosed within a single continuous perimeter of a geometric shape. (rectangle, triangle, circle or trapezoids)
- B. A sign area of 1 s.f. per each lineal foot of office frontage is allowed to a maximum of 96 s.f. with a minimum of 24 s.f. allowed.
- C. Sign length is limited to 80% of the frontage length.
- D. Exposed raceways not allowed.

3. Sign Size and Layout.

- A. Maximum letter or logo height is 24". Stacked copy can not exceed 36". 6" is the minimum letter height.
- B. Logos are allowed.
- C. Signs must be placed on tenant's wall only at location approved by association/landlord.

4. Other Signs

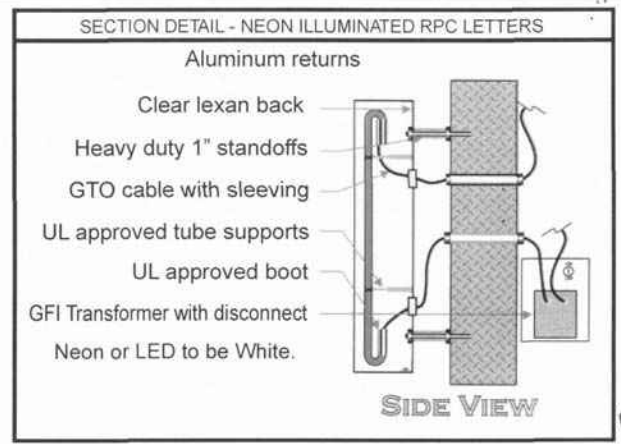
Additional signs as allowed by the sign code, window, temporary banners and portable are allowed subject to Owner approval and the necessary sign permits.

5. Monument sign

As number of panels and space on the sign is restricted by the sign code sign panels will be allocated by the owner.

6. Association/Landlord Approval

- A. Tenant shall submit two detailed, scaled, color renderings of proposed signs or sign panels to be installed for association/landlord approval.
- B. Artwork is to show proposed placement on the building at the tenant's lease space.
- C. Provide a section view showing fabrication and attachment details.
- D. Allow 10 working days for association/landlord approval.
- E. Each illuminated sign must be installed with a timer.
- F. Tenant must pay/provide for all primary feed wires and electrical costs.



2934 West Windsor Avenue  
 Phoenix, Az. 85009  
 602-415-9444 Office  
 602-415-9433 Fax  
 info@national-sign.com

Client: GLENWOOD DEVELOPMENT  
 Address: 1333 North Greedfield Road, Suite 104  
 City: Mesa, AZ 85205

Account Rep: John Newcomb  
 Date: January 8, 2009  
 File Name: Page 3

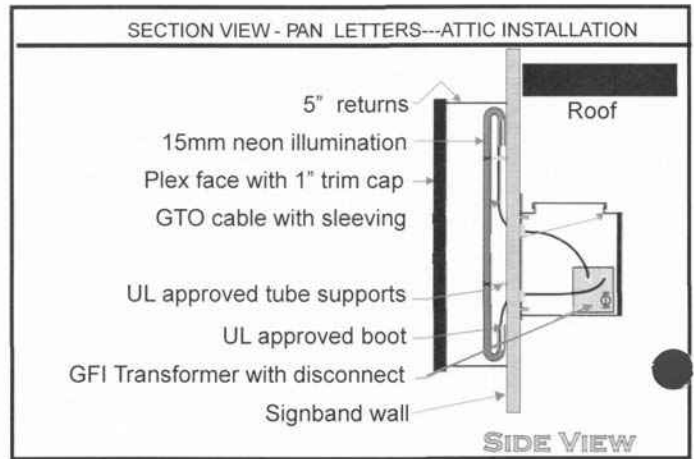
B. BORGATA RETAIL PLAZA--Retail Building and Pad Sites--Zoned CB-1.

1. Wall signs:
  - A. Shall be illuminated pan or reverse pan letters with no exposed illumination. (No open faces)
  - B. Illumination may be neon or LED. If LED is used it must approximate the illumination level of neon.
  - C. Metal backs and returns shall be aluminum.
  - D. Plex faces open to color with trimcap to match face or the return color.
  - E. Return color is to be Matthews dark bronze.
  - F. National accounts may use corporate colors and return color.
  - G. Return depth to be no more than 5" in.
2. Sign Area and Length (This section subject to change by the County Sign Code)
  - A. Sign area is measured by all copy being enclosed within a single continuous perimeter of a geometric shape (rectangle, triangle or trapezoid)
  - B. A sign area of 1 s.f. per each lineal foot of store frontage is allowed to a maximum of 96 s.f. A minimum of 24 s.f. is allowed
  - C. Sign length is limited to 80% of the frontage length.
3. Sign Size and Layout.
  - A. Maximum letter or logo height is 36" Stacked copy can not exceed 48". 12" is the minimum letter height.
  - B. Logos are allowed.
  - C. Cover up raceway at back of parapet wall, if required, to be aluminum painted to match wall. Exposed raceways not allowed.
  - D. Signs must be placed on tenant's wall only at location designated by association/landlord.
4. Other Signs
 

Additional signs as allowed by the sign code, window, temporary banners and portable are allowed subject to Owner approval and the necessary sign permits.
5. Monument sign
 

As number of panels and space on the sign is restricted by the sign code sign panels will be allocated by the association/landlord.
6. Owner Approval
  - A. Tenant shall submit two detailed, scaled, color renderings of proposed signs or sign panels to be installed for association/landlord approval.
  - B. Artwork is to show proposed placement on the building at the tenant's lease space.
  - C. Provide a section view showing fabrication and attachment details.
  - D. Allow 10 working days for association/landlord approval.
  - E. Each illuminated sign must be installed with a timer.
  - F. Tenant must pay/provide for all primary feed wires and electrical costs.
  - G. Transformers must be concealed behind fascia.

## TYPICAL INSTALLATION



## STACKED COPY LAYOUT



## SINGLE LINE LAYOUT

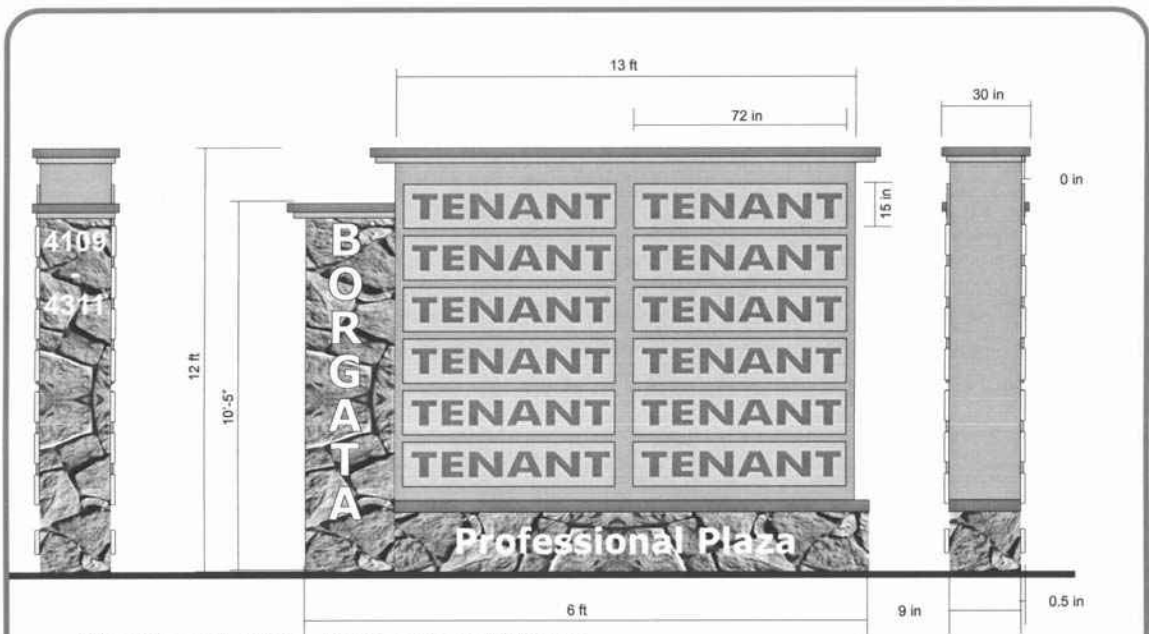


**NATIONAL**  
*sign*  
**FABRICATORS INC.**

2934 West Windsor Avenue  
Phoenix, Az. 85009  
602-415-9444 Office  
602-415-9433 Fax  
info@national-sign.com

Client: GLENWOOD DEVELOPMENT  
Address: 1333 North Greedfield Road, Suite 104  
City: Mesa, AZ 85205

Account Rep: John Newcomb  
Date: January 8, 2009  
File Name: Page 4



### Monument Sign--Professional Plaza

Sign Area - 90 Sq. Ft. (12) Tenant Panels - 7.5 S.F. each)

Illuminated tenant panels, raised, aluminum pans with routed copy backed with translucent day/night(Matte) plex.  
 Borgota Professional Plaza and address numbers are flat cut out (FCO)aluminum letters and numbers, painted white and stud mounted flush to wall.  
 Sign cabinet is aluminum, center pole mounted into a caisson footing. Engineering per Arizona Sign Assn. standards.  
 Sign panels painted Dunn Edwards (DE) Bisque tan--DE6157, main cabinet, ICI #144 Fortress Stone and Trim De6117 Colorado Trail.  
 Column and base is aluminum cabinet clad with Old Country Fieldstone, Chardonnay, wide mortar joint CSV-368105.

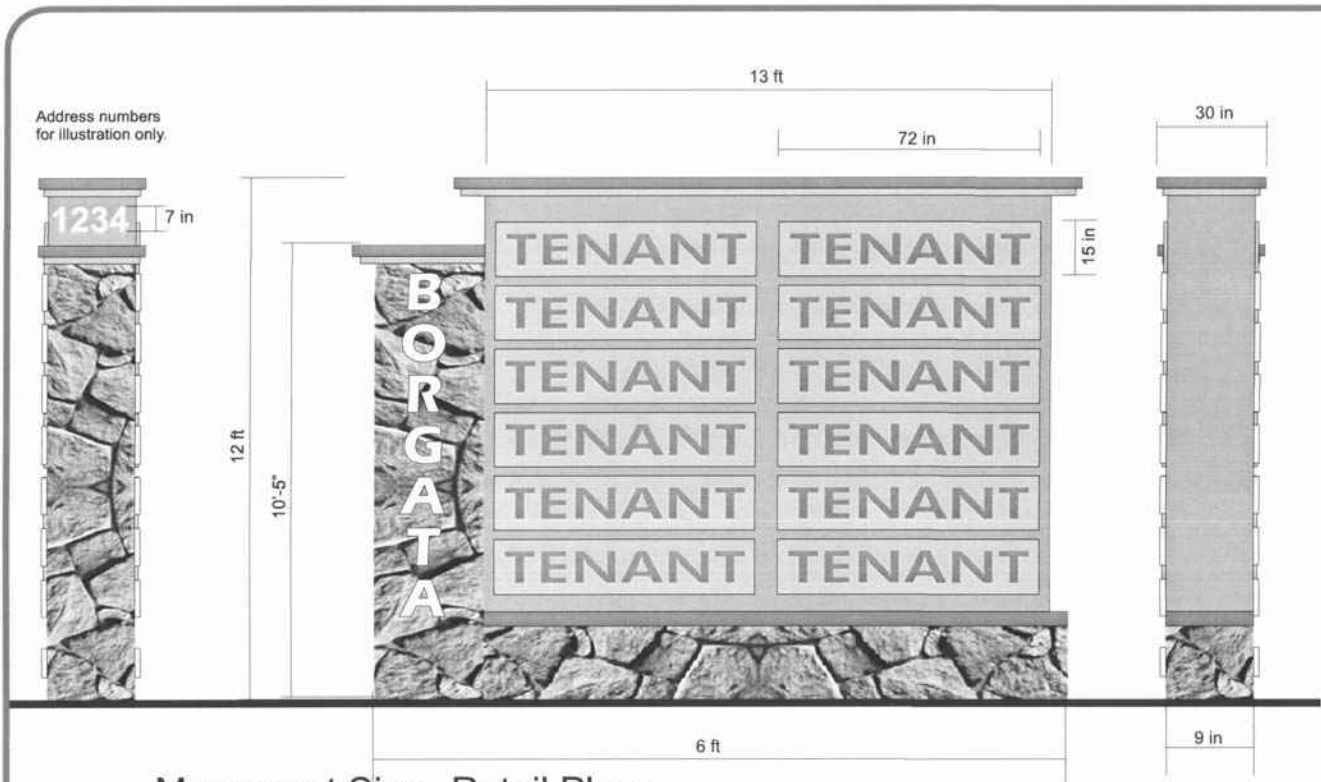


234 West Winkler Avenue  
 Phoenix, Az. 85009  
 602-415-9444 Office  
 602-415-9433 Fax  
 info@national-sign.com

CLIENT: Glenwood Development	CLIENT APPROVAL:
ADDRESS: 1333 North Greenfield Road Suite 104	APPROVAL DATE: 2-8-09
Mesa, AZ 85205	WORK ORDER #
SALES REP: John Newcomb	DATE: 1-8-09
	FILE NAME: Monument--Prof. Plaza



SCALE:
REVISION:
DATE:
PRICE:



### Monument Sign--Retail Plaza

Sign Area - 90 Sq. Ft. (12) Tenant Panels - 7.5 S.F. each)

Illuminated tenant panels, raised, aluminum pans with routed copy backed with translucent, colored plex.

Borgata letters and address numbers are flat cut out (FCO) aluminum letters and numbers, painted white and stud mounted flush to wall.

Sign cabinet is aluminum, center pole mounted into a caisson footing. Engineering per Arizona Sign Assn. standards.

Sign panels painted Dunn Edwards (DE) Bisque tan--DE6157, main cabinet, ICI #144 Fortress Stone and Trim De6117 Colorado Trail.

Column and base is aluminum cabinet clad with Old Country Fieldstone, Chardonnay, wide mortar joint CSV-368105.

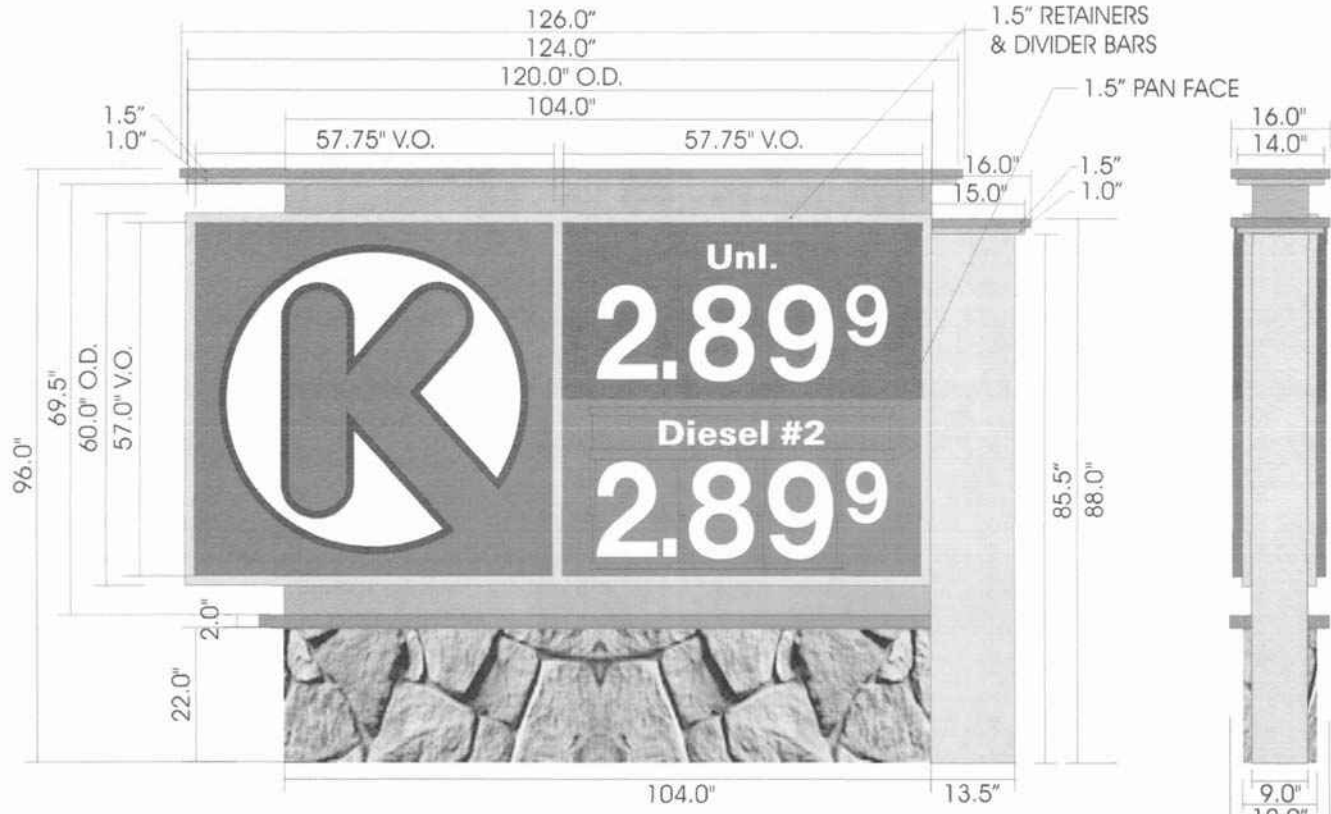
**NATIONAL**  
*sign*  
**FABRICATORS INC.**

2934 West Waddior Avenue  
Phoenix, Az. 85009  
602-415-9444 Office  
602-415-9433 Fax  
info@national-sign.com

CLIENT: Glenwood Development	CLIENT APPROVAL:
ADDRESS: 1333 North Greenfield Road Suite 104	APPROVAL DATE:
Mesa, AZ 85205	WORK ORDER #:
SALES REP: John Newcomb	DATE: 1-8-09
	FILE NAME: Retail Plaza



SCALE:
REVISION:
DATE:
PAGE:



Hunt Highway Sign  
 Sign Area - 50 Sq. Ft.







Panel Areas:  
 Circle K - 25 Sq. Ft.  
 Price - 25 Sq. Ft.

JOB INFO	
CUSTOMER:	CIRCLE K
LOCATION:	HUNT HIGHWAY
WORK ORDER:	
FILE NAME:	CK HUNT HIGHWAY 2
REVISION #:	1
DATE:	4/7/09
SALESMAN:	CHRIS CAR
DESIGNER:	ROBBIE ADAIR
JOB DETAILS	
FABRICATE AND INSTALL (1) DOUBLE FACED MONUMENT SIGN.	
COLORS	
<small>ALL SIGN LETTERS AND SYMBOLS SHALL BE IN COMPLIANCE WITH THE FEDERAL LETTERING ACT (FLA) AND THE FEDERAL SIGNAGE ACT (FSA). THE SIGN SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE "SIGNAGE REGULATIONS" AND "SIGNAGE REGULATIONS" (23 CFR 630.401-402).</small>	

SCALE: 3/4" = 1'-0"



FRONT ELEVATION  
3/16" = 1'-0"

-  DUNN EDWARDS  
DE5157 BIGQUE TAN
-  DUNN EDWARDS  
DE5117 COLORADO TRAIL
-  DUNN EDWARDS  
DE5110 WARM HEARTH
-  DUNN EDWARDS  
DE5104 AUTUMN BARK
-  MONIER LIFELIFE  
MISSION 'S CURFSIDE
-  CULTURED STONE  
ELC COUNTRY PEDESTAL  
CHARCOLE - WIDE MORTAR JOINT  
DIA 3/8" X 1/2"



SIDE ELEVATION  
3/16" = 1'-0"

BORGATA RETAIL PLAZA  
SEC OF HUNT HIGHWAY AND THOMPSON ROAD  
PINAL, ARIZONA  
GLENWOOD DEVELOPMENT COMPANY, LLC  
13333 NORTH GREENFIELD, SUITE 104  
Mesa, Arizona 85205

REVISIONS	NO.

DRAWN/CHECKED  
ENC. 700P  
ISSUE DATE  
08.28.07  
JOB NO.  
2007-010-R

SHEET  
ELEV

SKD

SKD, INC.  
ARCHITECTURE  
10445 N. 74TH ST. STE. 150  
SCOTTSDALE, AZ 85258

BORGATA RETAIL PLAZA  
SEC of HUNT HIGHWAY AND THOMPSON ROAD  
PHOENIX, ARIZONA  
GLENWOOD DEVELOPMENT COMPANY, LLC  
13333 NORTH GREENFIELD SUITE 104  
Mesa, Arizona 85205

NO. \_\_\_\_\_

DRAWN/CHECKED  
BY: JMK

DATE: 08.28.07

JOB NO.: 2007-010-II

SHEET  
ELEV



REAR ELEVATION  
1/8" = 1'-0"



SIDE ELEVATION  
1/8" = 1'-0"



DUNN EDWARDS  
DE6157 BEQUE TAN



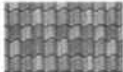
DUNN EDWARDS  
DE6117 COLORADO TRAIL



DUNN EDWARDS  
DE6110 WARM HEARTH



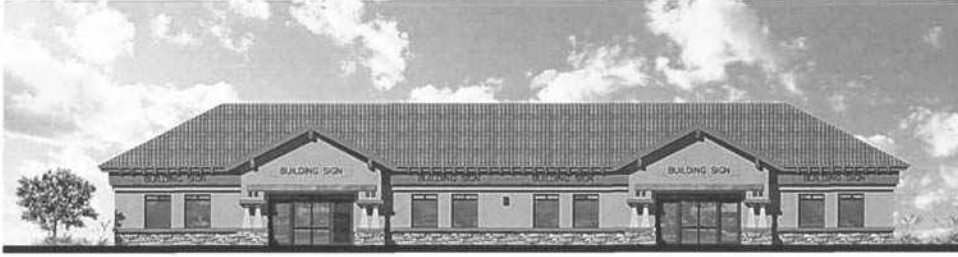
DUNN EDWARDS  
DE6164 AUTUMN BARK



NORTH LITTLEFIELD  
MISSION S CLIFFSIDE



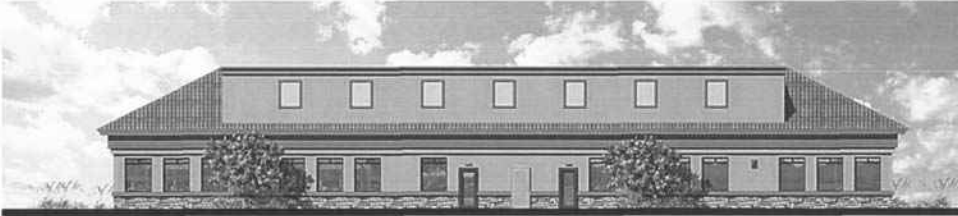
CULTURED STONE  
OLD QUALITY FIELDSTONE  
CONCRETE-WIDE MORTAR JOINT  
CSW369125



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



ICIPAINT  
#410 NUTTY BROWN



ICI PAINT  
#420 TANTALIZING TAN



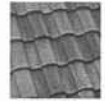
ICI PAINT  
#144 FORTRESS STONE



ANODIZED BRONZE



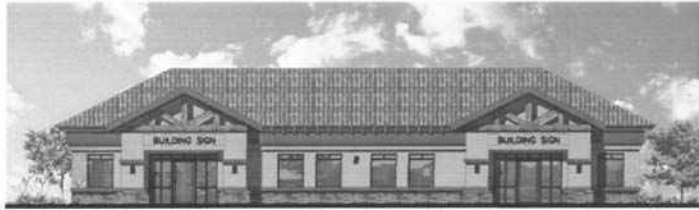
CULTURED STONE  
COUNTRY LEDSTONE  
CHARDONNAY CSV-20006



EAGLE ROOFING  
SMC-8401  
CAPISTRANO-SAN MIGUEL

**BUILDING 1**  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA

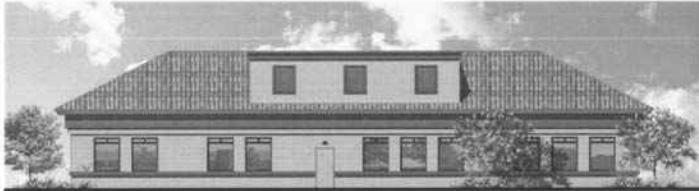




FRONT ELEVATION



RIGHT ELEVATION



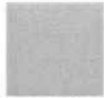
REAR ELEVATION



LEFT ELEVATION



ICI PAINT  
#2866A- AVANTE GARDE



ICI PAINT  
#2862W- TRACING PAPER



ANODIZED BRONZE



CULTURED STONE  
PROFIT LEDGESTONE  
SHALE PF-8016



EAGLE ROOFING  
SMC-4602  
CAPISTRANO- CONCORD BLEND

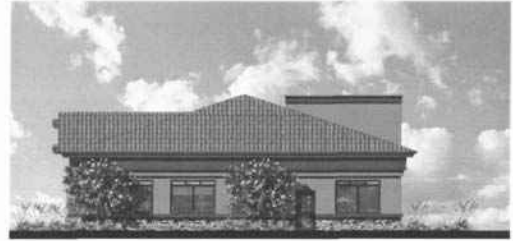
BUILDING 2

**BORGATA PROFESSIONAL PLAZA**  
S.E.C HUNT HWY. & THOMPSON ROAD  
QUEEN CREEK, ARIZONA

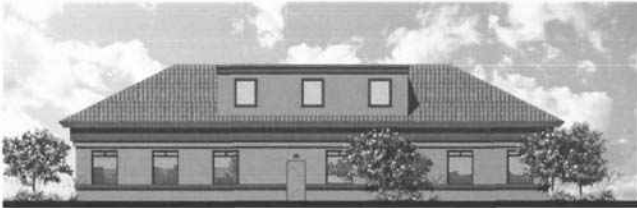




FRONT ELEVATION



RIGHT ELEVATION



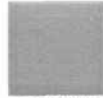
REAR ELEVATION



LEFT ELEVATION



ICI PAINT  
#2648N WIGWAM



ICI PAINT  
#2644D POTHOLE



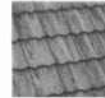
ICI PAINT  
#2642M TIMBER WOLF



ANODIZED BRONZE



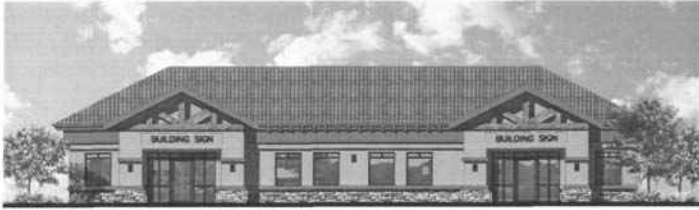
CULTURED STONE  
SOUTHERN LEDGESTONE  
BUCKS COUNTRY CSV-056



EAGLE ROOFING  
SMC-3576  
CAPISTRANO-TOPANGA

**BUILDING 3**  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA

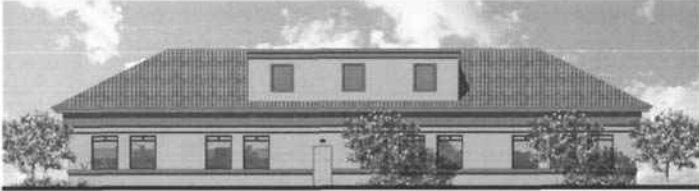




FRONT ELEVATION



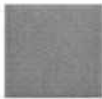
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



ICIPAINT  
#410 NUTTY BROWN



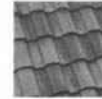
ICI PAINT  
#420 TANTALIZING TAN



ANODIZED BRONZE



CULTURED STONE  
COUNTRY LEDSTONE  
CHARDONNAY CSV-20006



EAGLE ROOFING  
SMC-8401  
CAPISTRANO-SAN MIGUEL

**BUILDING 4**  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA





FRONT ELEVATION



RIGHT ELEVATION



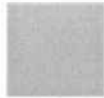
REAR ELEVATION



LEFT ELEVATION



ICI PAINT  
#8245N OCHRE RUST



ICI PAINT  
#8244 COPPER SPRINGS



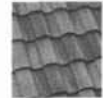
ICI PAINT  
#8242 NORTHERN PLAINS



ANODIZED BRONZE



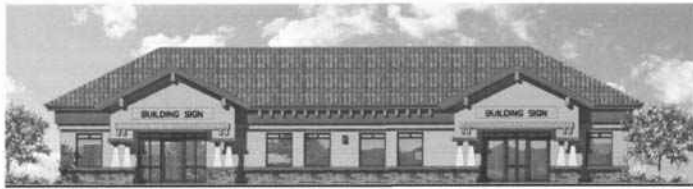
CULTURED STONE  
COUNTRY LEDSTONE  
CHARDONNAY CSV-20006



EAGLE ROOFING  
SMC-8401  
CAPISTRANO-SAN MIGUEL

**BUILDING 5**  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA





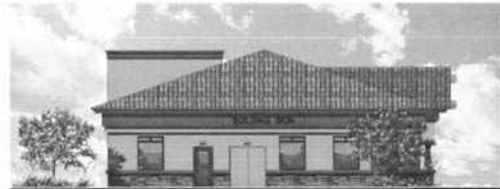
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



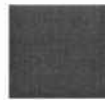
ICIPAINT  
#2866A- AVANTE GARDE



ICI PAINT  
#2862W- TRACING PAPER



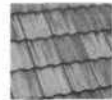
ICI PAINT  
#2864M- BONAPARTE



ANODIZED BRONZE



CULTURED STONE  
PROFIT LEDGESTONE  
SHALE PF-8016



EAGLE ROOFING  
SMC-4602  
CAPISTRANO- CONCORD BLEND

BUILDING 6  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA





FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



ICIPAINT  
#8245N OCHRE RUST



ICI PAINT  
#8244 COPPER SPRINGS



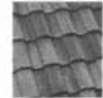
ICI PAINT  
#8242 NORTHERN PLAINS



ANODIZED BRONZE



CULTURED STONE  
COUNTRY LEDSTONE  
CHARDONNAY CSV-20006



EAGLE ROOFING  
SMC-8401  
CAPISTRANO-SAN MIGUEL

**BUILDING 7**  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA

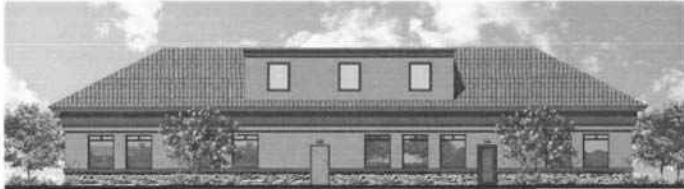




FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



ICIPAINT  
#2646N WIGWAM



ICI PAINT  
#2644D POTHOLE



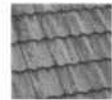
ICI PAINT  
#2642M TIMBER WOLF



ANODIZED BRONZE



CULTURED STONE  
SOUTHERN LEDGESTONE  
BUCKS COUNTRY CSV-056



EAGLE ROOFING  
SMC-3576  
CAPISTRANO-TOPANGA

**BUILDING 8**  
**BORGATA PROFESSIONAL PLAZA**  
S.E.C HUNT HWY. & THOMPSON ROAD  
QUEEN CREEK, ARIZONA

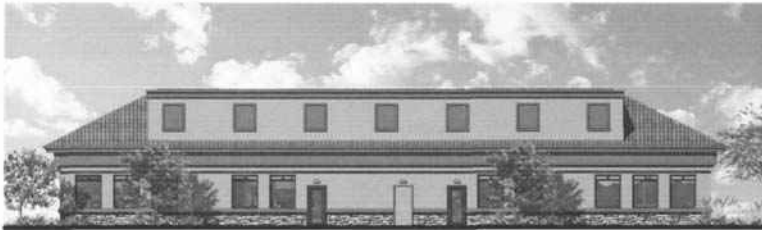




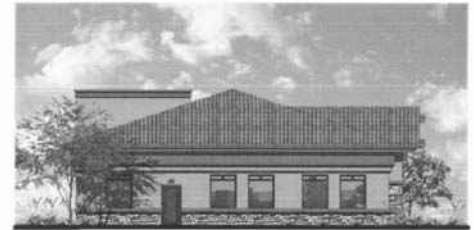
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



ICI PAINT  
#410 NUTTY BROWN



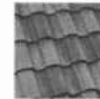
ICI PAINT  
#420 TANTALIZING TAN



ANODIZED BRONZE



CULTURED STONE  
COUNTRY LEDSTONE  
CHARDONNAY CSV-20006



EAGLE ROOFING  
SMC-8401  
CAPISTRANO-SAN MIGUEL

**BUILDING 9**  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA





FRONT ELEVATION



RIGHT ELEVATION



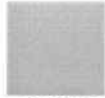
REAR ELEVATION



LEFT ELEVATION



ICIPAINT  
#8245N OCHRE RUST



ICI PAINT  
#8244 COPPER SPRINGS



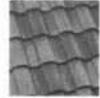
ICI PAINT  
#8242 NORTHERN PLAINS



ANODIZED BRONZE



CULTURED STONE  
COUNTRY LEDSTONE  
CHARDONNAY CSV-20006



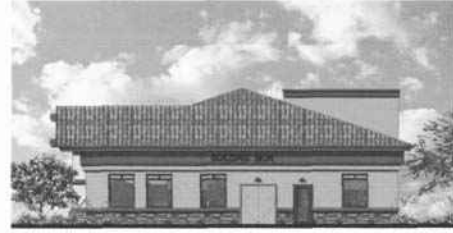
EAGLE ROOFING  
SMC-8401  
CAPISTRANO-SAN MIGUEL

**BUILDING 10**  
**BORGATA PROFESSIONAL PLAZA**  
S.E.C HUNT HWY. & THOMPSON ROAD  
QUEEN CREEK, ARIZONA





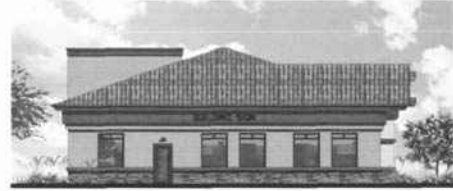
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



ICIPAINT  
#2866A- AVANTE GARDE



ICI PAINT  
#2862W- TRACING PAPER



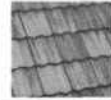
ICI PAINT  
#2864M- BONAPARTE



ANODIZED BRONZE



CULTURED STONE  
PROFIT LEDGESTONE  
SHALE PF-8016



EAGLE ROOFING  
SMC-4602  
CAPISTRANO- CONCORD BLEND

**BUILDING 11**  
**BORGATA PROFESSIONAL PLAZA**  
 S.E.C HUNT HWY. & THOMPSON ROAD  
 QUEEN CREEK, ARIZONA

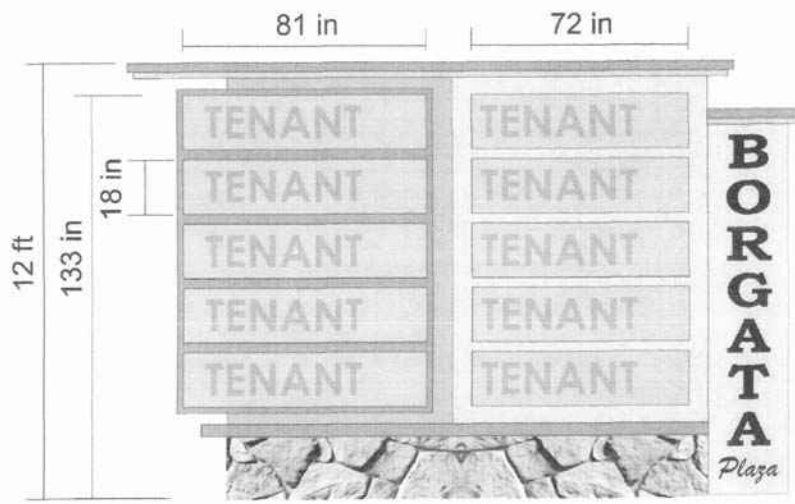






Hunt Highway Sign  
 Sign Area - 50 Sq. Ft.

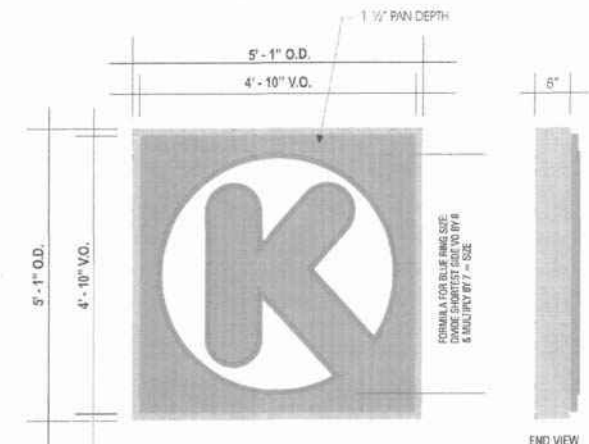
Panel Areas:  
 Circle K - 25 Sq. Ft.  
 Price - 25 Sq. Ft.



Hunt Highway Office / Retail Sign  
 Sign Area - 95 Sq. Ft.

Panel Areas:  
 (5) 81" Tenant Panels - 10 Sq. Ft.  
 (5) 72" Tenant Panels - 9 Sq. Ft.

JOB INFO	
CUSTOMER:	CIRCLE K
LOCATION:	HUNT HIGHWAY
WORK ORDER:	
FILE NAME:	CK HUNT HIGHWAY 2
REVISION #:	1
DATE:	4/7/09
SALESMAN:	CHRIS CARLSON
OWNER:	ROBBIE ADAIR
JOB DETAILS	
FABRICATE AND INSTALL (1)	
DOUBLE FINISH APPROXIMATE SIGN	
COLORS	
<small>                     * ALL SIGNS ARE FABRICATED AND DELIVERED TO THE JOB SITE UNLESS OTHERWISE SPECIFIED.                      * ALL SIGNS ARE TO BE INSTALLED BY THE CUSTOMER.                      * ALL SIGNS ARE TO BE INSTALLED BY THE CUSTOMER.                      * ALL SIGNS ARE TO BE INSTALLED BY THE CUSTOMER.                      * ALL SIGNS ARE TO BE INSTALLED BY THE CUSTOMER.                 </small>	



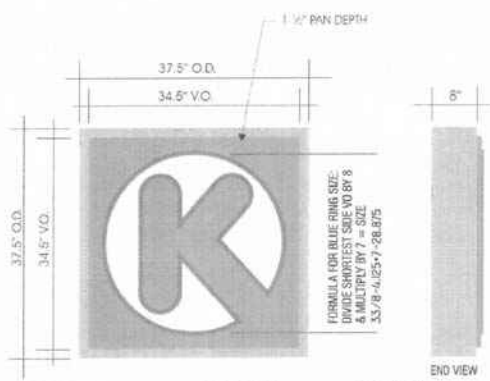
RETAINERS: 1 1/2"  
 CABINET: EXTRUDED ALUMINUM  
 PRIMEPAINT EGRET WHITE

FACE: FORMED POLYCARBONATE .150  
 PAINTED 2ND SURFACE

OVER 5' K SIGN  
 RED PAN: 2" FORMED  
 BLUE PAN: 3/4"  
 WHITE AREA: 1" DEBOSS

FIGURE 1: 1/2" O.D. PAN DEPTH  
 DIMENSIONS SHOWN IN P/F  
 & MOUNTING BT 7" SIZE

JOB INFO	
CUSTOMER:	CIRCLE K
LOCATION:	HUNT HWY
WORK ORDER:	7808
FILE NAME:	CK 7808-1
REVISED:	4/1/03
DATE:	5/28/03
SALLMAN:	CHRIS CARLSON
DESIGNER:	ROBBIE ADAM
JOB DETAILS	
COLORS	

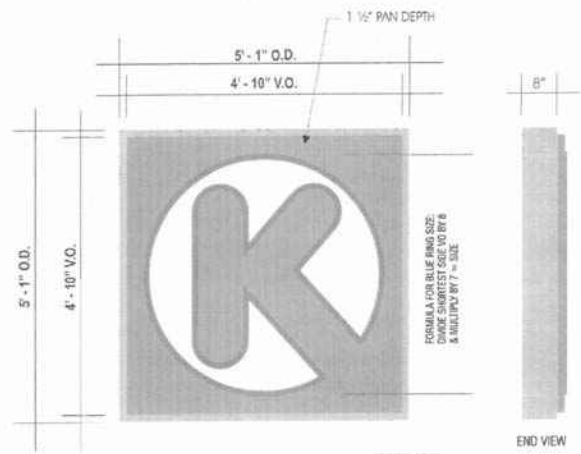
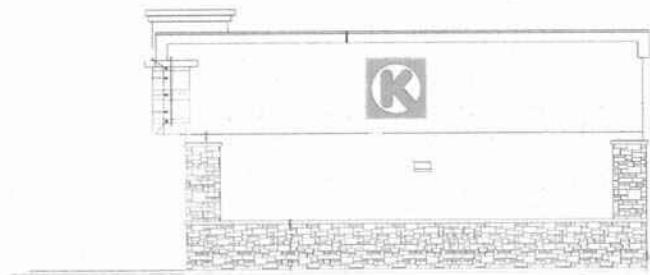


RETAINERS: 1 1/2"  
 CHANNEL: EXTRUDED ALUMINUM  
 PRIME/PAIN: EGRET WHITE  
 FACE: FORMED POLYCARBONATE .150  
 PRINTED 2ND SURFACE

UP TO 5' X SIGN  
 RED PAN: 1 1/2" FORMED  
 BLUE RING: 1/2" EMBOSS  
 WHITE AREA: 3/4" DEBOSS

OVER 5' X SIGN  
 RED PAN: 2" FORMED  
 BLUE RING: 3/4"  
 WHITE AREA: 1" DEBOSS

JOB INFO	
CUSTOMER:	CIRCLE K
LOCATION:	HUNT HWY
WORK ADDRESS:	7805
FILE NAME:	CK 7805-3
REVISION #:	1
DATE:	5/25/99
SALESMAN:	CHRIS CARLSON
DESIGNER:	ROBBIE ADAM
JOB DETAILS	
COLORS	

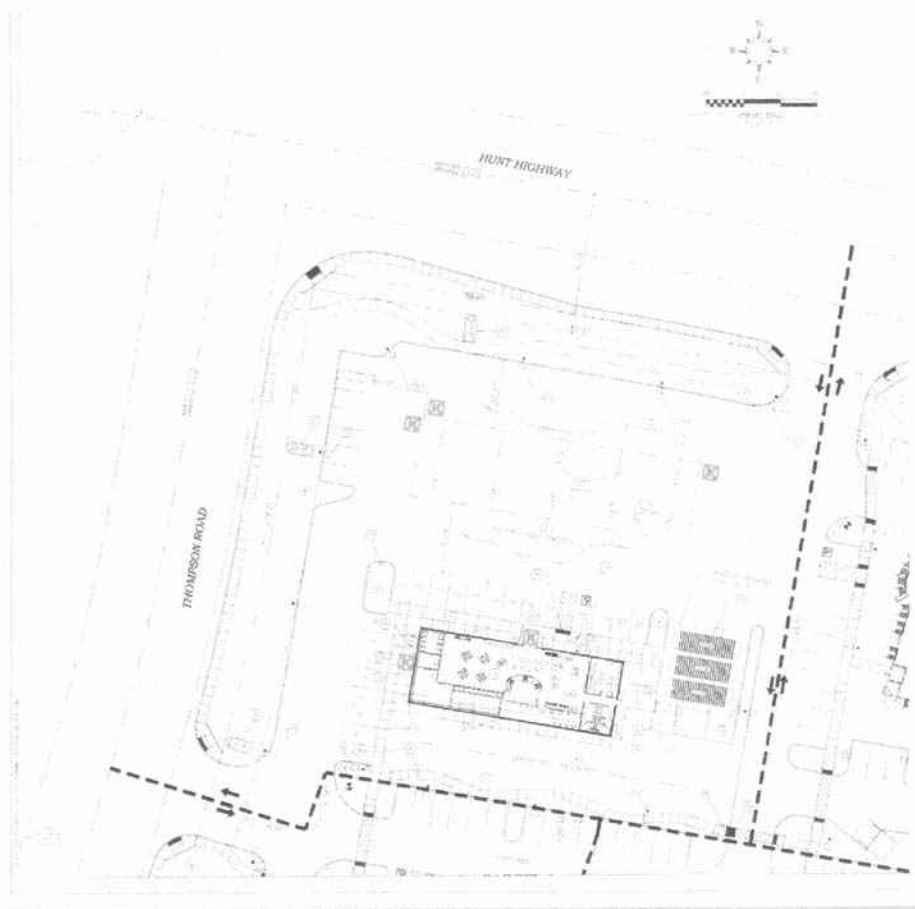


RETAINERS: 1 1/2" CABINET: EXTRUDED ALUMINUM PRIME PAINT EGRET WHITE

FACE: FORMED POLYCARBONATE .150 PAINTED ZNO SURFACE

OVER 5' K SIGN  
 RED PAN: 2" FORMED  
 BLUE RING: 3/4"  
 WHITE AREA: 1" DEBOSS

JOB INFO	
CUSTOMER	CIRCLE K
LOCATION	HUNT HWY
WORK OFFICE	7805
EST. DATE	05-28-09
REVISION	1
DATE	05-28-09
SALESMAN	CHRIS CARLSON
DESIGNER	ROBBIE ALAIR
JOB DETAILS	
COLORS	



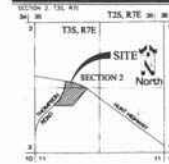
**JOB INFO**

CUSTOMER:  
 CIRCLE K  
 LOCATION:  
 HUNT HWY  
 WORKING CODE:  
 7804  
 TEL: 660-  
 EX: 7804-4  
 REVIEW BY:  
 DATE: 12/20/09  
 SALES MAN:  
 CHRIS CARLSON  
 DESIGNER:  
 ROBBIE ADAM

**JOB DETAILS**

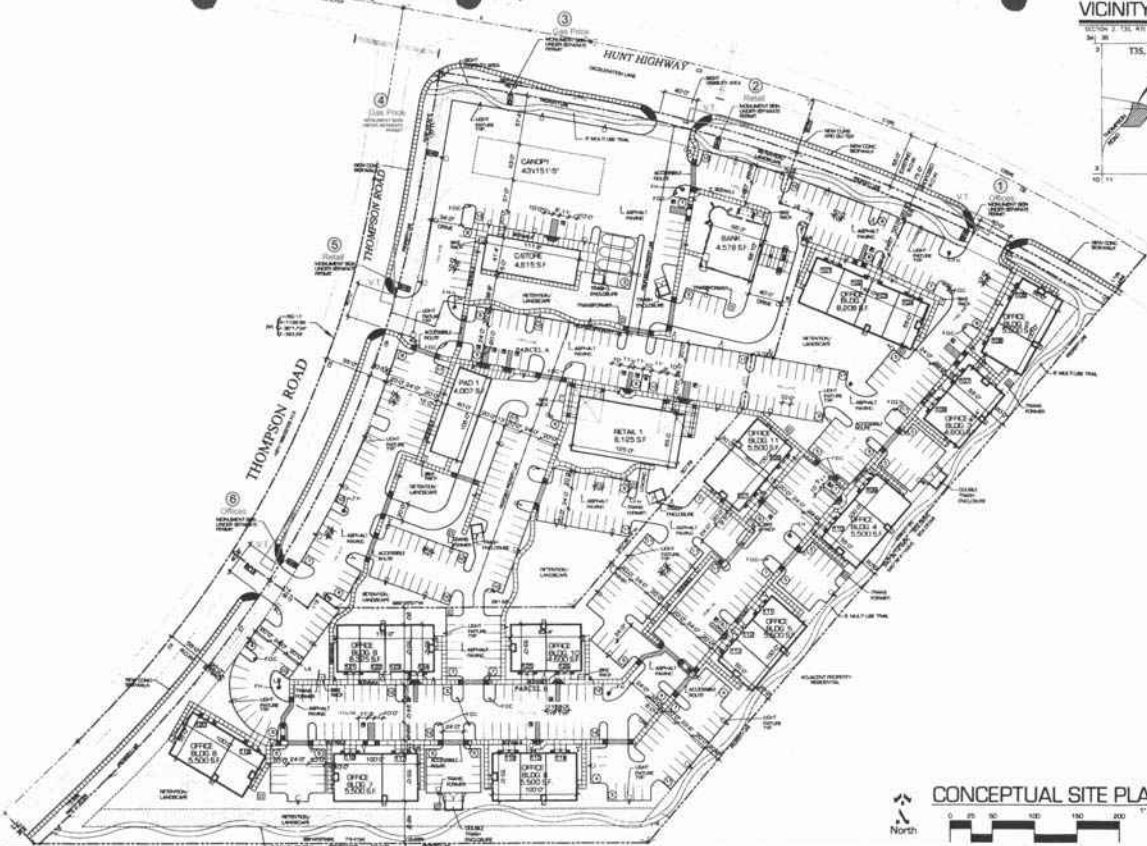
**COLORS**





**GENERAL INFORMATION**

OWNER: COBE DEVELOPMENT	DESIGNER: SKD, INC.	DATE: 06/19/07
PROJECT: BORGATA PROFESSIONAL PLAZA	ADDRESS: 10445 N. 74th St., Suite 150, Scottsdale, AZ 85258	PHONE: 480-948-8053
ARCHITECT: HOK	MECHANICAL: HOK	ELECTRICAL: HOK
PLUMBING: HOK	PAVING: HOK	LANDSCAPE: HOK



CONCEPTUAL SITE PLAN  
 0 50 100 150 200 FT

SP-1 CASE# 2007010

Prepared For:  
 COBE DEVELOPMENT  
 GLENWOOD DEVELOPMENT

# BORGATA PROFESSIONAL PLAZA

HUNT HIGHWAY AND THOMPSON ROAD  
 Pinal, Arizona

SKD, Inc.  
 10445 N. 74th St.  
 Suite 150  
 Scottsdale, AZ 85258  
 PH: 480-948-8053  
 FAX: 480-609-9227  
 www.skdinc.net





Pinal County Development Services  
Comprehensive Sign Review Application

Cell #  
602-359-0470

Project Name: BORGATA RETAIL PLAZA AND BORGATA PROFESSIONAL PLAZA

Owner/Applicant: NATIONAL SIGN FABRICATORS INC / JOHN NEWCOMB

Address: 2934 WEST WINDSOR AVE Phone/Fax: 602 415-9444 / 602-415/9433  
PBX 85009 OFF FAX

Parcel #: 509-02-0014 Map Sheet: \_\_\_\_\_ S/T/R: \_\_\_\_\_

Zone Class: CB-1 Site Plan Review # \_\_\_\_\_

Present Use of Property: RAWLAND

Proposed Use of Property (additional sheet may be attached): MIXED USE RETAIL AND OFFICE.

Please list any applications currently under review or recently approved which may assist in the review of this application: \_\_\_\_\_

Date Meeting Scheduled \_\_\_\_\_

Internal Use Only

\*\*\*\*\*

Checklist:        Pictures        Site/Sign Pln        Elevation Drawings

       Landscape Plan        PAD Stipulations        SPR Number

       Agency Letter

SPR-053-07